



**Zoning Board of Appeals  
Regular Meeting  
March 9, 2023 – 7:00PM  
102 Butler St, Saugatuck, MI**

**In person meeting**

- 1. Call to Order/Roll Call**
- 2. Approval of Agenda**
- 3. Approval of Minutes:**
  - A. January 12, 2023 Regular Meeting**
- 4. Public Comments**
- 5. Unfinished Business: None**
- 6. New Business:**
  - A. 510 Butler St – Lot Coverage**
- 7. Communications:**
  - A. ZBA Member Training – May 18**
- 8. ZBA Member Comments**
- 9. Public Comments**
- 10. Adjourn (Voice Vote)**

**This public meeting will be held in person at Saugatuck City Hall. Interested parties may attend in person or participate by using Zoom video/audio conference technology.**

Join online by visiting:  
<https://us02web.zoom.us/j/2698572603>

Join by phone by dialing:  
**(312) 626-6799 -or-  
(646) 518-9805**

Then enter "Meeting ID":  
**2698572603**

Please send questions or comments regarding meeting agenda items prior to meeting to:  
[rcummins@saugatuckcity.com](mailto:rcummins@saugatuckcity.com)

**Public Hearing Procedure**

- A. Hearing is called to order by the Chair
- B. Summary by the Zoning Administrator
- C. Presentation by the Applicant
- D. Public comment regarding the application
  - Participants shall identify themselves by name and address
  - Comments/Questions shall be addressed to the Chair
  - Comments/Questions shall be limited to five minutes
  1. Supporting comments (audience and letters)
  2. Opposing comments (audience and letters)

3. General comments (audience and letters)
4. Repeat comment opportunity (Supporting, Opposing, General)
- E. Public comment portion closed by the Chair
- F. Commission Deliberation
- G. Commission Action

**Saugatuck Zoning Board of Appeals Meeting**  
**Saugatuck, Michigan, January 12, 2023, Minutes- Proposed**

The Saugatuck Zoning Board of Appeals  
Met in regular session at 7:00 p.m.  
City Hall, 102 Butler Street, Saugatuck, Michigan.

1. **Call to Order** by Chairman Kubasiak at 7:01 p.m.

**Attendance:**

Present: Chairman Kubasiak, Board Members Bouck, McPolin.

Absent: Board Members Bont, Crawford, & Hundreiser.

Others Present: Director of Planning, Zoning, & Project Management Ryan Cummins, & City Attorney Chris Patterson (online).

2. **Agenda Changes/Approval of Agenda:** Approved.

*Motion by Kubasiak, second by McPolin to approve the agenda for the January 12, meeting as presented. Upon voice vote, motion carried 3-0.*

3. **Approval of Minutes:** Approved.

*Motion by Bouck, second by McPolin, to approve the minutes from November 10, 2022, as submitted. Upon voice vote, motion carried 3-0.*

4. **Public Comments:** None.

5. **Unfinished Business:** None.

6. **New Business:**

**A. Election of Officers:**

*Motion by Bouck, second by McPolin to nominate Chairman Kubasiak to remain the Chair for the Zoning Board of Appeals for the 2023 calendar year. Upon roll call vote, motion carried 3-0.*

*Motion by Kubasiak, second by McPolin to nominate Board Member Bouck as Vice-Chairman for the Zoning Board of Appeals for the 2023 calendar year. Upon roll call vote, motion carried 3-0.*

**B. 233 Lucy St – Front Yard Setback:** Case # V220010

1. The Public Hearing was called to order by the Chair at 7:10 p.m.

2. Summary by Director of Planning, Zoning & Project Management Ryan Cummins:

The applicant requests a dimensional variance to demolish and reconstruct a front porch on the existing dwelling within the required front setback. The dimensional variance would reduce the front setback to five feet and three inches (5'3") instead of the minimum 20-foot setback, a reduction of 14 feet and nine inches (14'9"). The request relates to Section 154.026 (D) of the Zoning Ordinance.

The property is located in the R-1 Community Residential District. The lot is approximately 66 feet wide and 132 feet deep (8,712 square feet), and a single-family detached dwelling exists on the site. The structure includes a 140-square-foot porch which currently has a two-foot front setback. The facade of the dwelling is 10 feet from

the front property line. The porch and the front portion of the dwelling do not conform to the applicable 20-foot front setback.

3. Presentation by the Applicant:

The applicant, John Mayer, was in person to present his application. He stated that this is part of a remodel of the entire first floor of the home and the removal of a small addition that was placed on the front elevation, roughly 60 years ago. That addition separates the original elevation of the house and the current front porch. They will be removing that room and putting the front porch back against the original elevation on the front of the house. Mr. Mayer said that the project was already approved by the Historic District Commission. It required demolition and removal of the existing porch and then reestablishing a porch approximately three feet further in from the current porch.

4. Public comment regarding the application:

- a. Supporting comments (No public comment. Email from neighbor listed below):
  1. Janet & Fred Schmidt – Saugatuck City residents.
  2. John Suarino – Saugatuck City resident.
- b. Opposing comments (No public comment. Email from neighbor listed below):
  1. Judith Printz – Saugatuck City resident.
- c. General comments (audience and letters): **None.**
- d. Repeat comment opportunity (Supporting, Opposing, General): **None.**

5. Public comment portion closed by the Chair at 7:18 p.m.

6. Commission deliberation:

The board went into deliberation and discussed the standards for the requested dimensional variance to reduce the front setback to five feet and three inches (5'3") instead of the minimum 20-foot (20') setback, a reduction of fourteen feet and nine inches (14'9"). Request relates to Section 154.026 (D) of the Zoning Ordinance.

**ZBA Findings of Fact:** *Note: Applicant must show a practical difficulty by demonstrating that all four standards are met.*

**Standard 1:** "That strict compliance with area, setbacks, frontage, height, bulk, or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity unnecessarily burdensome." § 154.155(B)(1). Bouck, Kubasiak, and McPolin, found this standard is met because:

Strict compliance would not prevent the applicant from using the property as it can be maintained as a non-conforming structure and expanded in different directions in compliance with the ordinance. However, the existing front porch is non-conforming, and the reconstruction project will result in the structure becoming less non-conforming with the front setback requirement. Based on the historic building placement compliance could be considered unnecessarily burdensome if there is going to be a front porch on this house. A compliant front porch improvement is not possible. Compliance is an unnecessary burden in this case so that they can have a front porch on their house in keeping with the character of the neighborhood and the character of the town.

**Standard 2:** “That a variance would do substantial justice to the owner as well as to other property owners in the district, or whether a lesser relaxation would give substantial relief and be more consistent with justice to others.” § 154.155(B)(2). Bouck, Kubasiak, and McPolin found this standard is met because:

The project would result in lesser nonconformity and an overall improvement to the dwelling that has already been approved by the Historic District Commission. The addition is minor in nature, which could be considered when assessing justice and fairness to the neighboring property owners.

**Standard 3:** “That the plight of the owner is due to unique circumstances of the property and not to general neighborhood conditions.” § 154.155(B)(3). Bouck, Kubasiak, and McPolin found this standard is met because:

The home was built in 1864, as indicated in the City’s contributing structure list, and its placement on the property is unique. While it appears there are other nonconforming homes in this block and area, the majority of homes were not placed as close to the street as the subject dwelling. The general neighborhood conditions would allow for this to maintain the variance asked for on this application.

**Standard 4:** “That the problem is not self-created or based on personal financial circumstances.” § 154.155(B)(4). Bouck, Kubasiak, and McPolin found this standard is met because:

The applicant did not build the original structure in its current location. The home was built in 1864, long before the zoning ordinances were in place. Additionally, the variance request has no relationship to project cost, but does in fact lessen a nonconforming situation and improve a historic structure, which is a part of the Master Plan for Saugatuck for maintaining these historic structures to maintain the character of the community. It is important according to the Master Plan that we maintain these historic structures and the standard is met and is not self-created and not based on personal financial circumstances.

**Practical Difficulty:** A request for a dimensional variance shall be denied if the ZBA finds “that the requirements of this chapter, as written, can be met or that there is no practical difficulty preventing a reasonable use of the land.” § 154.156(A). Bouck, Kubasiak, and McPolin found this standard is met because:

All four standards were met.

7. Commission action: ZBA Decision (Approve):

*Motion by McPolin, second by Bouck, to approve application V220010, for a dimensional variance to reduce the front setback to five feet 3 inches (5’3”) instead of the minimum twenty-foot (20’) setback, a reduction of 14 feet 9 inches (14’9”) for a replacement porch at 233 Lucy Street. Approval of the front setback variance is conditioned upon consistency with the porch building footprint shown within the application materials. The Board used the comments in this report as a basis for the ZBA’s positive findings and referencing them in their entirety. Upon roll call vote, motion carried 3-0.*

**6. New Business (continued):**

**C. 2023 Meeting Schedule and Discussion of Start Time:**

The ZBA members discussed the start time for their meetings and wish for the start time to remain at 7 pm.

*Motion by Kubasiak, second by McPolin to approve the 2023 ZBA meeting schedule as presented on the second Thursday of the month starting at 7 pm. The time to meet could be adjusted if further discussions allow. Upon voice vote, motion carried 3-0.*

**7. Communications:**

A. Report of 2022 ZBA Activity: Board Members discussed the 2022 ZBA Activity.

B. Public Signage: Zoning Administrator Cummins explained that the signs will be used so the public can easily identify which properties in the City are subject to public hearings.

**8. Public comment:** None.

**9. ZBA Comments:**

**Bouck had four comments:**

1. He appreciates the legal counsel being online. It's comforting to know that they are there.
2. He loves the new report from Ryan Cummins, said that he did a nice job. It shows the Board the latest status, it makes it public, and it contributes to transparency, which is important to him.
3. He requests that people who write letters or send emails to the Board identify if they are a resident or not. This would be similar to what is required of people who attend meetings in person.
4. He proposes uniform standardized training for ZBA members.

**McPolin:** She would love to do some training specific to their ZBA Board. The legal counsel could do a brief training session. She has taken some Planning and Zoning classes, but they are more general. She would be curious to hear either the mayor or someone else speak regarding Saugatuck philosophy and some of the unique challenges that they face in terms of the consequences of their decisions.

**Chairman Kubasiak:** He said that he found a pamphlet from many years ago that their existing attorneys had put together with review of dimensional and use variances and things such as how the zoning board works. He believes that some type of refresher with details from one of the attorneys like Chris Patterson would be a good session for the Board to get started. He added that as new board members are added that don't have much Planning Commission or Zoning backgrounds, it is always important to get them into a training program whether it be online or go to a municipal league. He said that Michigan State has some programs as well. He feels that if they have a month in which they don't have a true application, and they had a general meeting that it would be great to fit in an hour or hour and a half of training at least to start with.

**9. Adjournment:** Meeting adjourned at 7:57 pm by Kubasiak.

Respectfully Submitted,  
Sara Williams  
City Deputy Clerk



**BACKGROUND REPORT  
ZONING BOARD OF APPEALS MARCH 9, 2023**

**510 BUTLER STREET 03-57-300-055-00**

**MICHAEL WAECHTER**

**REQUEST:** The applicant requests a dimensional variance to construct an addition at 510 Butler Street after the demolition of a portion of the existing structure, which requires a dimensional variance to increase lot coverage to 27.7% instead of the minimum 25% lot coverage, an increase of 2.7%. The request relates to Section 154.025 (D) of the Zoning Ordinance.

The purpose of this report is to provide a review of the application and standards of approval.

**BACKGROUND:** The property is located in the R-4 City Center Transitional Residential District. The lot is approximately 132 feet wide and 131 feet deep (17,444 square feet), and the site is the current location of the Wickwood Inn.

The building is 5,699 square feet, with 3,947 square feet on the first floor and 1,752 square feet on the second floor. The total Floor Area Ratio is 32.7%. The total area of the building that counts against lot coverage is 4,126.8 square feet, in addition to a 674.6 square foot accessory structure (4,801.4 square feet in total). The buildings do not currently conform to the lot coverage requirements for the applicable zoning district (25%).

The applicant requests the variance because they will lose the nonconforming rights of their current 27.5% lot coverage as they demolish a portion of the building. To build back a portion of the building after demolition, even if in the same footprint, is considered an increase in nonconforming lot coverage. However, the project will add 32 square feet to the building, increasing the lot coverage to 27.7%.

**ZBA AUTHORITY:** According to Section 154.155 (A), where there are practical difficulties or unnecessary hardship in the way of carrying out the strict letter of this chapter, the Board of Appeals may, in passing on appeals, vary or modify any of the rules or provisions of the Zoning Ordinance relating to the construction, or structural changes in, equipment, or alteration of buildings or structures, or the use of land, buildings or structures, so that the intent of the ordinance is observed, public safety secured, and substantial justice done. Variances should only be approved in limited cases with unique circumstances and extraordinary conditions.

**DIMENSIONAL VARIANCE:** Section 154.155 (B) provides the standards that must be met in order for the Board to grant a dimensional (non-use) variance:

1. *That strict compliance with area, setbacks, frontage, height, bulk, or density would unreasonably prevent the owner from using the property for a permitted purpose, or would render conformity unnecessarily burdensome.*

**Comment:** Strict compliance would not prevent the applicant from using the property, as the owner can continue to use the existing structures with nonconforming lot coverage. However, the proposal is a reasonable request as the future conditions will be no more nonconforming than the present conditions, even considering the limited increase in square footage. The applicant simply desires to demolish and then rebuild a portion of the existing building. As relates to this case, strict conformance with the ordinance would be unnecessarily burdensome to prevent a rebuilding and renovation project for a contributing resource.

2. *That a variance would do substantial justice to the owner as well as to other property owners in the district, or whether a lesser relaxation would give substantial relief and be more consistent with justice to others.*

**Comment:** As stated earlier, the project would result in a similar degree of nonconformity, and the project would result in an overall improvement to the Wickwood Inn. Further, the addition is minor in nature and does not extend the building any closer to property lines than the existing footprint. These factors can be considered when assessing justice and fairness to neighboring property owners.

3. *That the plight of the owner is due to unique circumstances of the property and not to general neighborhood conditions.*

**Comment:** The building was constructed in 1940, long before zoning regulations and lot coverage requirements. The building is a contributing resource in the Historic District, and its design and placement on the site are unique based on its historical value to the City. Further, various additions were constructed over the years, and this project will address deficiencies and improve the overall value of the building as a contributing resource.

4. *That the problem is not self-created or based on personal financial circumstances.*

**Comment:** The applicant did not build the original structure, as it was built in 1940. The site conditions likely became nonconforming when the Zoning Ordinance or subsequent amendments were adopted. Additionally, the variance request has no relationship to project cost but is necessary to improve the Wickwood Inn building.

**FINDINGS OF FACT:** Please note that any motion supporting or against the variance requests must specifically reference the ZBA's findings concerning all applicable standards. The ZBA



must provide its own findings on why the request meets or does not meet the applicable standards. The comments in this report may be used as a basis for the ZBA's positive findings and referenced in their entirety. Regardless of the decision, the minutes and written record of the decision must document the ZBA's findings and conclusions. As such, it is essential for the findings to be read aloud or referenced during the meeting.

**RECOMMENDATION:** Pursuant to Section 154.155 (B), if the applicant is not able to meet all the required standards noted above, the Board must deny the request. If the Board finds that the practical difficulty is not unique but common to several properties in the area, the finding shall be transmitted by the Board to the Planning Commission, who will determine whether to initiate an amendment to the Zoning Code, per Section 154.156 (C).

It appears as though the lot coverage variance could be justified, as it is not an extreme request and allows for a reasonable building improvement project.

**Possible motion:**

*I move to approve lot coverage variance to allow the demolition and reconstruction of a portion of the Wickwood Inn building at 510 Butler Street with an overall lot coverage of 27.7% (a variance of 2.7%). Approval of the lot coverage variance is conditioned upon the actual demolition and reconstruction concurring within the same dimensions as included in the application materials.*



# Zoning Board of Appeals Application

## LOCATION INFORMATION APPLICATION NUMBER \_\_\_\_\_ - \_\_\_\_\_

Address 510 Butler Street Parcel Number 03-57-300-055-00

## APPLICANTS INFORMATION

Name Michael Waechter Address / PO Box 4534 N Ravenswood Ave, 1R  
City Chicago State IL Zip 60640 Phone 312-213-5706  
Interest In Project Architect E-Mail mwaechter@souciehorner.com  
Signature *Michael Waechter* Date 1/24/2023

## OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name 510 Butler Street LLC Address / PO Box 208 W Kinzie St  
City Chicgo State IL Zip 60654 Phone 312-755.0202  
E-Mail mhorner@souciehorner.com

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed or to gather further information related to this request.

Signature *MJH* Date \_\_\_\_\_

## CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name Bickerstaff Builders Contact Name Tim Pattison  
Address / PO Box 1137 N Lincoln Ave City Park Ridge  
State IL Zip 60068 Phone 312-882-0606 Fax \_\_\_\_\_  
E-Mail tim@bickerstaffbuilders.com  
License Number n/a Expiration Date \_\_\_\_\_

## PROPERTY INFORMATION

Depth 131' Width 132' Size 17,444 Zoning District R-4 Current Use R-1  
Check all that apply: Waterfront \_\_\_\_\_ Historic District  Dunes \_\_\_\_\_ Vacant \_\_\_\_\_  
Application Type: Interpretation \_\_\_\_\_ Dimensional Variance  Use Variance \_\_\_\_\_

## REQUESTED VARIANCE AND DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)

Zoning Requirement 27.5% lot coverage Proposed Variance 27.7% lot coverage  
Zoning Requirement ~~27.7% FAR~~ Proposed Variance ~~27.1% FAR~~  
Zoning Requirement \_\_\_\_\_ Proposed Variance \_\_\_\_\_  
Increase total lot coverage by 0.2% (32 square feet)  
~~Increase total FAR by 0.1% (75 square feet)~~ FAR request is omitted from this application.



**SITE PLAN REQUIREMENTS (SECTION 154.061)**

A site plan and survey showing the following information shall be submitted with the coverage of this application and other required information as outlined below. (Please note that not all will apply for minor waterfront construction)

- | Y                                   | N                        | NA                                  |  |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Dimensions of property of the total site area,   |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Contours at 2-foot intervals   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Locations of all buildings   |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Other structures on adjacent properties within 100 feet of the property, including those located across the street from the property   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Parking areas  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Driveways  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Required and proposed building setbacks  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Location of abutting streets and proposed alignment of streets, drives and easements serving the development, including existing rights-of-way and pavement widths;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Location, screening, dimensions and heights of proposed buildings and structures, such as trash receptacles, utility pads and the like, including accessory buildings and uses, and the intended uses thereof. Rooftop or outdoor appurtenances should also be indicated, including proposed methods of screening the equipment, where appropriate;                  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Location and dimensions of parking areas, including computations of parking requirements, typical parking space dimensions, including handicapped spaces, and aisle widths;  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Proposed water supply and wastewater systems locations and sizes;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Proposed finished grades and site drainage patterns, including necessary drainage structure. Where applicable, indicate the location and elevation of the 100-year floodplain;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Proposed common open spaces and recreational facilities, if applicable;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Proposed landscaping, including quantity, size at planting and botanical and common names of plant materials;  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Signs, including type, locations and sizes;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Location and dimensions of all access drives, including driveway dimensions, pavement markings, traffic-control signs or devices, and service drives;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Exterior lighting showing area of illumination and indicating the type of fixture to be used.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Elevations of proposed buildings drawn to an appropriate scale shall include: <ol style="list-style-type: none"> <li>1. Front, side and rear views;</li> <li>2. Heights at street level, basement floor level, top of main floor, top of building, and if applicable, height above water level; and</li> <li>3. Exterior materials and colors to be used.</li> </ol> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Location, if any, of any views from public places to public places across the property;  |
| <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Location, height and type of fencing; and  |



- The name and address of the person and firm who drafted the plan, the seal of the professional responsible for the accuracy of the plan (licensed in the state) and the date on which the plan was prepared.
- Other information as requested by the Zoning Administrator

**DIMENSIONAL VARIANCE REQUEST STANDARDS PER SECTION 154.155(B)**

Please respond to each of the following questions. As part of your request to obtain a dimensional or non-use variance, the owner must show a practical difficulty by demonstrating that all of the following standards are met:

- (1) Explain how strict compliance with area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose, or would render conformity unnecessarily burdensome;

Rectifying the current conditions would require a substantial renovation to the exterior envelope of the building. We would need to remove a large part of the existing building to allow for revising the floor plans to allow for correct compliance with the building codes.

- (2) Explain how a variance would do substantial justice to the owner as well as to other property owners in the district, or whether a lesser relaxation would give substantial relief and be more consistent with justice to others;

A variance would allow the owner to correct past building projects that were completed without building department oversight, and that comply with current building codes

- (3) Explain how the plight of the owner is due to unique circumstances of the property and not to general neighborhood conditions; and

Previous ad hoc additions were erected without review and oversight which resulted in an unsightly collection of add-ons that are not good for the property or the neighborhood.

- (4) Explain how the problem is not self-created or based on personal financial circumstances. The current owners have inherited the existing conditions and are working to create a safer and more comfortable environment for the building occupants.



**USE VARIANCE REQUEST STANDARDS PER SECTION 154.155(C)**

Please respond to each of the following questions. As part of your request to obtain a use variance, the applicant must show an unnecessary hardship by demonstrating that all of the following standards are met:

- (1) Please explain how the property in question cannot be used for any of the uses permitted in the district in which it is located;

---



---



---

- (2) Please explain how the plight of the owner is due to unique circumstances of the property and not to general neighborhood conditions;

---



---



---

- (3) Please explain how by granting the variance, the essential character of the neighborhood would not be altered; and

---



---



---

- (4) Please explain how the problem is not self-created or based on personal financial circumstances.

---



---



---



**OFFICE USE ONLY:**

Application Complete \_\_\_\_\_ Date \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_

Date Notice Sent \_\_\_\_\_ Date Resident Notification \_\_\_\_\_ Hearing Date \_\_\_\_\_

Notes: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Motion to Approve \_\_\_\_\_ Deny \_\_\_\_\_

**Findings of Fact:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Chair Signature \_\_\_\_\_ Vote \_\_\_\_\_

Member Signature \_\_\_\_\_ Vote \_\_\_\_\_

Member Signature \_\_\_\_\_ Vote \_\_\_\_\_

Member Signature \_\_\_\_\_ Vote \_\_\_\_\_

Member Signature \_\_\_\_\_ Vote \_\_\_\_\_

©2023 WAECHTER ARCHITECTS, PC / SOLUTION: HORNER, LTD.

# the Wickwood Inn

## Residential Addition

### 510 Butler St

### Saugatuck, Michigan 49453

Issue for Permit  
January 18, 2023

### PROJECT TEAM

ARCHITECT OF RECORD:

Waechter Architects, PC  
4534 N Ravenswood Ave.  
Chicago, IL 60640  
(312) 213-5706

INTERIOR DESIGNER:

Soucie Horner, Ltd.  
208 W Kinzie  
Chicago, IL 60654  
(773) 744-0202

R-4 CITY CENTER TRANSITIONAL RESIDENTIAL DISTRICT (CER)

Dimension and area regulations.

- Front setback 20 feet
- Side setback 7 feet
- Rear setback 10 feet
- Minimum lot area 8,712 square feet
- Minimum lot width 66 feet
- Maximum lot coverage 25%\*

### DRAWING INDEX

#### Architectural

- G1.0 COVER SHEET/ PROJECT DATA
- G1.1 SITE PLAN
- G1.2 GENERAL INFORMATION
- D1.0 SELECTIVE DEMOLITION PLANS
- D2.0 SELECTIVE DEMO ELEVATIONS
- A0.1 FRAMING PLANS
- A1.0 BASEMENT AND FIRST FLOOR PLANS
- A2.0 EXTERIOR ELEVATIONS
- A2.1 BUILDING SECTION
- ID2.01 PAVING PLAN
- ID6.01 ELEVATIONS
- ID6.02 ELEVATIONS
- ID7.01 MILLWORK SECTIONS
- ID7.02 MILLWORK SECTIONS
- ID7.03 MILLWORK SECTIONS
- ID7.04 MILLWORK DETAILS
- E1.01 ELECTRICAL PLAN/REFLECTED CEILING PLAN/HARDWIRED FIXTURE PLAN

### APPLICABLE CODES

#### EXISTING BUILDING DATA:

Governing Codes:

- Michigan Residential Code 2015; Incorporating the 2015 International Residential Code
- Michigan Plumbing Code 2015
- Michigan Mechanical Code 2015
- Michigan Electrical Code 2017
- ICC/ANSI A117.1-2013

Code of Ordinances: City of Saugatuck, MI

Enforcing Agency: City of Saugatuck, MI

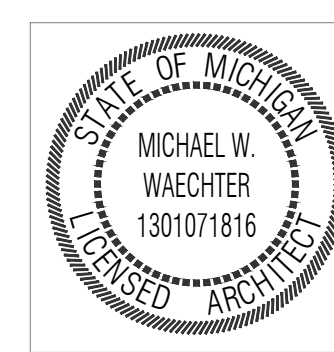
Zoning: R-4 CITY CENTER TRANSITIONAL RESIDENTIAL DISTRICT (CER)

Building Construction Type: VB

Use Group: Residential (R-1)

#### DESCRIPTION OF WORK:

- MICHIGAN REHABILITATION CODE 2015, LEVEL
- 2 ALTERATION RENOVATION OF EXISTING RESIDENCE

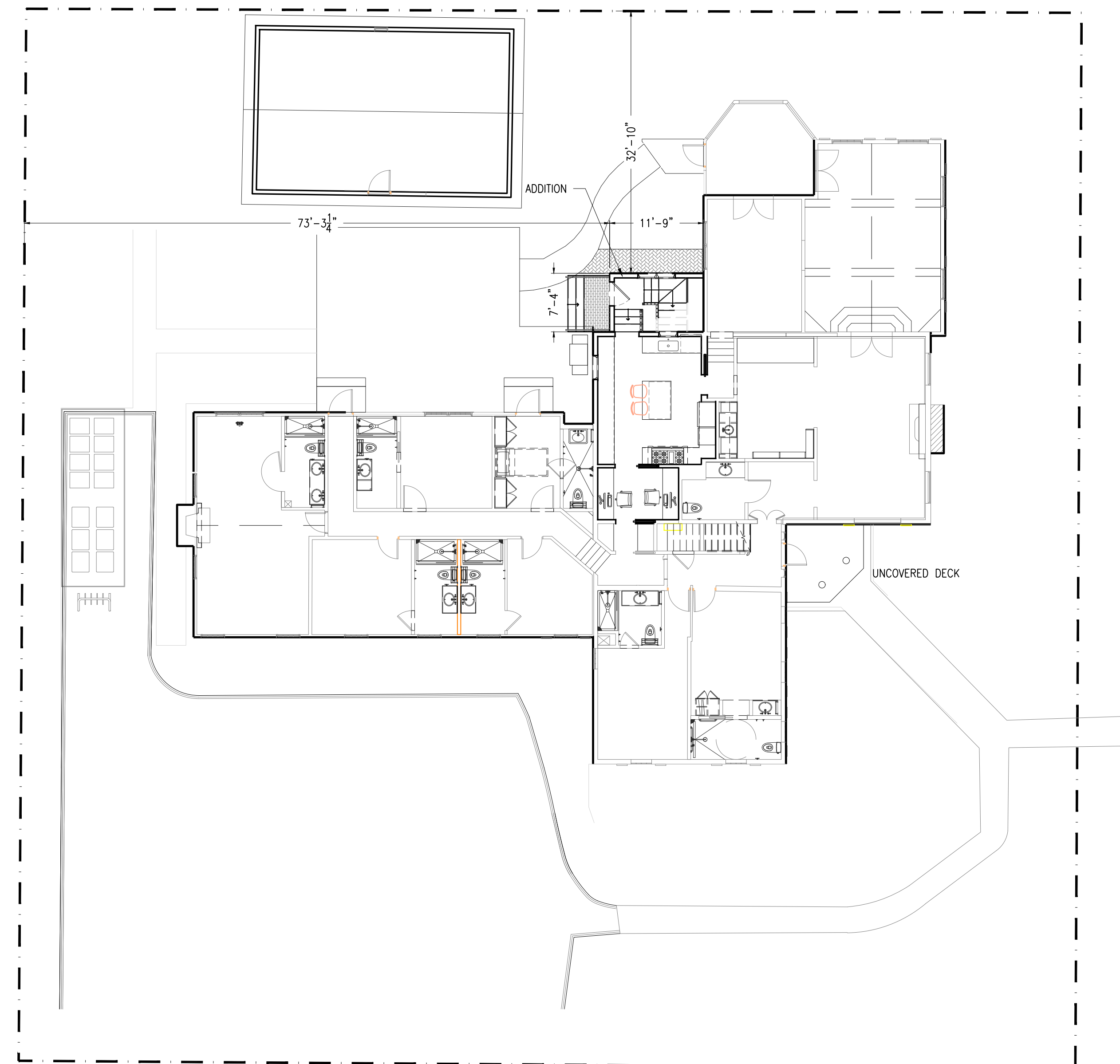


#### COMPLIANCE STATEMENT

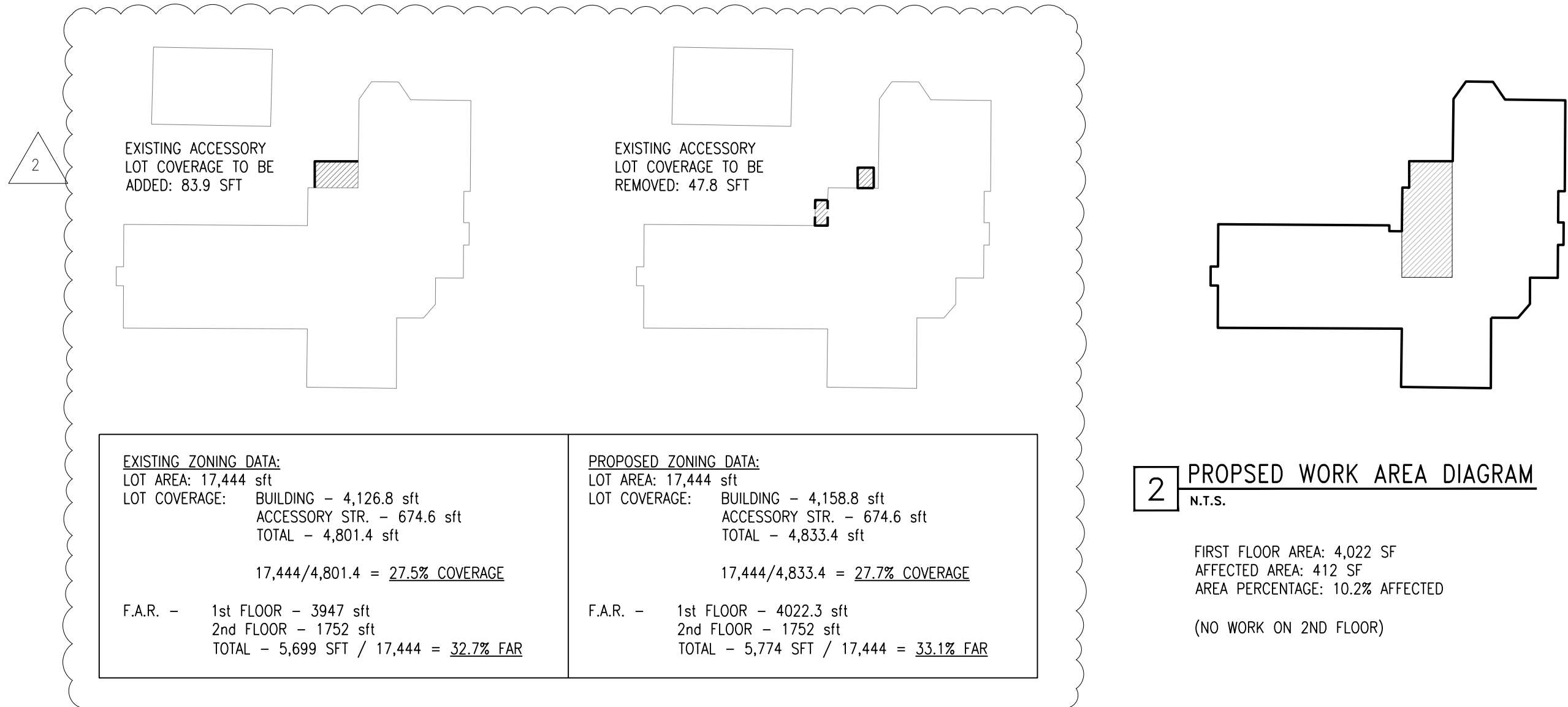
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME AND/OR UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE ORDINANCES AND BUILDING CODES OF SAUGATUCK, MICHIGAN.

SIGNED *Michael W. Waechter* ARCH - MI REG# 1301071816

DP-1/21/2023



1 PROPOSED SITE PLAN  
3/32"=1'-0"



2 PROPOSED WORK AREA DIAGRAM  
N.T.S.

FIRST FLOOR AREA: 4,022 SF  
AFFECTED AREA: 412 SF  
AREA PERCENTAGE: 10.2% AFFECTED  
(NO WORK ON 2ND FLOOR)

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

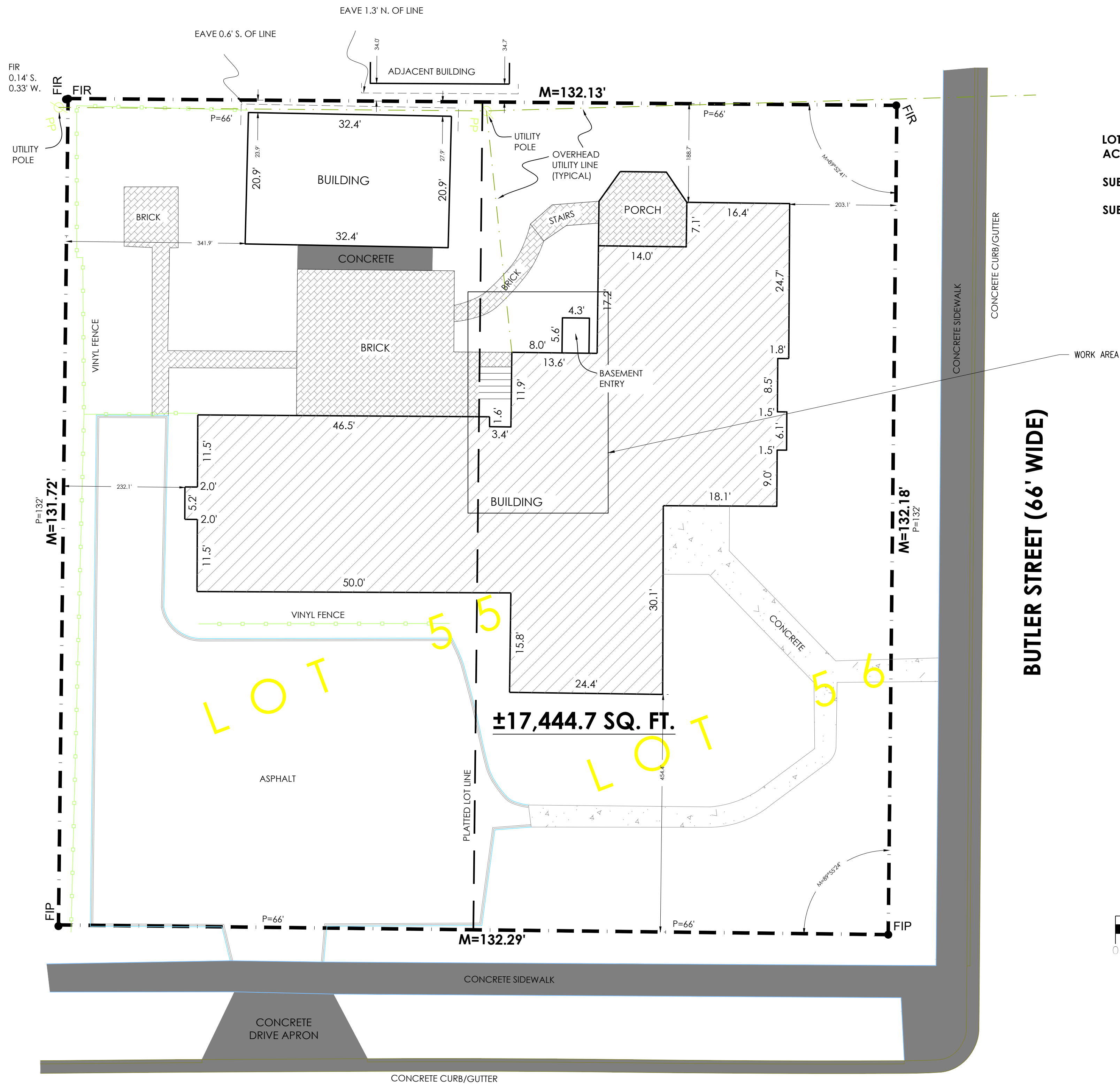
ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

DATE: 2/28/23

SHEET NUMBER:

# G1.0

COVER SHEET



LOTS 55 AND 56, KALAMAZOO PLAT, VILLAGE (NOW CITY) OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD OR OTHERWISE.

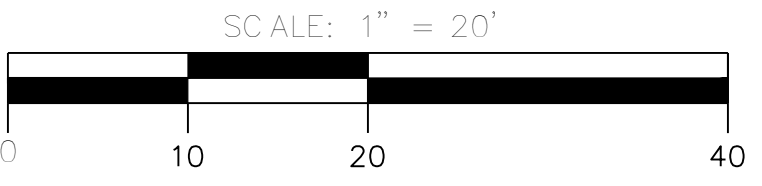
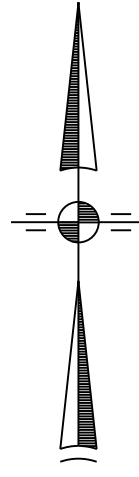
SUBJECT TO FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

BUTLER STREET (66' WIDE)

MARY STREET (66' WIDE)

**LEGEND**

- P = PLATTED
- M = MEASURED
- FIR = FND. IRON ROD
- FIP = FND. IRON PIPE



THIS SURVEY WAS BASED ON THE INCLUDED LEGAL DESCRIPTION AS IT APPEARS ON A DEED OR TITLE INSURANCE POLICY, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS. ANY WRITTEN OR UNWRITTEN RIGHTS OF ADJOINERS ARE UNKNOWN UNLESS SPECIFICALLY NOTED.

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-r-c-h.com  
 Illinois Professional Design Firm #184-005495

**Soucie Horner Interiors**  
 ARCHITECTURAL INTERIORS  
 SOUCIE HORNER, LTD.  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
 PROJECT NAME:  
**the Wickwood Inn**  
 510 Butler St  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/19/23

SHEET NUMBER:

**G1.1**





SYMBOLS LEGEND

Table with columns for ITEM, SYMBOL, DWG TITLE, and various drawing types like PARTIAL BUILDING SECTION, FULL BUILDING SECTION, EXTERIOR ELEVATION, INTERIOR ELEVATION, DETAIL, etc.

MATERIALS LEGEND

Table with columns for ITEM, DESIGNATION, and various materials like EARTH CRUSHED ROCK GRAVEL, EARTH UNDISTURBED, SAND, BRICK, CMU, CONCRETE, GRANITE STONE, GROUT, LIMESTONE, MARBLE STONE, CAST STONE, TERRA COTTA GLAZED, etc.

General Notes

A. CODES, STANDARDS, AND PROCEDURES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SAULGATUCK, MI BUILDING CODE AND AMENDMENTS, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES, ACCESSIBILITY CODES, STANDARDS, AND REGULATORY AGENCIES.

DIMENSIONS, DETAILS AND/OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION.

- 4. DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH ONE JAMB CASING TRIM AGAINST AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS AND/OR DETAILS.

C. COORDINATION

- 1. REFER TO THE SPECIFICATIONS AND ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ADDITIONAL CONSULTANT'S DRAWINGS FOR FULL COORDINATION OF WORK.

RESPONSIBILITIES OF THE CONTRACTOR WITH REGARD TO EXISTING CONDITIONS

A. GENERAL

- 1. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN EXECUTING THE WORK. THE EXISTING CONDITIONS REPRESENTED IN THE DRAWINGS ARE INTERPRETATION TAKEN FROM RECORD SETS OF "AS-BUILT" DRAWINGS ON FILE. THE ARCHITECT CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF ANY SUCH INFORMATION AND ASSUMES NO LIABILITY THEREFORE.

BE DISCOVERED. TIMELY IDENTIFICATIONS OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT OR THE OWNER'S REP WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.

- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSIST THE ARCHITECT OR THE OWNER'S REP IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS AFFECTING NEW CONSTRUCTION.

- 6. THE CONTRACTOR SHALL FURTHER ASSIST THE ARCHITECT OR THE OWNER'S REP BY PROVIDING IN A TIMELY MANNER PREPARED SOLUTIONS TO UNANTICIPATED EXISTING CONDITIONS.

- 7. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE DRAWINGS AND SPECIFICATIONS EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED SO AS TO ALLOW THE EXECUTION OF NEW WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO ALLOW THE EXECUTION OF NEW WORK.

- 8. ALL AREAS ABOVE OR ON THE EXISTING CEILING THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION AND FIRE-RATED ASSEMBLIES.

- 9. ALL ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCATION ARE SHOWN OF THE CONVENIENCE OF THE CONTRACTOR, AND ARE NOT TO BE TAKEN LITERALLY.

- 10. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY UNFINISHED WALL AREAS THAT MAY BE EXPOSED AS A RESULT OF ADJUSTING FINISHED CEILING HEIGHTS. THE CONTRACTOR IS RESPONSIBLE FOR FINISHING THESE AREAS TO MATCH EXISTING ADJACENT FINISHED AREAS AND FIRE-RATED ASSEMBLIES.

- 11. ASBESTOS LOCATION AND ABATEMENT-- THESE PLANS AND SPECIFICATIONS DO NOT CONTAIN INFORMATION FROM WHICH ASBESTOS MAY BE LOCATED NOR HAVE THEY BEEN PREPARED IN CONTEMPLATION OF ASBESTOS REMOVAL. BEFORE ANY WORK IS PERFORMED UNDER THESE PLANS AND SPECIFICATION, THE CONTRACTOR PERFORMING THE WORK SHOULD BECOME FULLY AWARE OF THE LOCATION OF ASBESTOS AND ABATEMENT PROCEDURES, IF ANY, FOR ASBESTOS. THE ARCHITECT UNDERTAKES NO RESPONSIBILITY TO PROVIDE SUCH INFORMATION OR GUIDANCE, AND THE CONTRACTOR SHOULD CONTACT THE OWNER DIRECTLY WITH RESPECT TO ASBESTOS LOCATION AND ABATEMENT.

B. BUILDING ACCESS AND CAPACITY OF EXISTING BUILDING STRUCTURE

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.

C. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS

- 1. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS MAY NOT BE SHOWN ON THE DRAWINGS IN THEIR ENTIRETY.

WORK SO THAT ALL APPLICABLE CODE REQUIREMENTS ARE SATISFIED.

D. CONTRACTOR'S PROJECT RECORD DOCUMENT

- 1. MAINTAIN AT THE JOB SITE ONE COPY OF ALL DRAWINGS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, FIELD ORDERS, AND OTHER CONTRACT MODIFICATIONS, AND OTHER APPROVED DOCUMENTS SUBMITTED BY THE CONTRACTOR IN COMPLIANCE WITH VARIOUS SECTIONS OF THE SPECIFICATIONS.

D. INSTALLATION - GENERAL

- 1. PROVIDE EXPANSION AND/OR CONTROL JOINTS IN ACCORDANCE WITH SPECIFIED OR DRAWN REQUIREMENTS. IN THE ABSENCE OF SPECIFIED OR DRAWN REQUIREMENTS, PROVIDE JOINTS IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS. LOCATIONS SHALL BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR THE OWNER'S REP PRIOR TO INSTALLATION.

WAECHTER ARCHITECTS logo and address: 4534 North Ravenswood Avenue, Chicago, Illinois 60640, p: 773 728 3920, www.w-a-e-c-h.com

Soucie Horner Interiors logo and address: 208 West Kinzie Street, 4th Floor, Chicago, Illinois 60654, telephone: (312) 755-0202, facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE: PROJECT NAME: the Wickwood Inn, 510 Butler St, Saugatuck, MI 49453. NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. DRAWING REPRESENTS DESIGN INTENT ONLY.

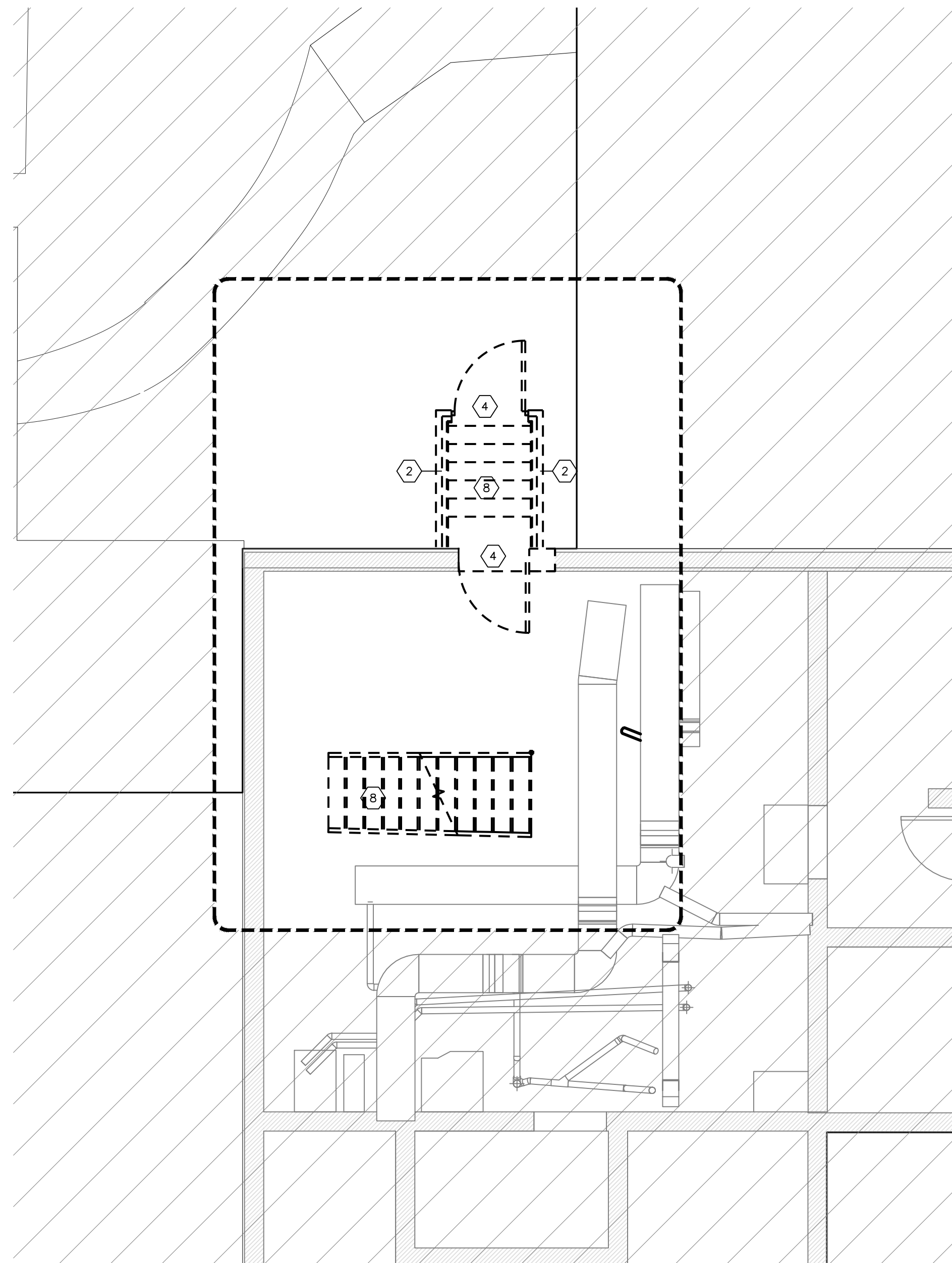
Table with columns: No., DATE, DESCRIPTION. Row 1: 1, 01/18/2023, PERMIT REVIEW

DATE: 1/19/23

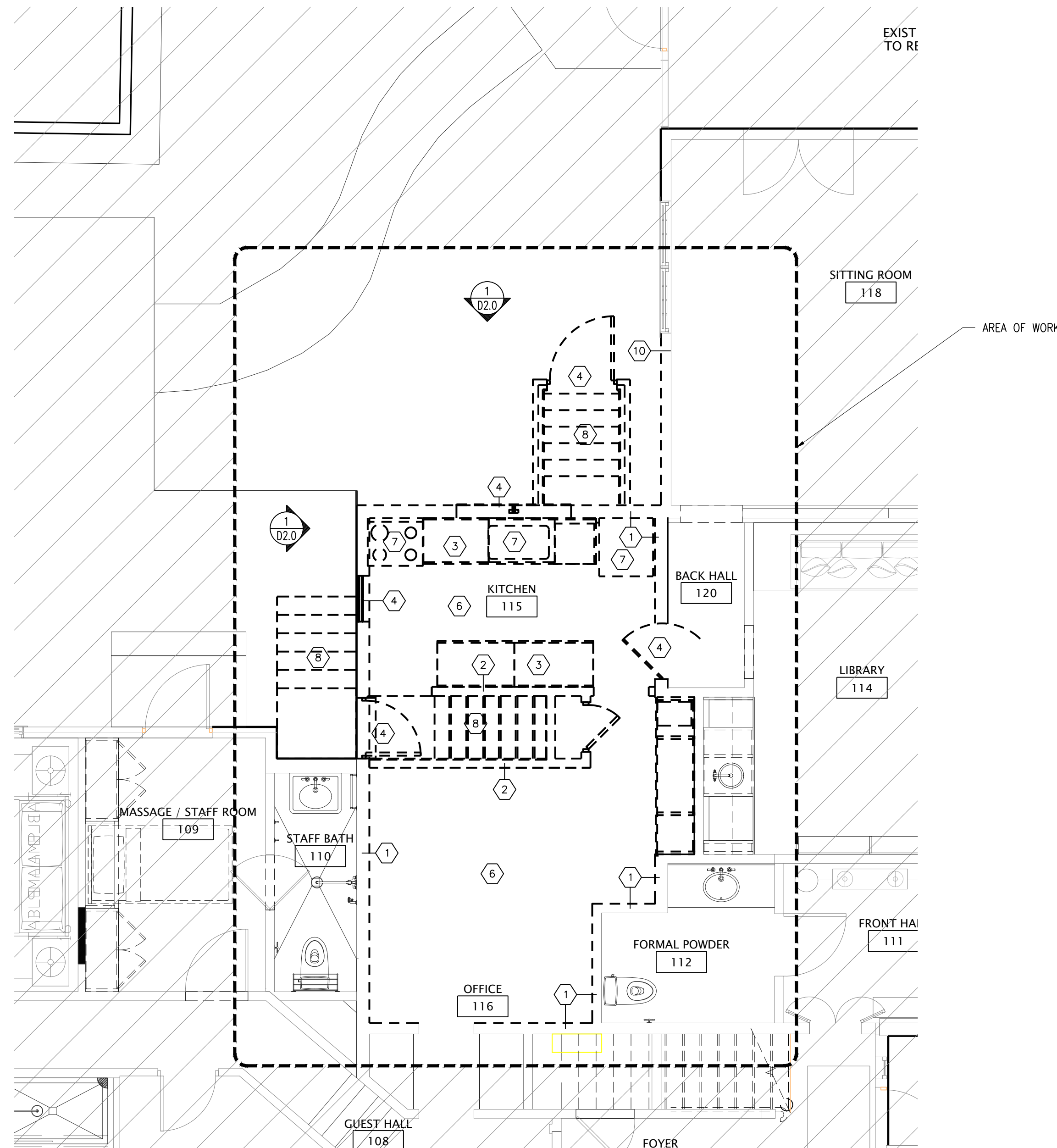
SHEET NUMBER: G1.2



GENERAL NOTES



**1** BASEMENT DEMO PLAN  
1/4"=1'-0"



**2** FIRST FLOOR DEMO PLAN  
1/4"=1'-0"

**GENERAL SHEET NOTES**

- A. WORK INCLUDED: PREPARE SITE AND STRUCTURE FOR NEW CONSTRUCTION ACTIVITIES.
- B. DEMOLISHED MATERIALS: UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY. REMOVE FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS. ITEMS INDICATED AS "REMOVE AND SALVAGE" REMAIN OWNER'S PROPERTY.
- C. REGULATORY REQUIREMENTS: COMPLY WITH LOCAL, STATE, AND FEDERAL/EPA REGULATIONS HAVING JURISDICTION.
- DEFINITIONS:
  - 1. DEMOLISH, OR REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS.
  - 2. REMOVE AND SALVAGE: REMOVE, CLEAN AND DELIVER FOR OWNER'S USE IN DESIGNATED AREA.
  - 3. REMOVE AND REINSTALL: REMOVE, CLEAN, REPAIR, AND REINSTALL ITEM.
  - 4. EXISTING TO REMAIN: PROTECT ITEM AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- D. MAINTAIN CONTINUITY AND USE OF EXIST'G MEP SYSTEMS AFTER SELECTIVE DEMOLITION ACTIVITIES.
- E. MAINTAIN/RESTORE EXTERIOR CLOSURE AND SECURE TO WEATHER TIGHT CONDITION.
- F. GC TO PROVIDE ENGINEERING FOR ANY REQUIRED SHORING OR BRACING OF EXISTING STRUCTURE TO REMAIN.

**DEMOLITION LEGEND**

- ITEMS FOR DEMOLITION
- EXIST'G STRUCTURES TO REMAIN
- INDICATES AREA OF PROPOSED WORK

**DEMOLITION KEY NOTES**

- 1 REMOVE WALL FINISHES TO EXPOSE FRAMING
- 2 REMOVE EXISTING PARTITIONS
- 3 REMOVE MILLWORK AND APPLIANCES; SALVAGE TO OWNER
- 4 REMOVE EXISTING DOOR / WINDOW AND FRAME
- 5 EXISTING ROOF TO REMAIN
- 6 REMOVE EXISTING FLOOR FINISHES
- 7 REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES
- 8 REMOVE STAIR
- 9 PROTECT GUTTERS & DOWNSPOUTS
- 10 REMOVE SIDING AND SHEATHING

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-e-c-h.com  
 Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**

ARCHITECTURAL INTERIORS

**SOUCIE HORNER, LTD.**  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:

**the Wickwood Inn**

510 Butler St  
Saugatuck, MI 49453

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

**ISSUES AND REVISIONS:**

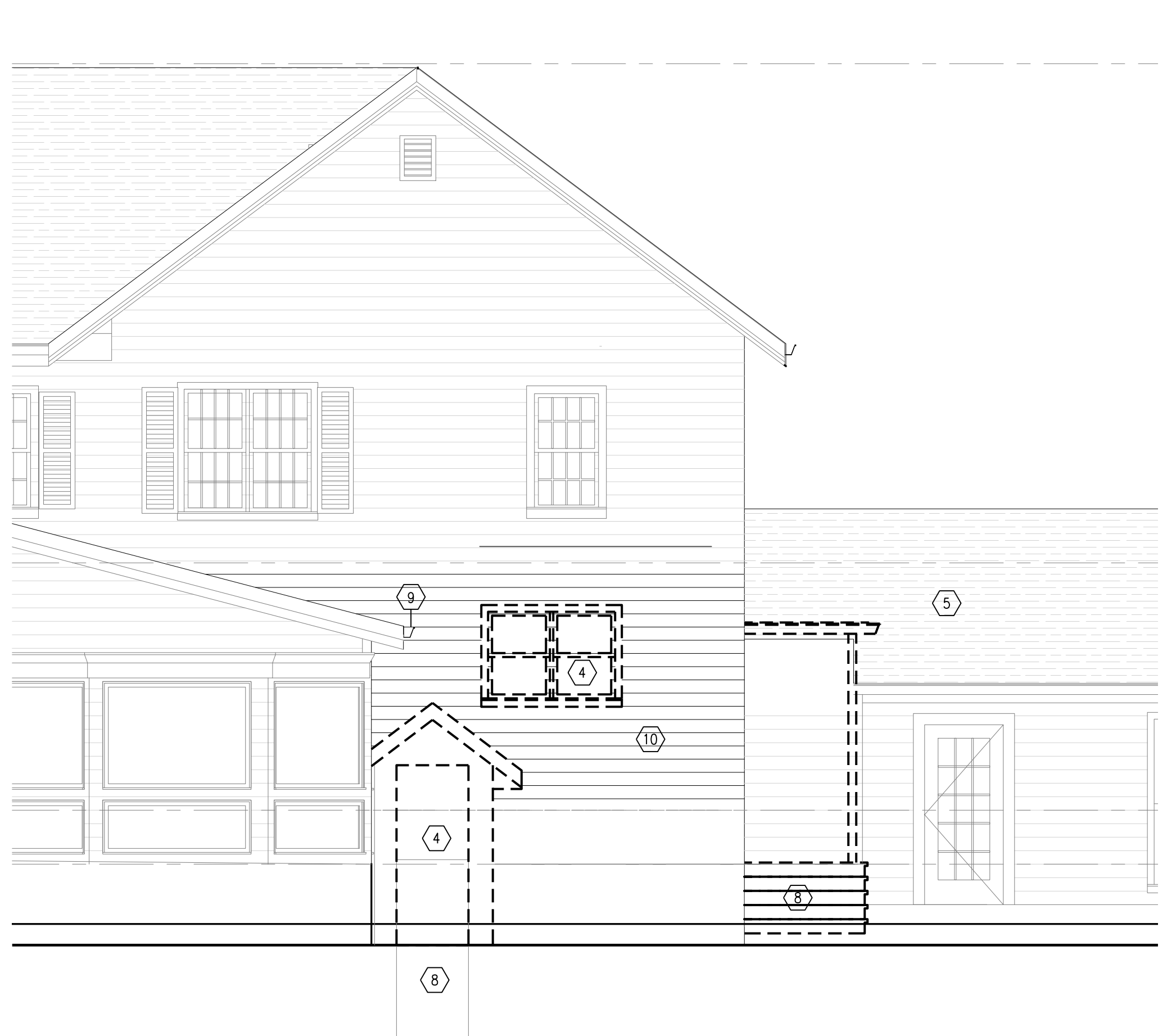
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/19/23

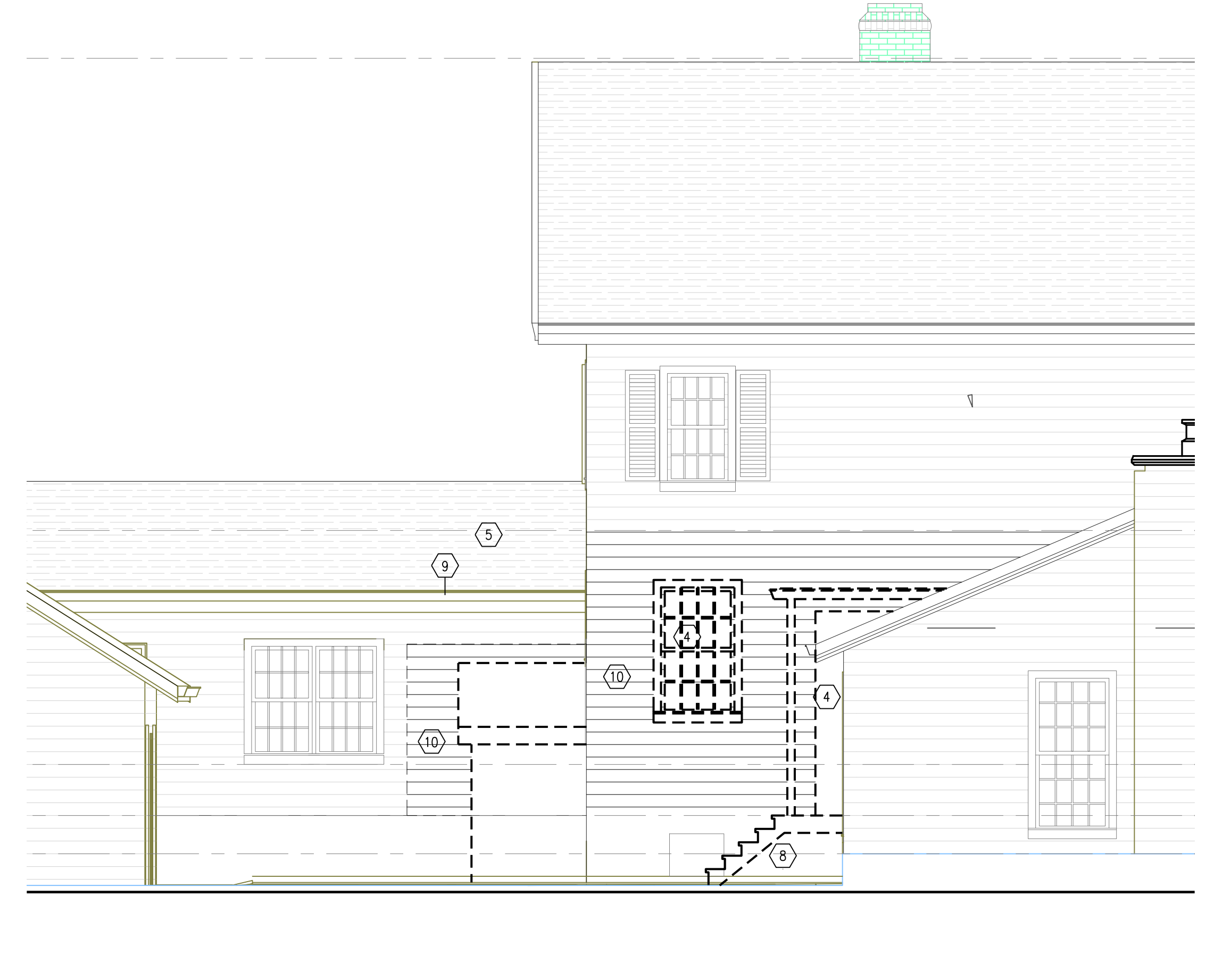
SHEET NUMBER:

**D1.0**





1 EXISTING / DEMO NORTH ELEVATION  
1/4"=1'-0"



2 EXISTING / DEMO EAST ELEVATION  
1/4"=1'-0"

**GENERAL SHEET NOTES**

- A. WORK INCLUDED: PREPARE SITE AND STRUCTURE FOR NEW CONSTRUCTION ACTIVITIES.
  - B. DEMOLISHED MATERIALS: UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY. REMOVE FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS. ITEMS INDICATED AS "REMOVE AND SALVAGE" REMAIN OWNER'S PROPERTY.
  - C. REGULATORY REQUIREMENTS: COMPLY WITH LOCAL, STATE, AND FEDERAL/EPA REGULATIONS HAVING JURISDICTION.
  - D. MAINTAIN CONTINUITY AND USE OF EXIST'G MEP SYSTEMS AFTER SELECTIVE DEMOLITION ACTIVITIES.
  - E. MAINTAIN/RESTORE EXTERIOR CLOSURE AND SECURE TO WEATHER TIGHT CONDITION.
  - F. GC TO PROVIDE ENGINEERING FOR ANY REQUIRED SHORING OR BRACING OF EXISTING STRUCTURE TO REMAIN.
- DEFINITIONS:**
1. DEMOLISH, OR REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS.
  2. REMOVE AND SALVAGE: REMOVE, CLEAN AND DELIVER FOR OWNER'S USE IN DESIGNATED AREA.
  3. REMOVE AND REINSTALL: REMOVE, CLEAN, REPAIR, AND REINSTALL ITEM.
  4. EXISTING TO REMAIN: PROTECT ITEM AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.

**DEMOLITION LEGEND**

- ITEMS FOR DEMOLITION
- EXIST'G STRUCTURES TO REMAIN
- INDICATES AREA OF PROPOSED WORK

**DEMOLITION KEY NOTES**

- 1 REMOVE WALL FINISHES TO EXPOSE FRAMING
- 2 REMOVE EXISTING PARTITIONS
- 3 REMOVE MILLWORK AND APPLIANCES; SALVAGE TO OWNER
- 4 REMOVE EXISTING DOOR / WINDOW AND FRAME
- 5 EXISTING ROOF TO REMAIN
- 6 REMOVE EXISTING FLOOR FINISHES
- 7 REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES
- 8 REMOVE STAIR
- 9 PROTECT GUTTERS & DOWNSPOUTS
- 10 REMOVE SIDING AND SHEATHING

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

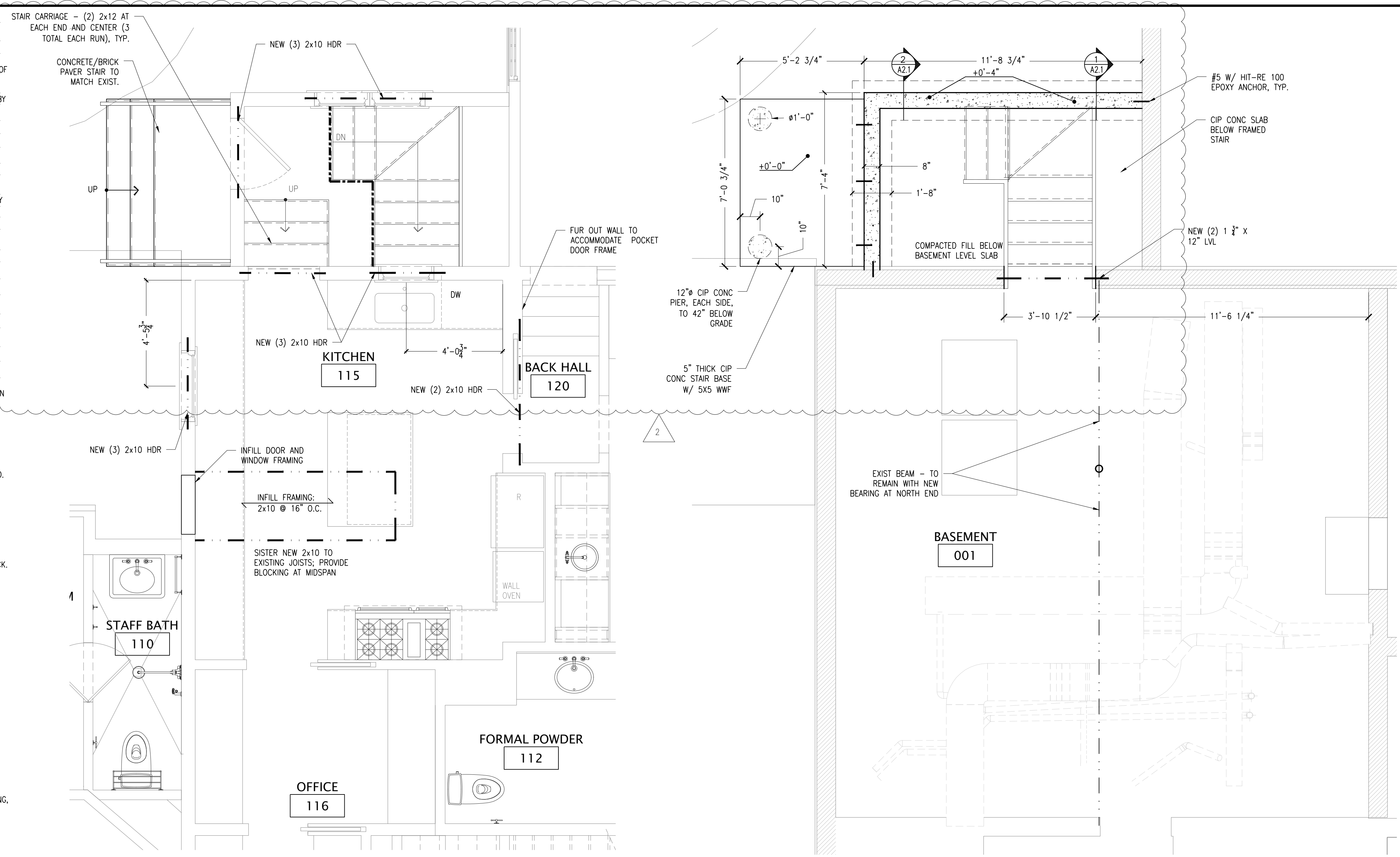
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/19/23  
SHEET NUMBER:  
**D2.0**



**ROUGH CARPENTRY GENERAL NOTES:**

1. LUMBER, GENERAL
  - A. DRESSED LUMBER, S4S, 19% MAXIMUM MOISTURE CONTENT FOR 2-INCH (38-MM) THICKNESS OR LESS, MARKED WITH GRADE STAMP OF INSPECTION AGENCY.
2. TREATED MATERIALS
  - A. PRESERVATIVE-TREATED MATERIALS: AC2 TREATED LUMBER AND AWPA C9 PLYWOOD, LABELED BY AN INSPECTION AGENCY APPROVED BY ALSIC'S BOARD OF REVIEW. AFTER TREATMENT, KILN-DRY LUMBER AND PLYWOOD TO 19 AND 15 PERCENT MOISTURE CONTENT, RESPECTIVELY. TREAT INDICATED ITEMS AND THE FOLLOWING:
    1. WOOD MEMBERS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIERS, AND WATERPROOFING.
    2. CONCEALED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.
    3. WOOD FRAMING MEMBERS LESS THAN 18 INCHES (460 MM) ABOVE GRADE.
    4. WOOD FLOOR PLATES INSTALLED OVER CONCRETE SLABS DIRECTLY IN CONTACT WITH EARTH.
  - B. FIRE-RETARDANT-TREATED MATERIALS: AWPA C20 LUMBER AND AWPA C27 PLYWOOD, INTERIOR TYPE A TREATMENT, LABELED BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
    1. USE TREATED LUMBER AND PLYWOOD WITH BENDING STRENGTH, STIFFNESS, AND FASTENER-HOLDING CAPACITIES THAT ARE NOT REDUCED BELOW VALUES PUBLISHED BY MANUFACTURER OF CHEMICAL FORMULATION UNDER ELEVATED TEMPERATURE AND HUMIDITY CONDITIONS.
3. LUMBER
  - A. DIMENSION LUMBER: THE FOLLOWING GRADES PER INSPECTION AGENCY INDICATED.
    1. NON-LOAD-BEARING INTERIOR PARTITIONS: STUD, SPRUCE/PINE/FIR
    2. FRAMING OTHER THAN NON-LOAD-BEARING PARTITIONS: NO. 2 SPF
  - B. TIMBERS 5-INCH NOMINAL (117-MM ACTUAL) SIZE AND THICKER: DOUGLAS FIR-LARCH, SELECT STRUCTURAL PER NLGA, WCLIB, OR WMPA RULES.
  - C. CONCEALED BOARDS: 19 PERCENT MAXIMUM MOISTURE CONTENT; NORTHERN SPECIES: NO. 3 COMMON OR STANDARD PER NLGA RULES.
  - D. MISCELLANEOUS LUMBER: NO. 3 OR STANDARD GRADE OF ANY SPECIES FOR NAILERS, BLOCKING, AND SIMILAR MEMBERS.
4. ENGINEERED WOOD PRODUCTS
  - A. ENGINEERED WOOD PRODUCTS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND WITH ALLOWABLE DESIGN STRESSES, AS PUBLISHED BY MANUFACTURER, THAT MEET OR EXCEED THOSE INDICATED. MANUFACTURER'S PUBLISHED VALUES SHALL BE DEMONSTRATED BY COMPREHENSIVE TESTING.
  - B. LAMINATED-VENEER LUMBER: LAMINATED WITH AN EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559, WITH GRAIN OF VENEERS PARALLEL TO THEIR LENGTHS.
    1. EXTREME FIBER STRESS IN BENDING: 2500 PSI (17 MPA) FOR 12-INCH NOMINAL- (286-MM ACTUAL-) DEPTH MEMBERS.
    2. MODULUS OF ELASTICITY: 2,000,000 PSI (13,800 MPA).
  - C. PARALLEL-STRAND LUMBER: LAID UP FROM WOOD STRANDS WITH EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559, WITH GRAIN OF STRANDS PARALLEL TO THEIR LENGTHS.
    1. EXTREME FIBER STRESS IN BENDING: 2900 PSI (20 MPA) FOR 12-INCH NOMINAL- (286-MM ACTUAL-) DEPTH MEMBERS.
    2. MODULUS OF ELASTICITY: 2,000,000 PSI (13,800 MPA).
  - D. PREFABRICATED WOOD JOISTS: MADE FROM STRESS-GRADED LUMBER FLANGES AND WOOD-BASED STRUCTURAL-USE PANEL WEBS WITH EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559.
    1. STRUCTURAL CAPACITIES: ESTABLISH AND MONITOR STRUCTURAL CAPACITIES ACCORDING TO ASTM D 5055.
5. PANEL PRODUCTS
  - A. WOOD-BASED STRUCTURAL-USE PANELS: DOC PS 2. PROVIDE PLYWOOD COMPLYING WITH DOC PS 1, WHERE PLYWOOD IS INDICATED.
    1. FACTORY MARK PANELS EVIDENCING COMPLIANCE WITH GRADE REQUIREMENTS.
    2. PROVIDE PANELS WITH SPAN RATINGS REQUIRED BY SUPPORT SPACING INDICATED.
    3. COMBINATION SUBFLOOR-UNDERLAYMENT: APA-RATED STURD-I-FLOOR, EXPOSURE 1.
    4. SUBFLOORING: APA-RATED SHEATHING, EXPOSURE 1.
    5. WALL SHEATHING: APA-RATED STRUCTURAL I SHEATHING, EXPOSURE 1.
    6. ROOF SHEATHING: APA-RATED STRUCTURAL I SHEATHING, EXTERIOR.
    7. PLYWOOD UNDERLAYMENT FOR RESILIENT FLOORING: APA B-C UNDERLAYMENT EXTERIOR PLYWOOD PANELS WITH FULLY SANDED FACE.
    8. PLYWOOD UNDERLAYMENT FOR CERAMIC TILE: APA-RATED, UNDERLAYMENT GRADE, EXTERIOR PLYWOOD, 5/8 INCH (15.9 MM) THICK.
    9. PLYWOOD UNDERLAYMENT FOR CARPET: APA UNDERLAYMENT, EXPOSURE 1 PLYWOOD PANELS WITH FULLY SANDED FACE.
  - B. PARTICLEBOARD UNDERLAYMENT: ANSI A208.1, GRADE PBU.
  - C. HARDBOARD UNDERLAYMENT: ANSI/AHA A135.4, CLASS 4 (SERVICE), S1S; WITH BACK SIDE SANDED.
  - D. FIBERBOARD SHEATHING: ANSI/AHA A194.1, TYPE IV, CLASS 1, 1/2 INCH (13 MM) THICK.
  - E. GYPSUM SHEATHING BOARD: ASTM C 79, WATER-RESISTANT CORE.
  - F. GLASS-FIBER-SURFACED GYPSUM SHEATHING BOARD: ASTM C 578, TYPE IV, WITH 1 & G OR SHIPLAP LONG EDGES.
  - G. EXTRUDED CELLULAR POLYSTYRENE SHEATHING: ASTM C 1289, TYPE I, CLASS 2; WITH ALUMINUM FOIL FACINGS. FOAM-PLASTIC CORE AND FACINGS SHALL HAVE FLAME SPREAD OF 25 OR LESS, WHEN TESTED INDIVIDUALLY.
6. MISCELLANEOUS PRODUCTS
  - A. AIR-INFILTRATION BARRIER: [ASTM D 226, TYPE I, NO. 15 ASPHALT FELT, UNPERFORATED] [POLYOLEFIN MATERIAL COMPLYING WITH ASTM E 1677, TYPE I, WITH MINIMUM WATER-VAPOR TRANSMISSION OF 10 PERMS (575 NG/PA X S X SO. M)].
  - B. FASTENERS: SIZE AND TYPE INDICATED. WHERE ROUGH CARPENTRY IS EXPOSED TO WEATHER, IN GROUND CONTACT, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS WITH A HOT-DIP ZINC COATING PER ASTM A 153 OR OF TYPE 304 STAINLESS STEEL.
    1. POWER-DRIVEN FASTENERS: CABO NER-272.
    2. BOLTS: STEEL BOLTS COMPLYING WITH ASTM A 307, GRADE A (ASTM F 568, PROPERTY CLASS 4.6); WITH ASTM A 563 (ASTM A 563M) HEX NUTS AND, WHERE INDICATED, FLAT WASHERS.
  - C. METAL FRAMING ANCHORS: HOT-DIP GALVANIZED STEEL OF STRUCTURAL CAPACITY, TYPE, AND SIZE INDICATED.
  - D. SILL-SEALER: GLASS-FIBER INSULATION, 1-INCH (25-MM) THICK, COMPRESSIBLE TO 1/32 INCH (0.8 MM).
  - E. ADHESIVES FOR FIELD GLUING PANELS TO FRAMING: APA AFG-01.
7. INSTALLATION
  - A. FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION; SCRIBE AND COPE FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, BLOCKING, AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER CONSTRUCTION.
  - B. SECURELY ATTACH ROUGH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND FASTENING AS INDICATED, COMPLYING WITH THE FOLLOWING:
    1. CABO NER-272 FOR POWER-DRIVEN STAPLES, P-NAILS, AND ALLIED FASTENERS.
    2. PUBLISHED REQUIREMENTS OF METAL FRAMING ANCHOR MANUFACTURER.
  - C. TABLE R402.3A--FASTENER SCHEDULE FOR STRUCTURAL MEMBERS PER THE IRC INSTALLATION OF STRUCTURAL-USE PANELS: COMPLY WITH APPLICABLE RECOMMENDATIONS CONTAINED IN APA FORM NO. E30 AND AS FOLLOWS:
    1. COMBINATION SUBFLOORING-UNDERLAYMENT: GLUE AND NAIL TO FRAMING.
    2. SUBFLOORING: GLUE AND NAIL TO FRAMING.
    3. SHEATHING: NAIL TO FRAMING.
    4. UNDERLAYMENT: NAIL OR STAPLE TO SUBFLOORING.



2 FRAMING PLAN - FIRST FLOOR

1 FRAMING PLAN - BASEMENT

**DESIGN LOADS:**

- STRUCTURAL DESIGN OF THIS BUILDING IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- GRAVITY:
- FLOOR LIVE LOAD: 40 PSF RESIDENTIAL
  - 100 PSF CORRIDORS AND STAIRS
  - 50 PSF SNOW
- ROOF LIVE LOAD:
- 107 MPH
  - W=1.0
  - OCCUPANCY CATEGORY- II
- EXPOSURES:
- GUST EFFECT FACTOR- G = 0.85
  - DIRECTIONALITY FACTOR- Kd = 0.85
  - MWFRS -25 PSF (PER 1609)
- COMPONENTS AND CLADDING:
- WALL (FIELD) - 30 PSF
  - WALL (CORNER) - 35 PSF
  - ROOF (FIELD) -25 PSF
  - ROOF (EDGE) - 57.5 PSF
  - ROOF (CORNER) - 80 PSF

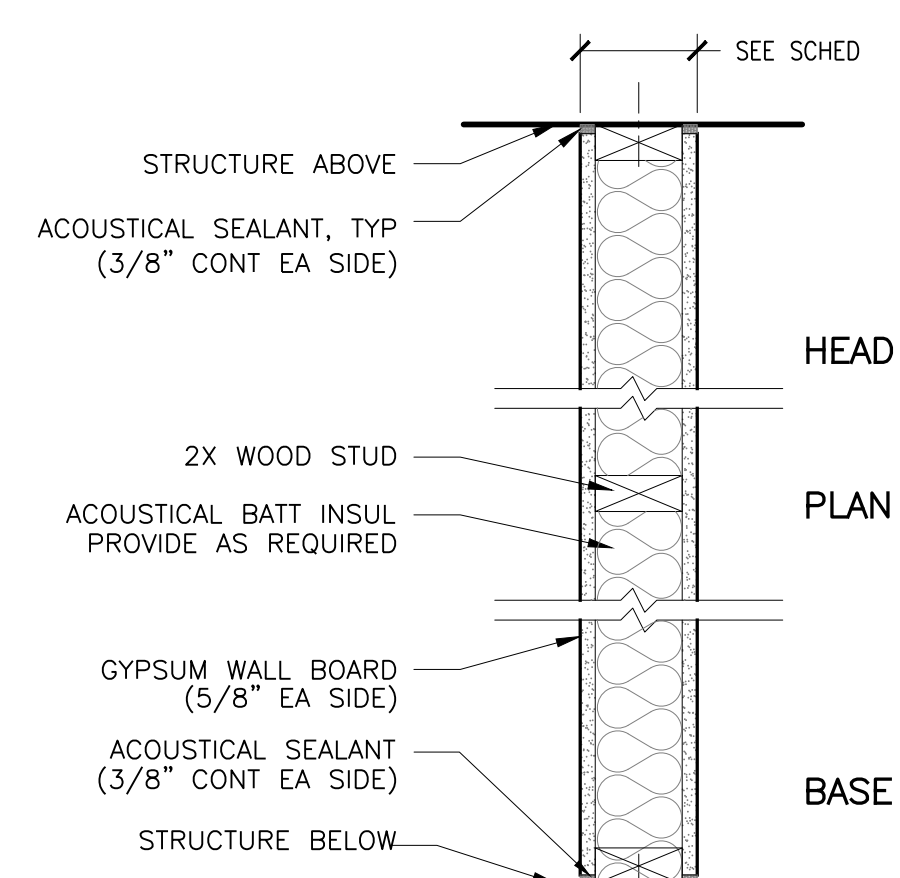
**TYPICAL SLAB CONSTRUCTION:**

1. 5" CIP CONC WITH 5x5 WWF (MIN COVER 1.5" FOR ALL EMBEDDED ITEMS)
2. CONTINUOUS VAPOR BARRIER
3. MIN R-10 INSULATION UNDER SLAB (2") AND R-15 AT INSIDE FACE OF FOUNDATION WALLS TO 2'-0" BELOW GRADE AND WITHIN 4 FT OF PERIMETER (2" AND 1" XPS RIGID BOARD).

**GUARD RAIL DESIGN LOADS - ALL HANDRAILS SHALL BE DESIGNED TO RESIST THE MORE SEVERE EFFECTS OF A SINGLE CONCENTRATED LIVE LOAD OF 200-LB AT ANY LOCATION AND IN ANY DIRECTION OR A SIMULTANEOUS VERTICAL AND HORIZONTAL LIVE LOAD OF 50 PLF APPLIED AT THE TOP OF THE RAIL.**

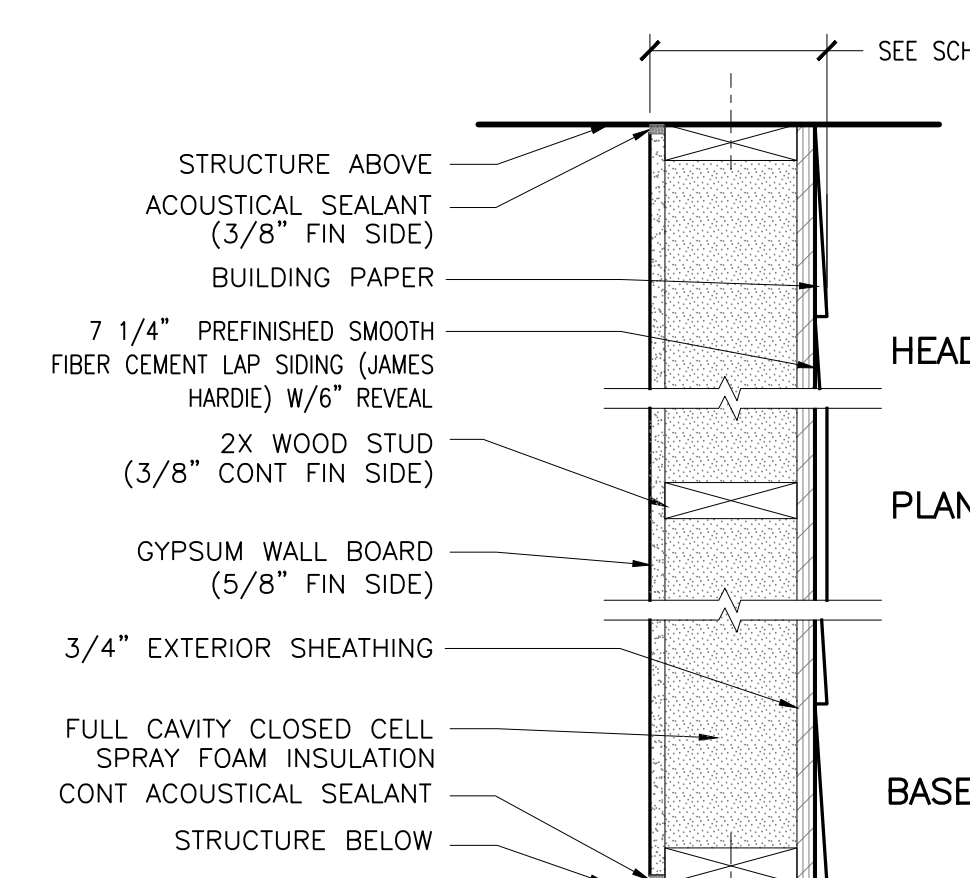
**ADDITIONAL FRAMING NOTES:**

1. PROVIDE MIN R-15 SUB-SLAB INSULATION PER 2018 IECC, SECTION/TABLE R402.1.2 AND AS SHOWN IN BUILDING SECTION.
2. NEW PORCHES, STEPS AND GARAGE FLOOR SLABS TO BE MIN. 3,500 PSI, WITH MIN. 5% TO MAX. 7% AIR-ENTRAINED CONCRETE MIX - PER 2018 IRC, SECTION/TABLE R402.2
3. FOUNDATION ANCHOR BOLTS SHALL EXTEND A MIN. 7" INTO CONCRETE, WITH MIN. 2 ANCHOR BOLTS PER PLATE SECTION, AND BE LOCATED NOT MORE THAN 12" FROM EACH END OF PLATE SECTION - PER 2018 IRC, SECTION R403.1.6



D.T.D. NO.	STUD/BLOCK SIZE	STUD SPACING	MAX. HT.	FIRE RATING/TEST NO.	INSUL. THK./STC RATING/TEST NO.	WALL THK.
A	NOM 2X4 WD STUD	16" OC	-	NR	3 1/2" / 46/BBN-700/25	4 3/4"
B	NOM 2X6 WD STUD	16" OC	-	NR	5 1/2" / -	6 3/4"

3 BALANCED SINGLE LAYER ACOUSTIC GYPSUM BOARD PARTITION  
1 1/2" = 1'-0"



D.T.D. NO.	STUD/BLOCK SIZE	STUD SPACING	MAX. HT.	FIRE RATING/TEST NO.	INSUL. THK./STC RATING/TEST NO.	WALL THK.
A	NOM 2X4 WD STUD	16" OC	-	NR	3 1/2" / -	5 3/8"
B	NOM 2X6 WD STUD	16" OC	-	NR	5 1/2" / -	7 3/8"

4 EXTERIOR WALL PARTITION FINISHED ONE SIDE  
1 1/2" = 1'-0"

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773.728.3920  
 www.w-a-e-c-h.com  
 Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
 ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

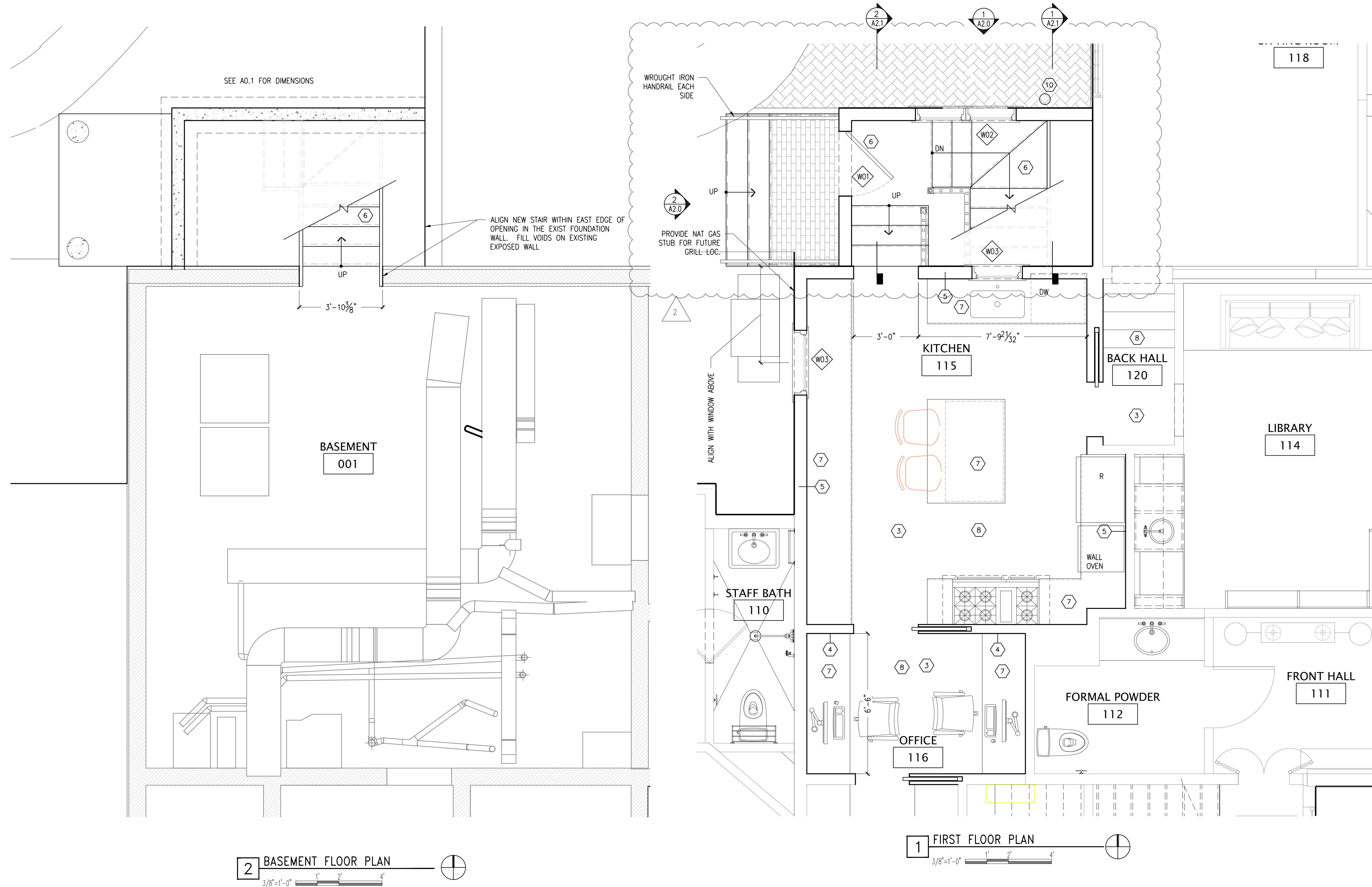
Permit Application # \_\_\_\_\_

DRAWING TITLE:  
 PROJECT NAME:  
**the Wickwood Inn**  
 510 Butler St  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

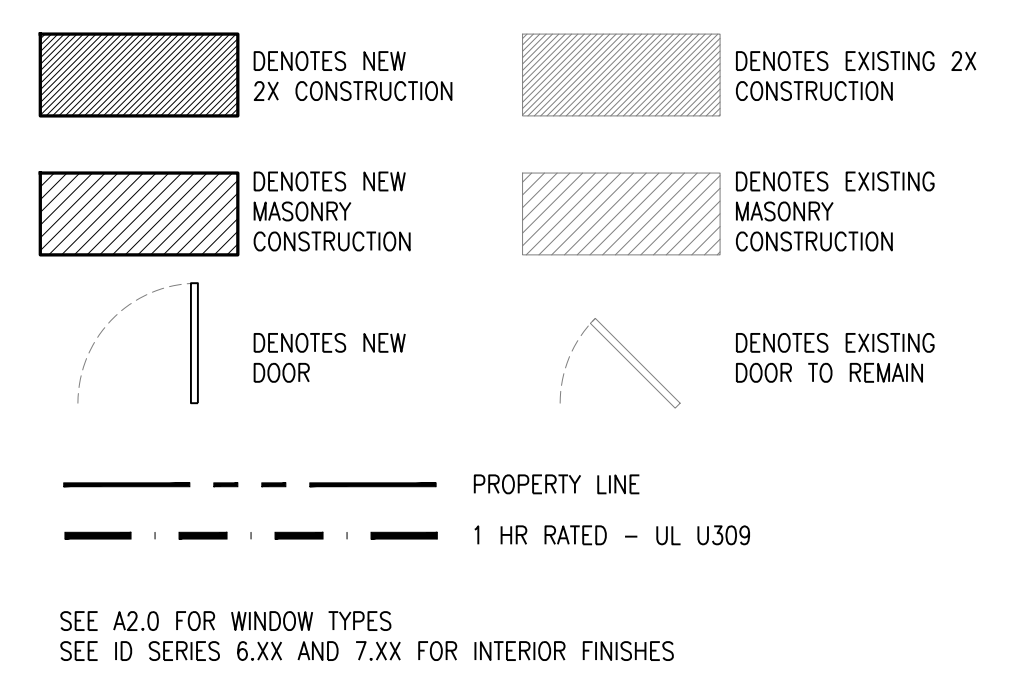
DATE: 2/28/23  
 SHEET NUMBER:  
**A0.1**



**PLAN NOTES**

- FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACE OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACE, AT THE CEILING AND FLOOR LEVEL
  - ALL INTERCONNECTION BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURRED AT SOFFITS, DROP CEILINGS, ETC
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
  - AT OPENING AROUND VENTS, PIPERS, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS
- SMOKE DETECTORS EVERY BEDROOM; ONE ON EACH FLOOR INCLUDING CRAWLSPACE
- BATHROOMS TO BE GFCI PROTECTED WITH SEPERATE 20A CIRCUIT
- ALL LIGHT FIXTURES TO BE CENTERED ON SPACE, U.N.O.
- ALL CEILING / FLOOR CAVITIES EXPOSED TO BE ENCLOSED TO FOLLOW UL L501; EXISTING 2X10 JOISTS

**PLAN LEGEND**



**CONSTRUCTION KEYNOTES-PLAN**

- EXISTING WINDOW TO REMAIN
- NEW CLAD WINDOW WITH SCREENS - SEE ELEVATIONS
- NEW HARDWOOD FLOORING - 3.5" WHITE OAK FOR DARK STAIN AND CLEAR FINISH, TYP.
- NEW INTERIOR PARTITION: UL U305 - 1 LAYER 5/8" TYPE X GYP BD EACH SIDE - GREEN BOARD AT ALL WET LOCATIONS;
- NEW INTERIOR FINISHES, CLOSED CELL FOAM INSULATION
- NEW MILLWORK STAIR AND RAILING - 5/4" HARDWOOD TREADS FOR CLEAR FINISH; PAINTED RISERS AND SKIRT BOARDS
- NEW CUSTOM MILLWORK - SEE ID-6.01
- PATCH AND PAINT ALL WALLS AND CEILINGS THIS ROOM
- NEW ASPHALT SHINGLED ROOF STRUCTURE
- NEW GUTTER AND DOWNSPOUTS - SEE ALSO ELEVATIONS

**STRUCTURAL NOTES**

- SOIL BEARING: 1,500 - 2,000 PSF
- CONCRETE: 2,500 PSF (not exposed to weather), 3,500 PSF (exposed to weather)
- REINFORCING STEEL: 40,000 PSI
- STRUCTURAL STEEL: 36,000 PSI
- STRUCTURAL LUMBER: 1,000 PSI (Fb), 1,000,000 (E)
- FLOOR LOAD: 40 PSF
- SNOW LOAD: 50 PSF
- WIND LOAD: 90 MPH, Exposure "A"

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-r-c-h.com  
 Illinois Professional Design Firm #184-005495

**SOUICIE HORNER INTERIORS**  
 ARCHITECTURAL INTERIORS  
**SOUICIE HORNER, LTD.**  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
 PROJECT NAME:  
**the Wickwood Inn**  
 510 Butler St  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

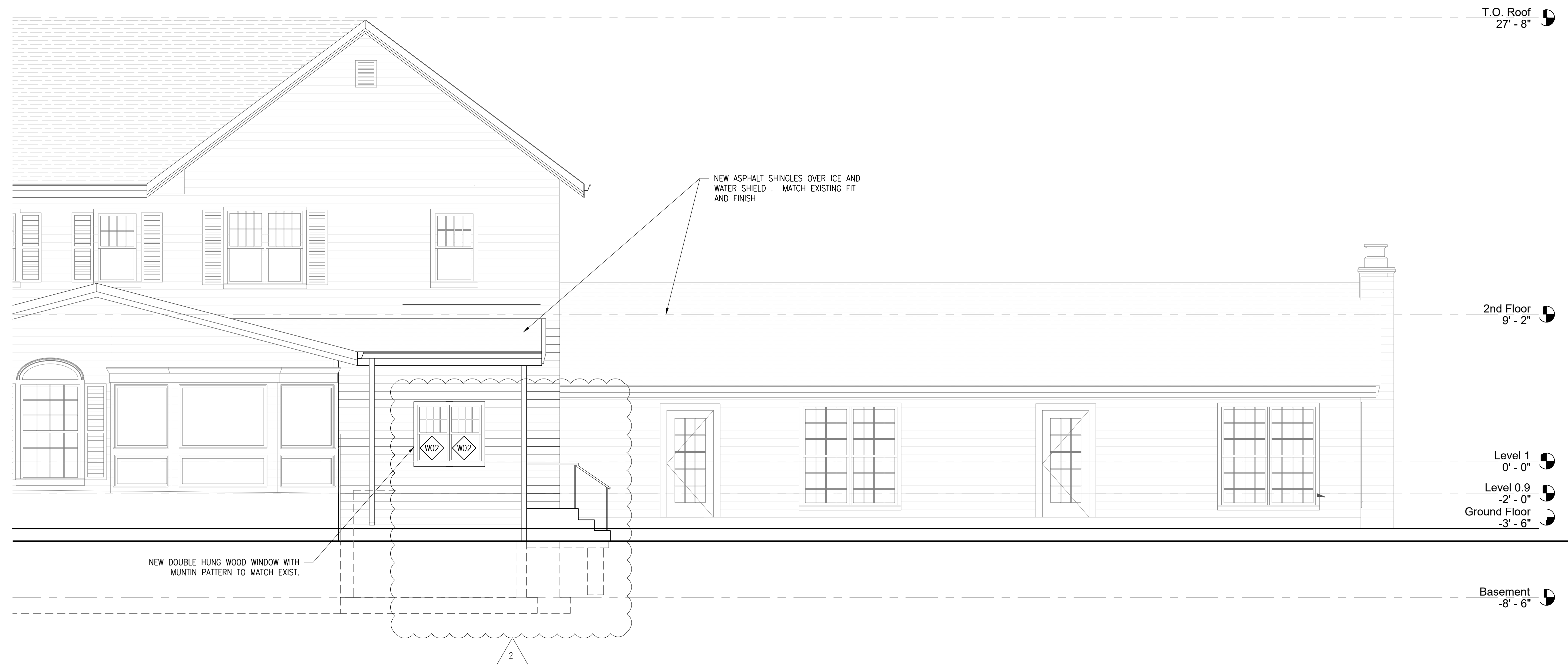
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

DATE: 2/28/23

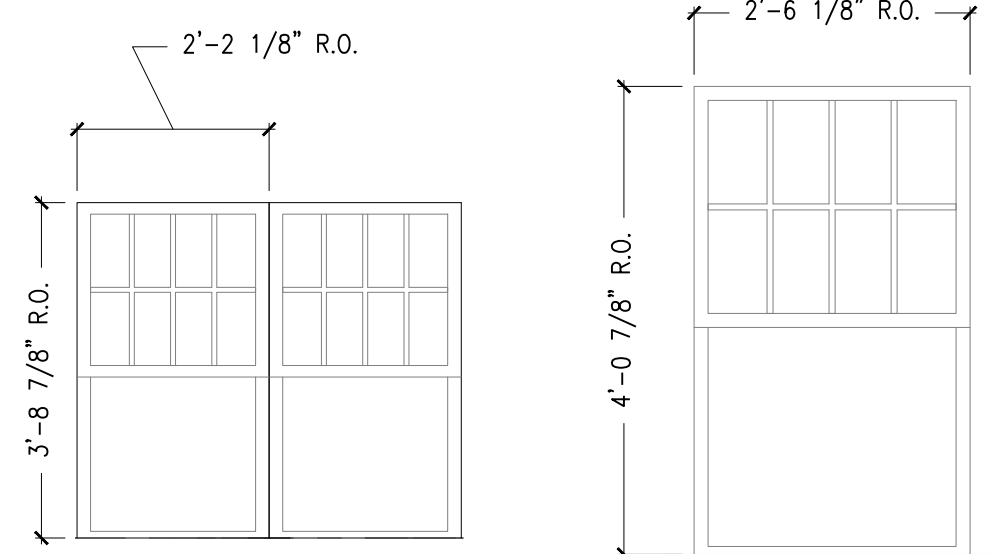
SHEET NUMBER:

**A1.0**

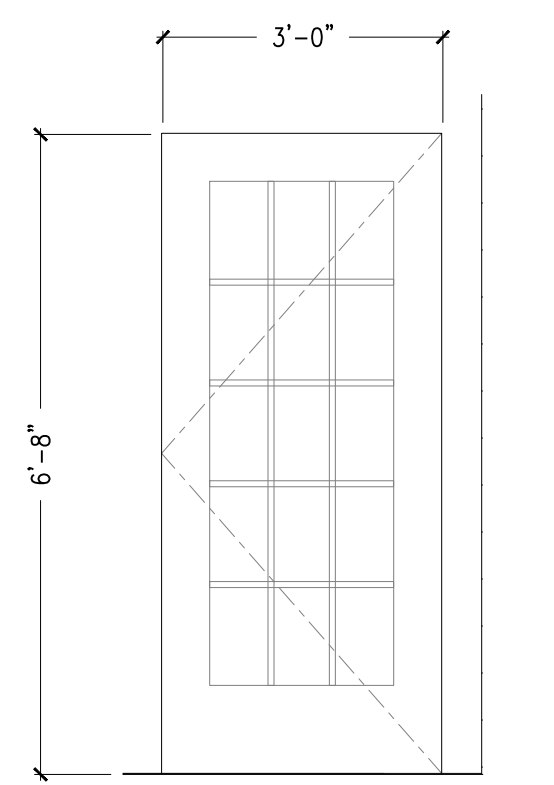




**1** PROPOSED NORTH ELEVATION  
 1/4"=1'-0"

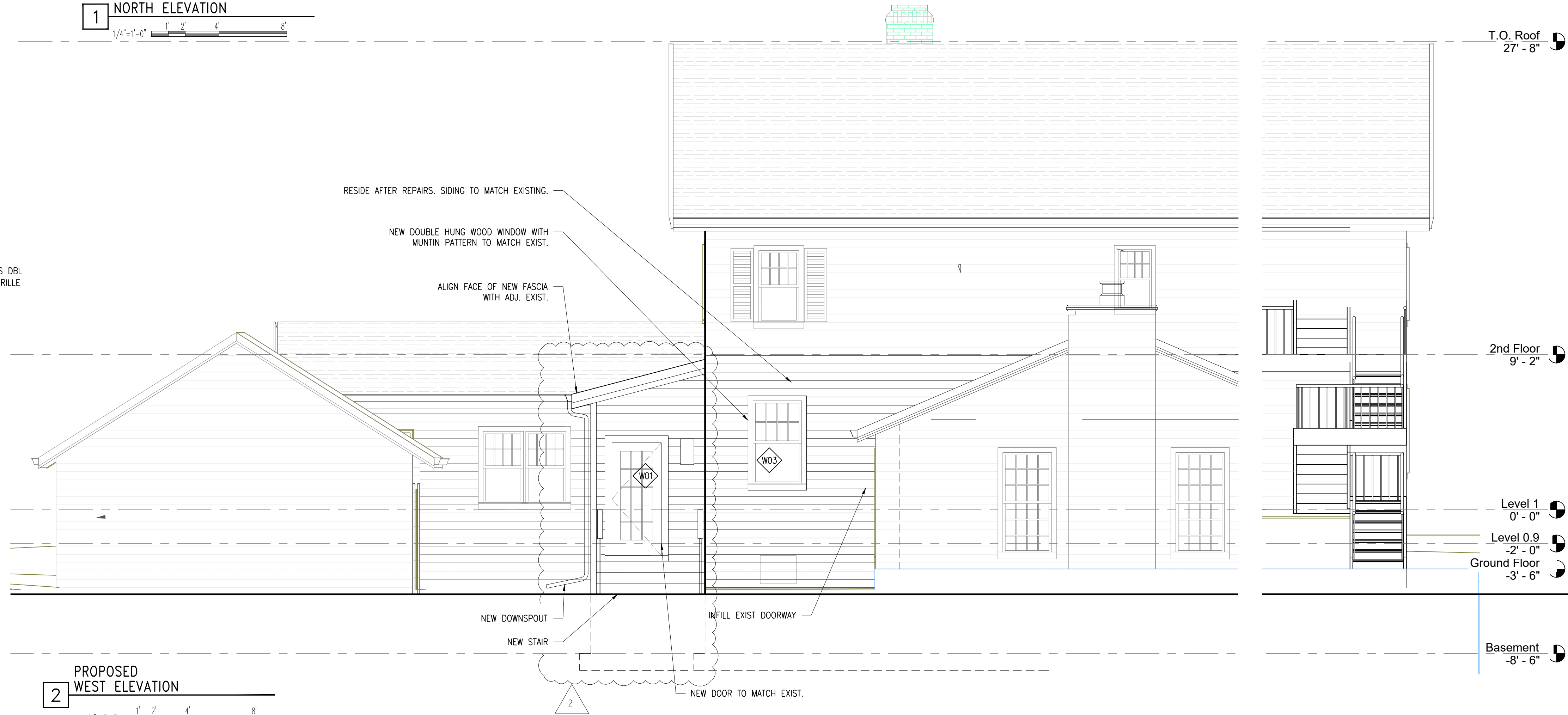


W02 (2) ANDERSEN 400 SERIES DBL HUNG W/ COLONIAL GRILLE TW2032  
 W03 ANDERSEN 400 SERIES DBL HUNG W/ COLONIAL GRILLE TW24310



W01 DOOR THERMATRU - TRADITIONS COLONIAL 15 LITE Style No. TS108-GBCC OUTSWING

**3** WINDOW TYPE ELEVATIONS  
 3/8"=1'-0"



**2** PROPOSED WEST ELEVATION  
 1/4"=1'-0"

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
 PROJECT NAME:  
**the Wickwood Inn**  
 510 Butler St  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

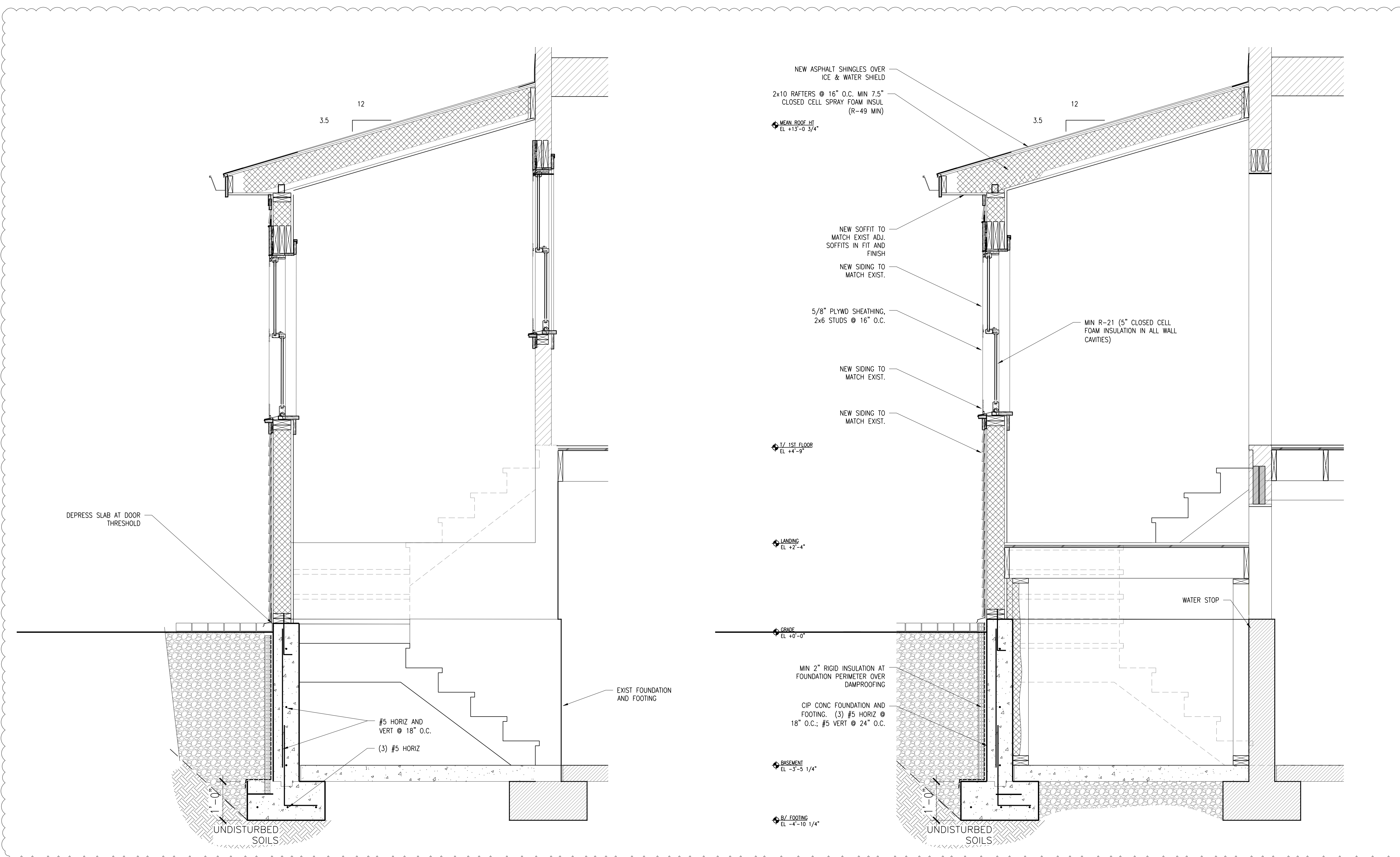
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

DATE: 2/28/23

SHEET NUMBER:

**A2.0**





**1 BUILDING SECTION**  
3/4"=1'-0" 5' 1' 2'

**2 BUILDING SECTION**  
3/4"=1'-0" 5' 1' 2'

**PARTITION AND FRAMING NOTES**

1. STAIR CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.5 (MAX. 7-3/4" RISER HEIGHT, MIN. 10" TREAD DEPTH AND THE MAX. HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8"). STAIR SHALL HAVE MIN. 6'-8" HEADROOM MEASURED VERTICALLY FROM THE TREAD NOSING, OR FROM THE LANDING OR PLATFORM- PER 2018 IRC, SECTION R311.7.2 AND THAT UNDER-STAIR SURFACE SHALL BE PROTECTED WITH MIN. 1/2" GYPSUM BOARD. JOINTS AND SEAMS SHALL BE FIRE TAPED- TO COMPLY WITH CITY OF H. P. ADOPTED AMENDMENT TO 2018 IRC, SECTION R302.7
2. HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.8- HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHT SHALL COMPLY WITH SECTION R311.7.8.1 (MIN. 34" TO MAX. 38" ABOVE TREAD NOSING), HANDRAIL ENDS SHALL COMPLY WITH SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5
3. FOUNDATION ANCHOR BOLTS SHALL EXTEND A MIN. 7" INTO CONCRETE, WITH MIN. 2 ANCHOR BOLTS PER PLATE SECTION, AND BE LOCATED NOT MORE THAN 12" FROM EACH END OF PLATE SECTION- PER 2018 IRC, SECTION R403.1.6

CLIMATE ZONE 5  
INSULATION AND FENESTRATION REQUIREMENTS PER TABLE R402.1.2

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.55
GLAZED FENESTRATION SHGC	NR
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20 or 13 + 5
FLOOR R-VALUE	30
BASEMENT WALL R-VALUE	15/19
SLAB R-VALUE & DEPTH	10, 2" (15 IN HEATED SLABS)
CRAWL SPACE WALL R-VALUE	15/19

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

DATE: 2/28/23

SHEET NUMBER:

**A2.1**





2 CONTEXT PHOTO - EAST ELEV



3 CONTEXT PHOTO - SOUTH EAST ELEV



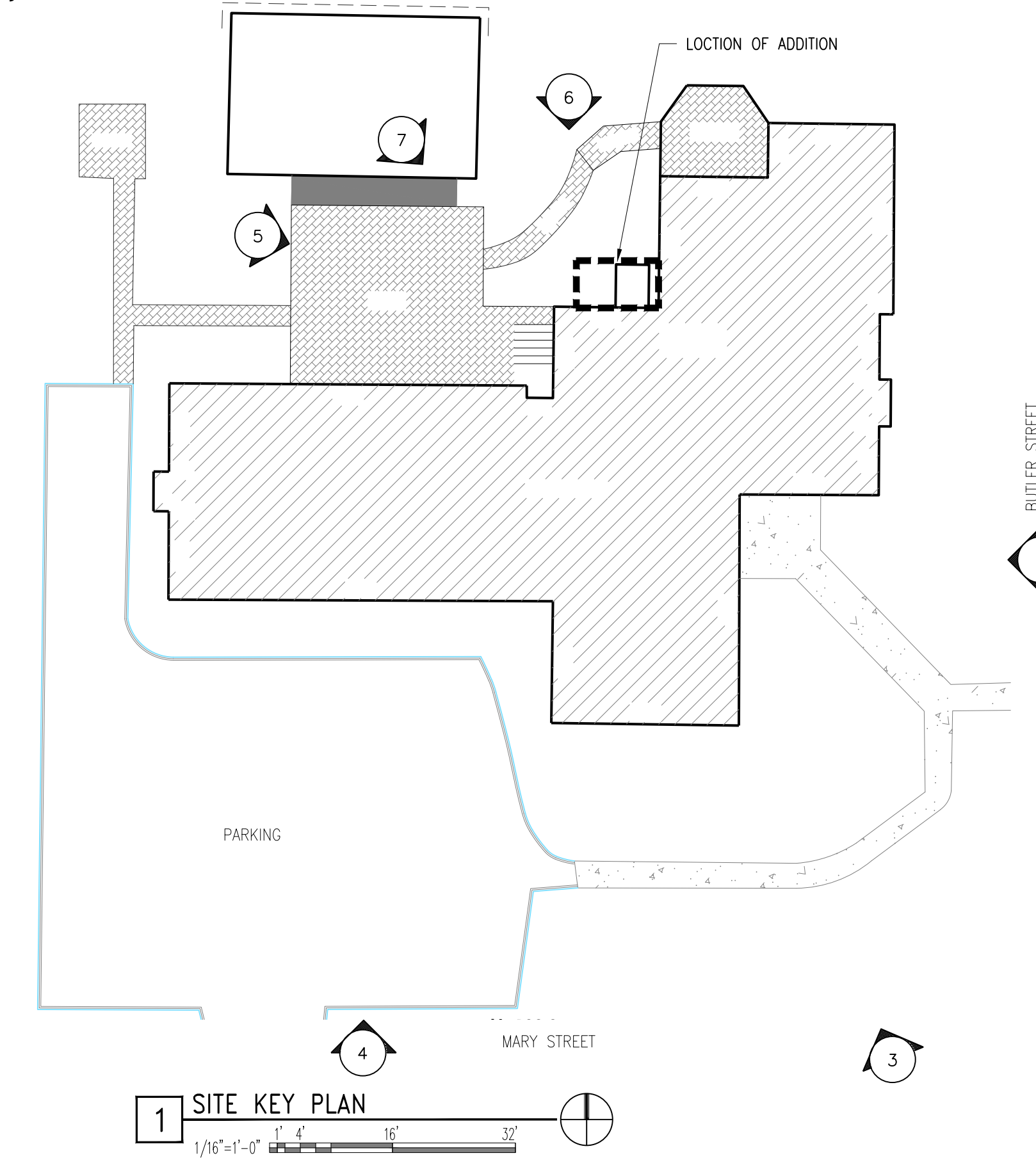
4 CONTEXT PHOTO - SOUTH ELEV



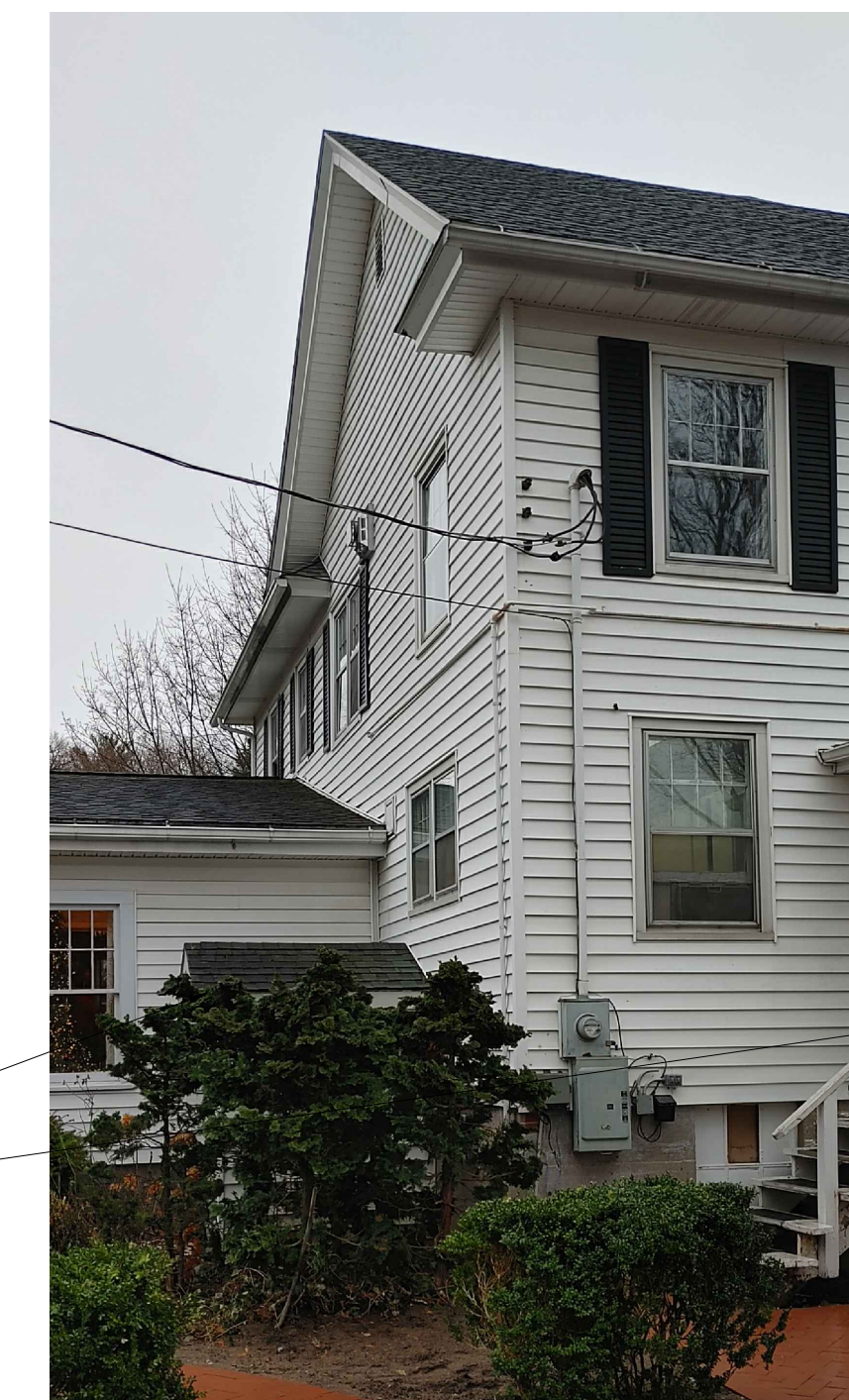
9 CONTEXT PLAN



8 PROPOSED ELEVATIONS



1 SITE KEY PLAN



5 CONTEXT PHOTO - NORTHWEST



6 CONTEXT PHOTO - NORTH ELEV



7 CONTEXT PHOTO - NORTHEAST

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUICIE HORNER INTERIORS**

ARCHITECTURAL INTERIORS

**SOUICIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:

**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

DATE: 2/28/23

SHEET NUMBER:

**A3.0**

CONTEXT PHOTOS



**NOTES:**

NOT IN SCOPE

REFER TO ELEVATIONS FOR POWER LOCATIONS WITHIN CABINETS

NOTE: FIXTURE INSTALLATION AND CIRCUITING TO CONFORM WITH CURRENT BUILDING CODES AND MANUFACTURER SPECIFICATIONS.

**LIGHTING SYMBOLS KEY**

F-XXX WALL SCONCE

F-XXX RECESSED CAN LIGHT

F2

F4 PUCK LIGHT

F5 UNDERCABINET STRIP LIGHTING

NOTE: ALL ELECTRIC DEVICES, CIRCUITING AND INSTALLATION TO CONFORM WITH CURRENT BUILDING CODES.

**ELECTRICAL SYMBOLS KEY**

OUTLET

SWITCHED OUTLET (RIGHT HALF ONLY)

SWITCHED OUTLET (LEFT HALF ONLY)

TELEPHONE

TELEPHONE & DATA

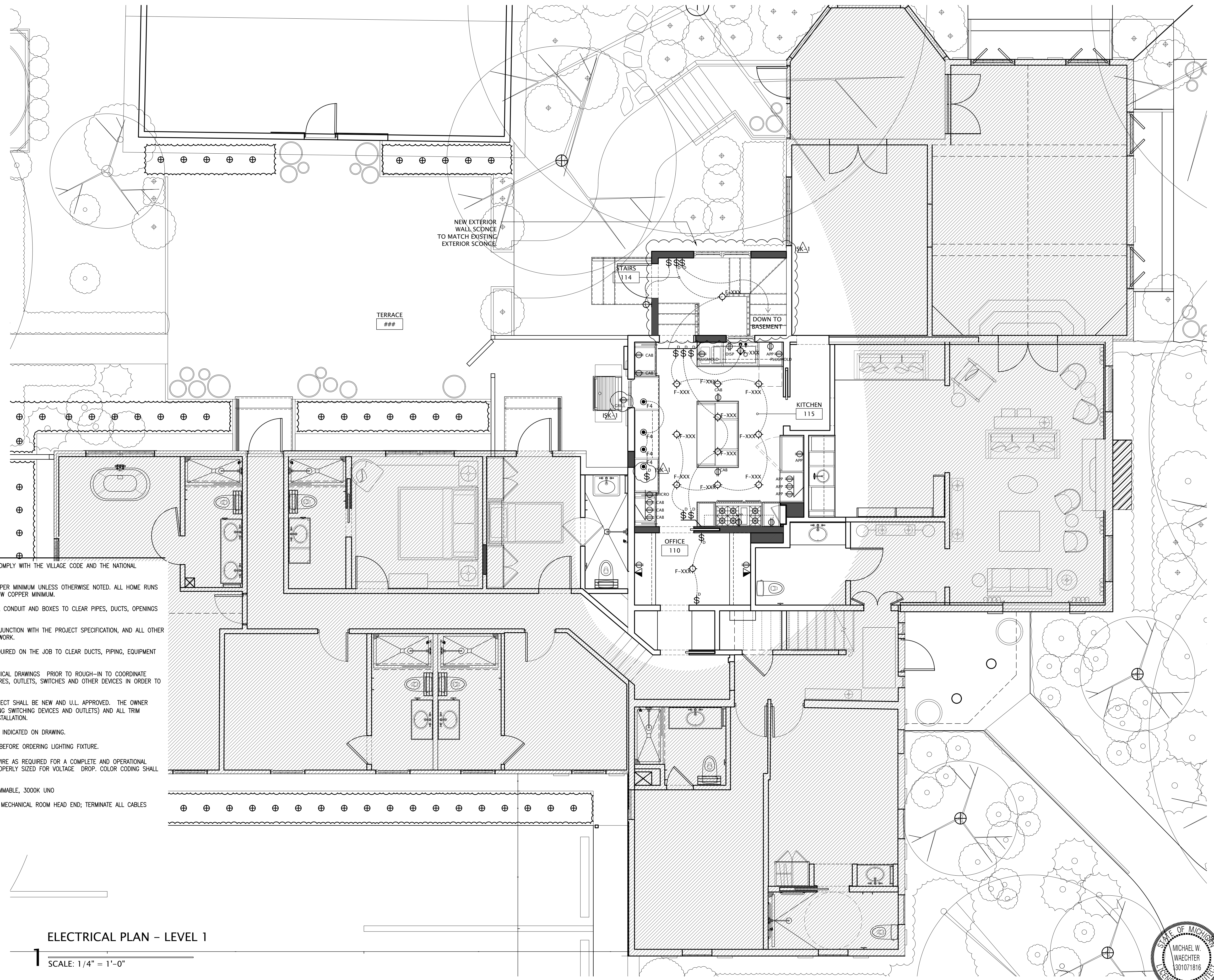
DATA

SWITCH

DIMMER SWITCH

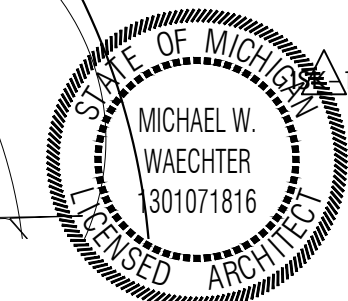
**ELECTRICAL NOTES**

- ALL INSTALLED SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE VILLAGE CODE AND THE NATIONAL ELECTRICAL CODE.
- ALL BRANCH WIRING SHALL BE No.12 AWG THW COPPER MINIMUM UNLESS OTHERWISE NOTED. ALL HOME RUNS OF 100 FEET AND LONGER SHALL BE No.10 AWG THW COPPER MINIMUM.
- COORDINATE WORK WITH OTHER TRADES AND INSTALL CONDUIT AND BOXES TO CLEAR PIPES, DUCTS, OPENINGS AND OTHER STRUCTURAL FEATURES.
- ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATION, AND ALL OTHER DRAWINGS RELATED TO THE PERFORMANCE OF THIS WORK.
- ALL LIGHTING FIXTURES ARE TO BE LOCATED AS REQUIRED ON THE JOB TO CLEAR DUCTS, PIPING, EQUIPMENT AND/OR MECHANICAL EQUIPMENT.
- REFER TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS PRIOR TO ROUGH-IN TO COORDINATE ELECTRICAL WORK SUCH AS PANELS, LIGHTING FIXTURES, OUTLETS, SWITCHES AND OTHER DEVICES IN ORDER TO AVOID FIELD CONFLICTS.
- ALL MATERIALS END EQUIPMENT USED ON THIS PROJECT SHALL BE NEW AND U.L. APPROVED. THE OWNER SHALL INSPECT AND ACCEPT ALL FIXTURES (INCLUDING SWITCHING DEVICES AND OUTLETS) AND ALL TRIM COMPONENTS FOR STYLE AND COLORS PRIOR TO INSTALLATION.
- ALL WIRING SHALL BE INSTALLED IN CONDUIT OR AS INDICATED ON DRAWING.
- VERIFY TYPE OF CEILING AND MOUNTING HARDWARE BEFORE ORDERING LIGHTING FIXTURE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PIPE/WIRE AS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL INSTALLATION. CONDUCTOR SHALL BE PROPERLY SIZED FOR VOLTAGE DROP. COLOR CODING SHALL BE USED AS PER APPLICABLE CODES.
- ALL LIGHTING IS TO BE INTEGRALLY LAMPED LED, DIMMABLE, 3000K UNO
- RUN ALL ETHERNET CABLING AND COAX CABLES TO MECHANICAL ROOM HEAD END; TERMINATE ALL CABLES



**ELECTRICAL PLAN - LEVEL 1**

SCALE: 1/4" = 1'-0"



**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-e-c-h.com  
 Illinois Professional Design Firm #184-005495

**SOUICIE HORNER INTERIORS**  
 ARCHITECTURAL INTERIORS  
 SOUCIE HORNER, LTD.  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

**ELECTRICAL PLAN**  
 Permit Application # \_\_\_\_\_

**DRAWING TITLE:**  
**PROJECT NAME:**  
**the Wickwood Inn**  
 510 Butler St  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

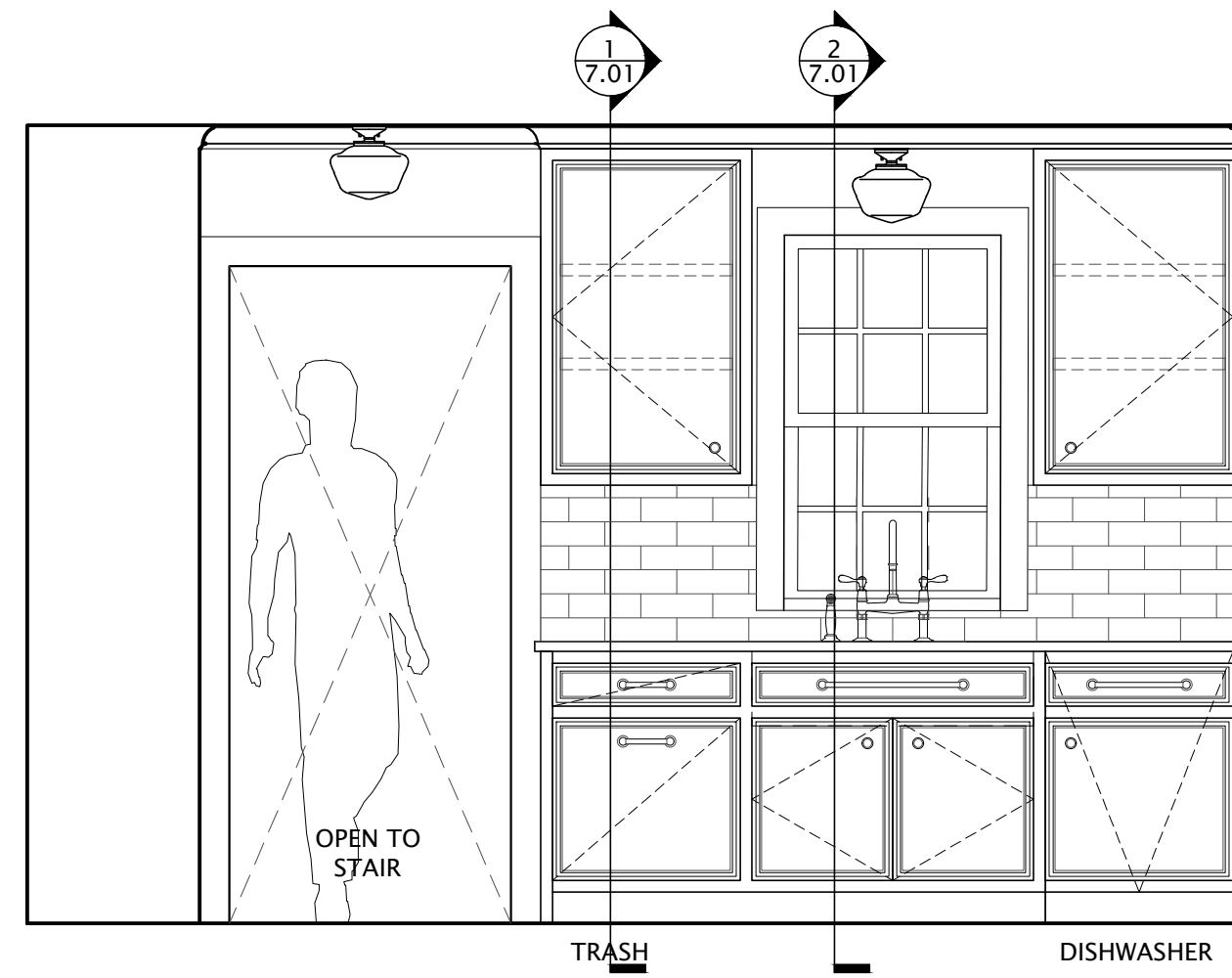
**ISSUES AND REVISIONS:**

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW
2	02/28/2023	REVISED PERMIT

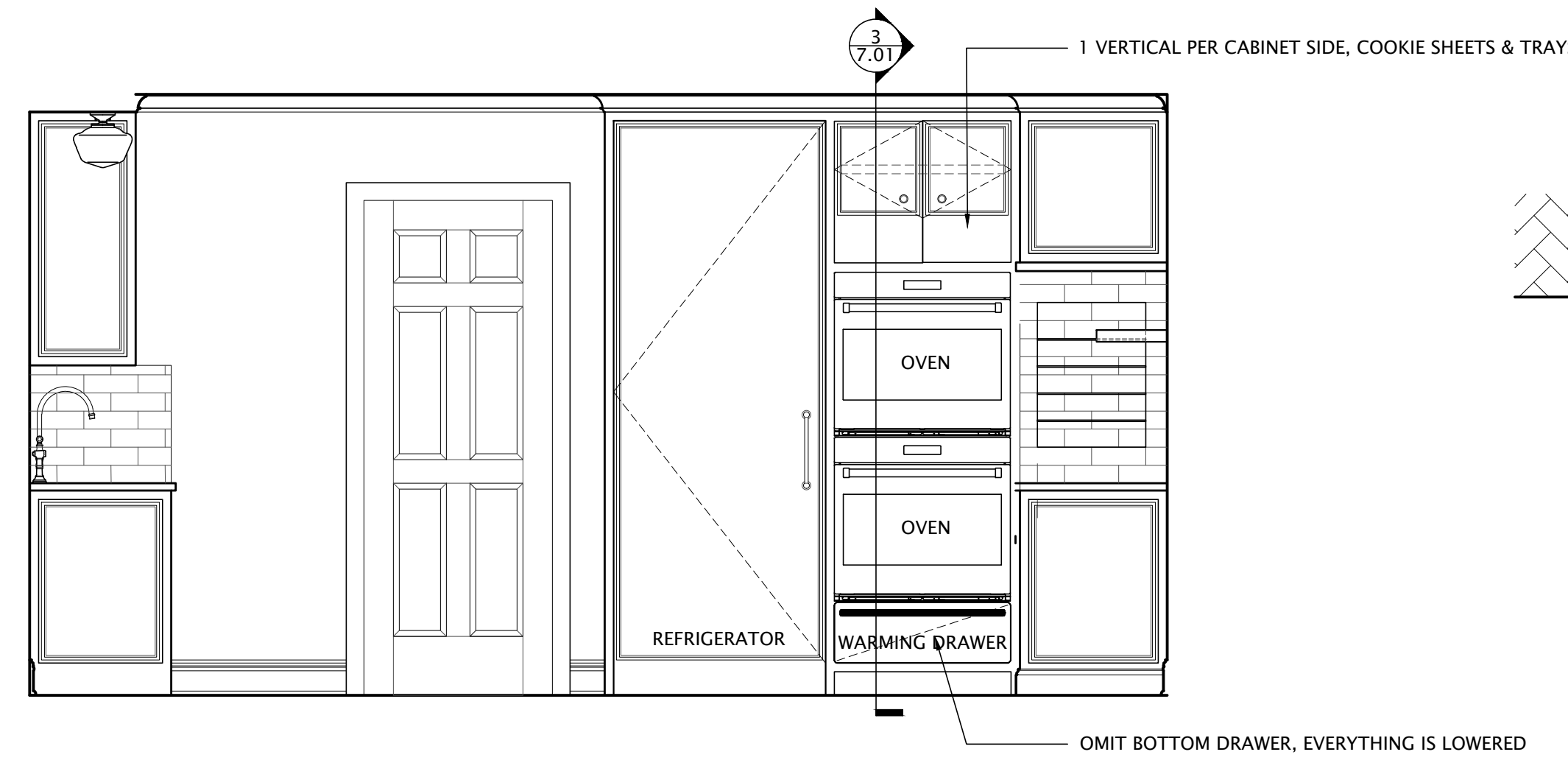
DATE: 2/28/23

SHEET NUMBER:  
**E1.0**

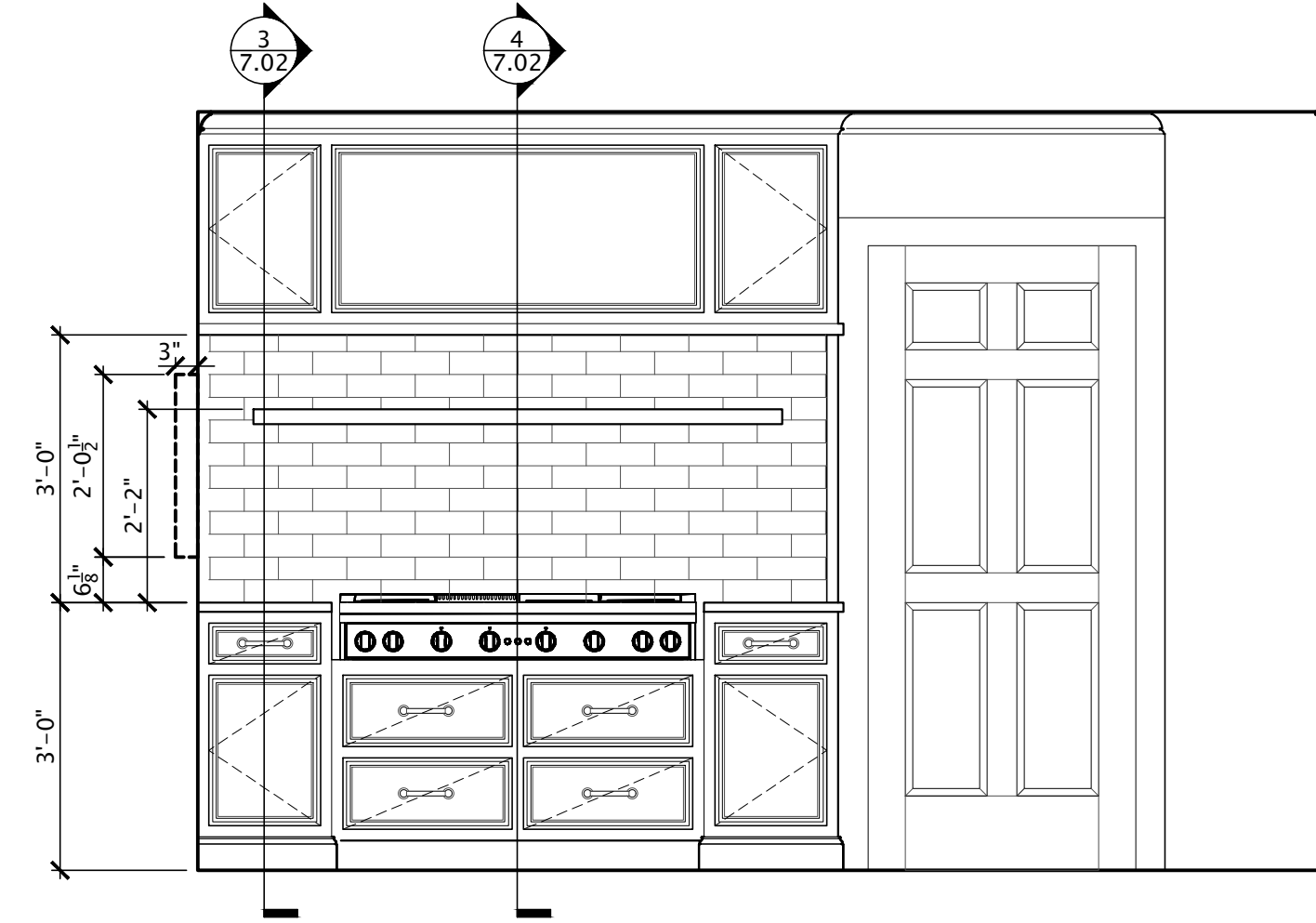
ELECTRICAL PLAN



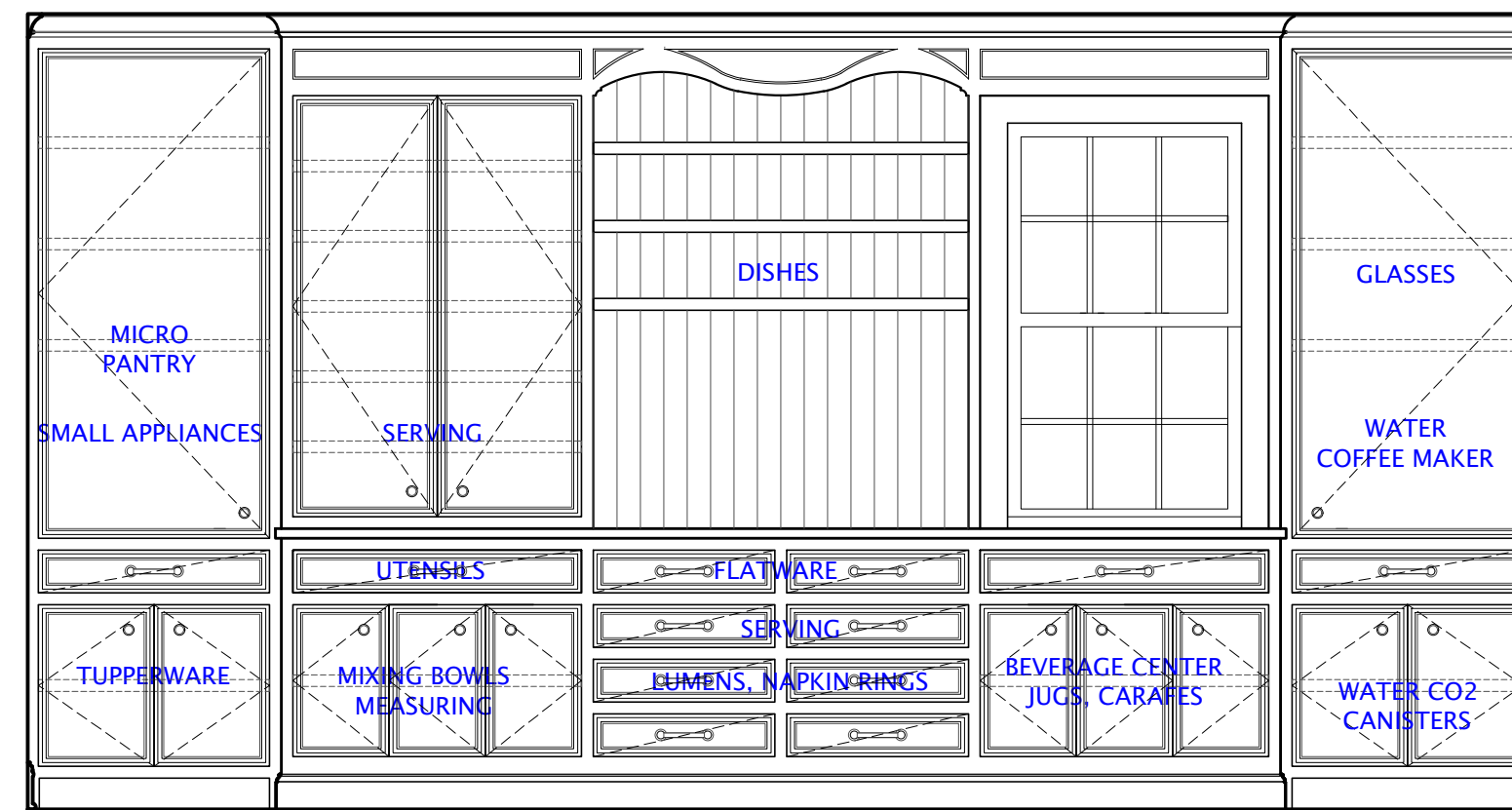
1 KITCHEN - NORTH ELEVATION  
SCALE: 1/2" = 1'-0"



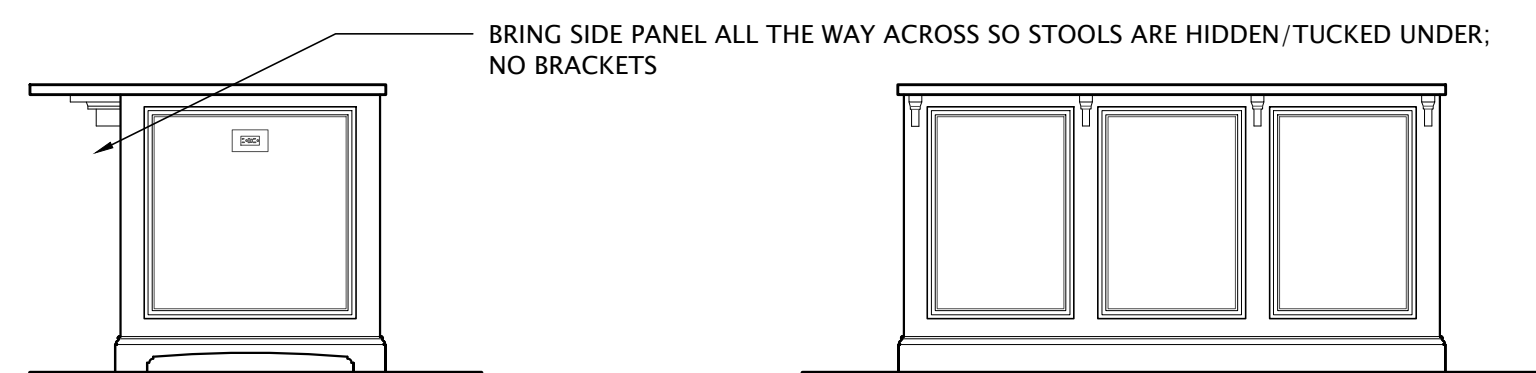
2 KITCHEN - EAST ELEVATION  
SCALE: 1/2" = 1'-0"



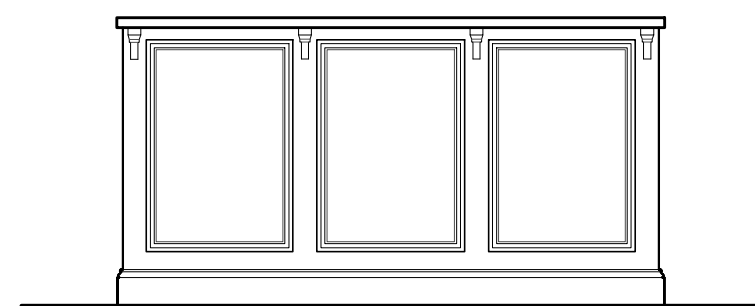
3 KITCHEN - SOUTH ELEVATION  
SCALE: 1/2" = 1'-0"



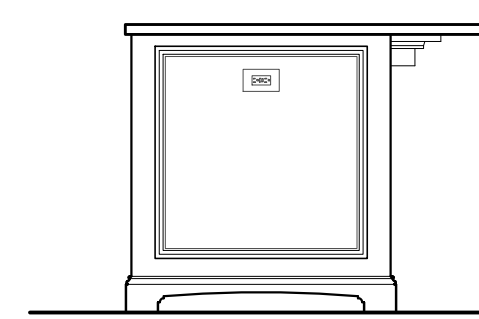
4 KITCHEN - WEST ELEVATION  
SCALE: 1/2" = 1'-0"



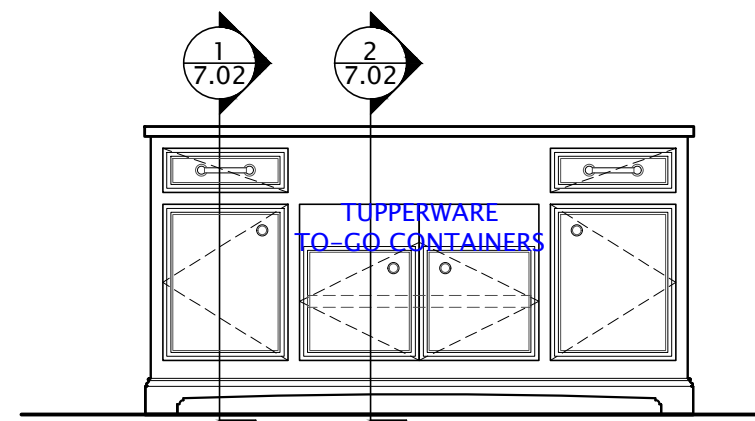
5 KITCHEN ISLAND  
NORTH ELEVATION  
SCALE: 1/2" = 1'-0"



6 KITCHEN ISLAND  
EAST ELEVATION  
SCALE: 1/2" = 1'-0"



7 KITCHEN ISLAND  
SOUTH ELEVATION  
SCALE: 1/2" = 1'-0"



8 KITCHEN ISLAND  
WEST ELEVATION  
SCALE: 1/2" = 1'-0"

JEFFS DESK, WILL HAVE A CHAIR - CAN WE REUSE HIS DESK FROM IKEA?  
TACK SURFACE ABOVE, SHELVES ABOVE UP TO CEILING BY TIM

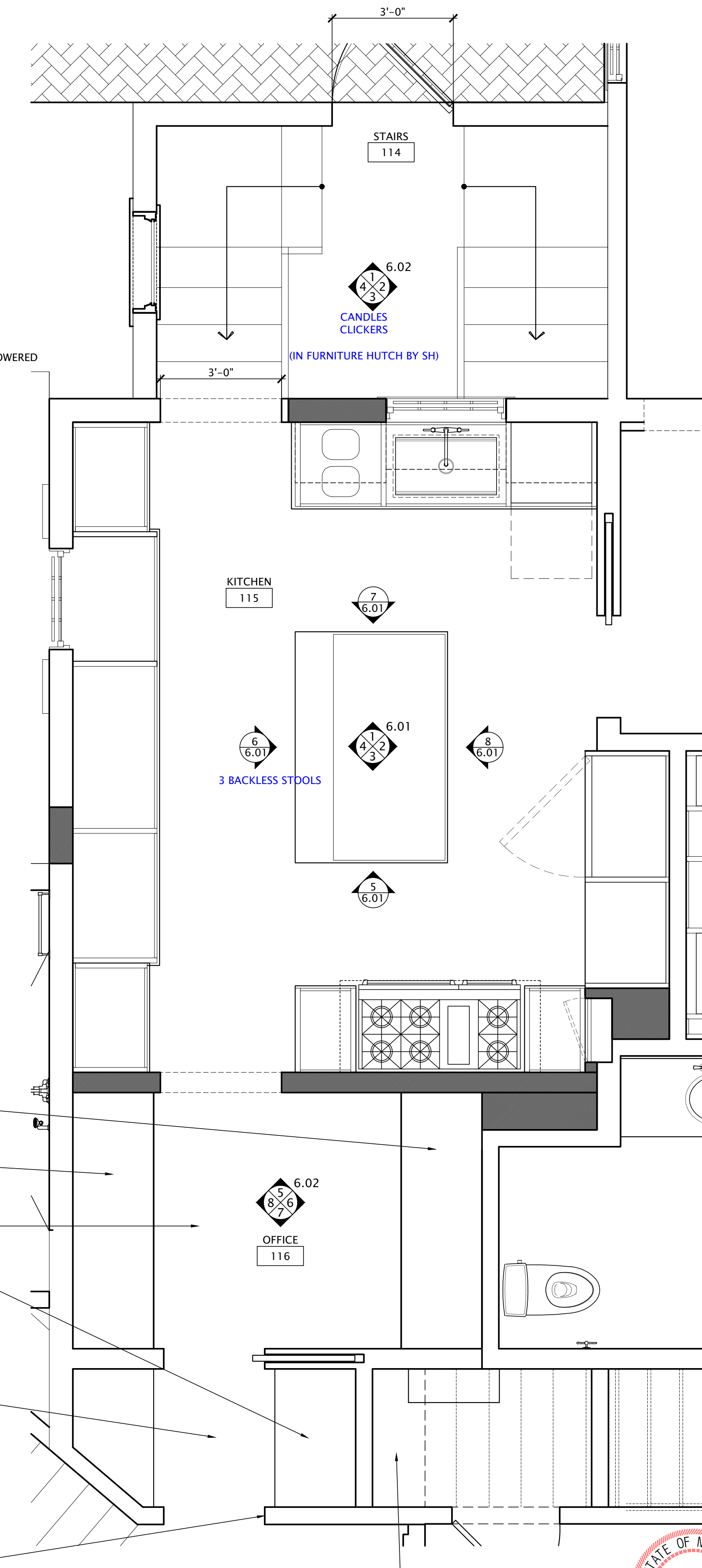
SANDRAS DESK - STANDUP, NO CHAIR  
TACK SURFACE, ADJ SHELVES ABOVE UP TO CEILING

1 SURFACE MOUNT FIXTURE, NO TABLE LAMPS

BUSINESS CENTER  
COPY PAPER, OFFICE SUPPLIES, MARKETING MATERIALS, PRINTER  
POWER IN HERE ALREADY FOR PRINTER?

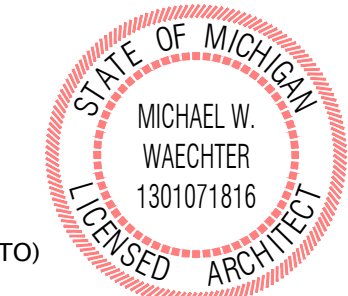
CLEANING CLOSET REMAINS  
VACUUM, BROOMS, STEP STOOL ON LOWER  
ELECTRICIAN TO FINISH TRIMMING OUTLET FOR VACUUMS  
CLEANING PRODUCTS ABOVE

POCKET DOOR HERE



5 KITCHEN - ENLARGED PLAN  
SCALE: 1/2" = 1'-0"

UNDER STAIR ADD FIXED  
SHELVES - FANS,  
UMBRELLA STANDS, (EXTRA  
TOWELS) - NO CLEANING  
SUPPLIES (JEFF TO SEND PHOTO)



Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:

**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

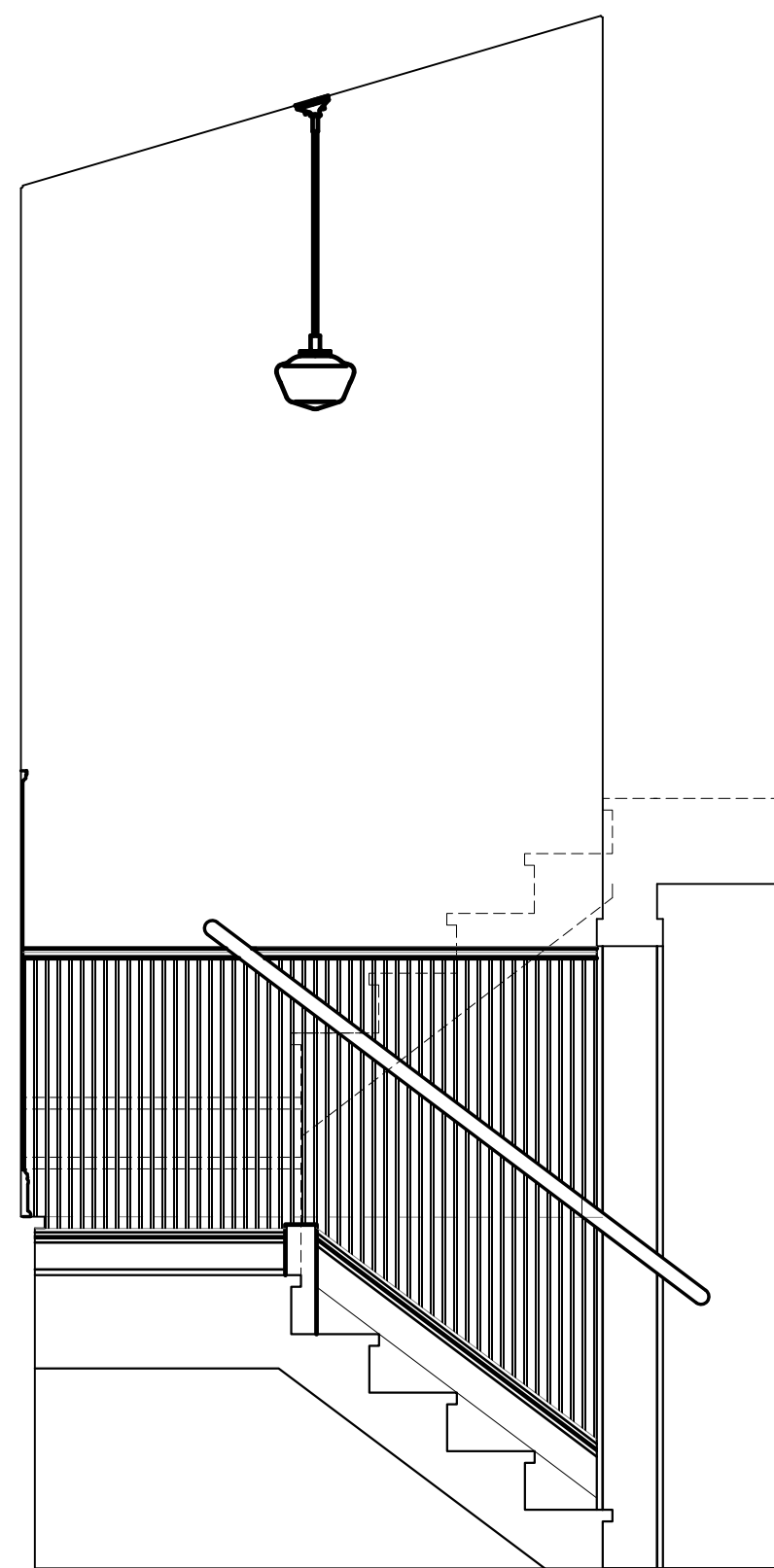
ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

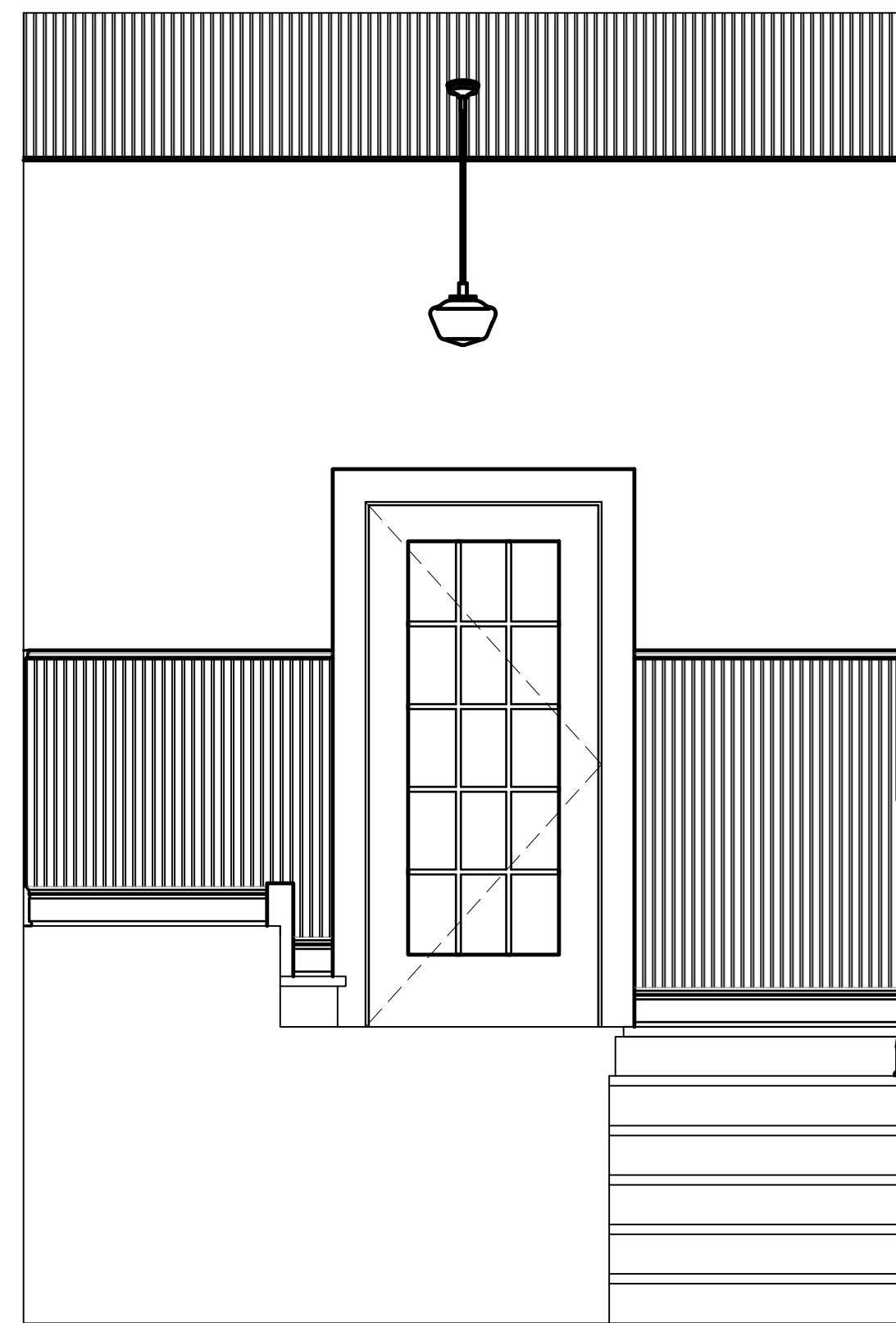
DATE: 1/19/23

SHEET NUMBER:

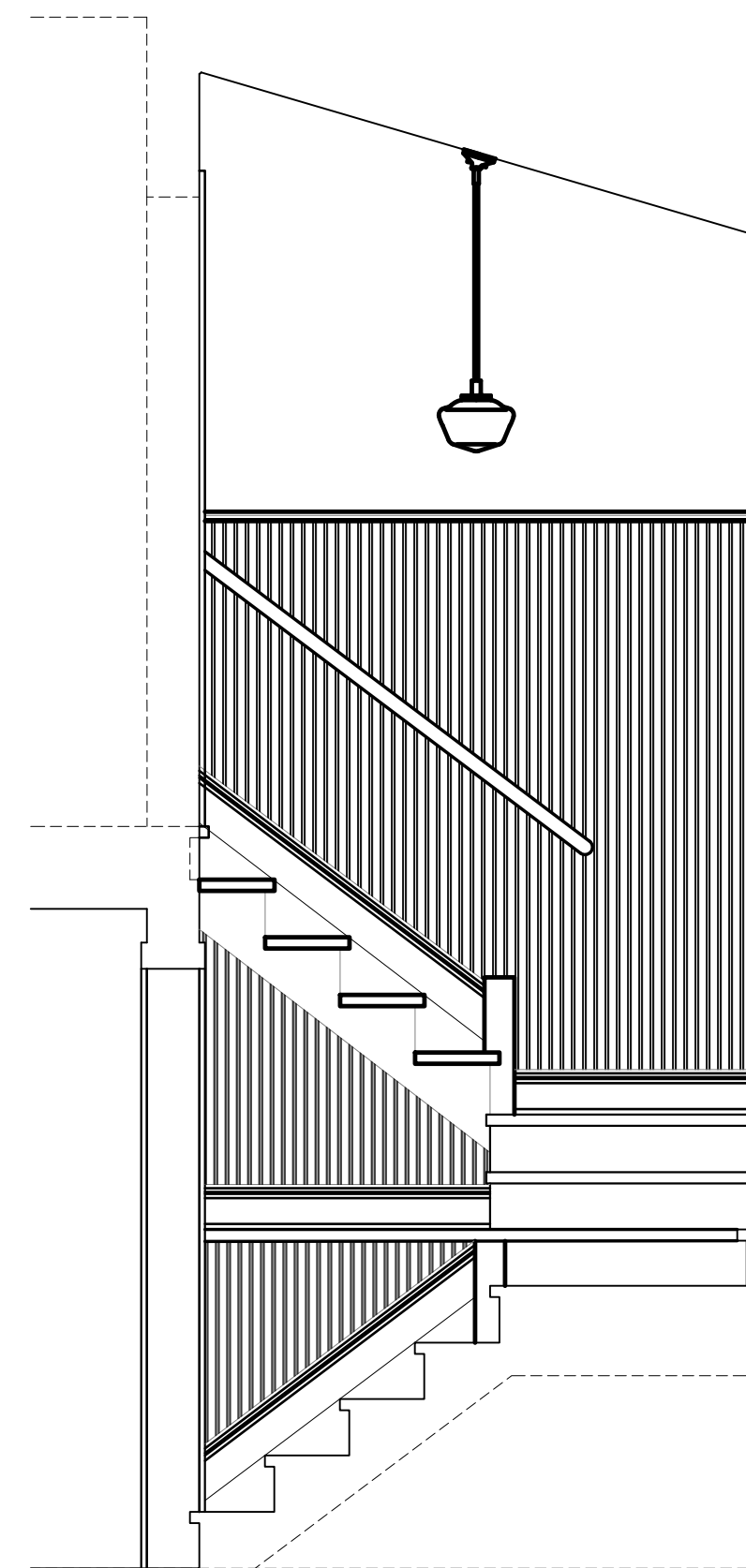
ID-6.01



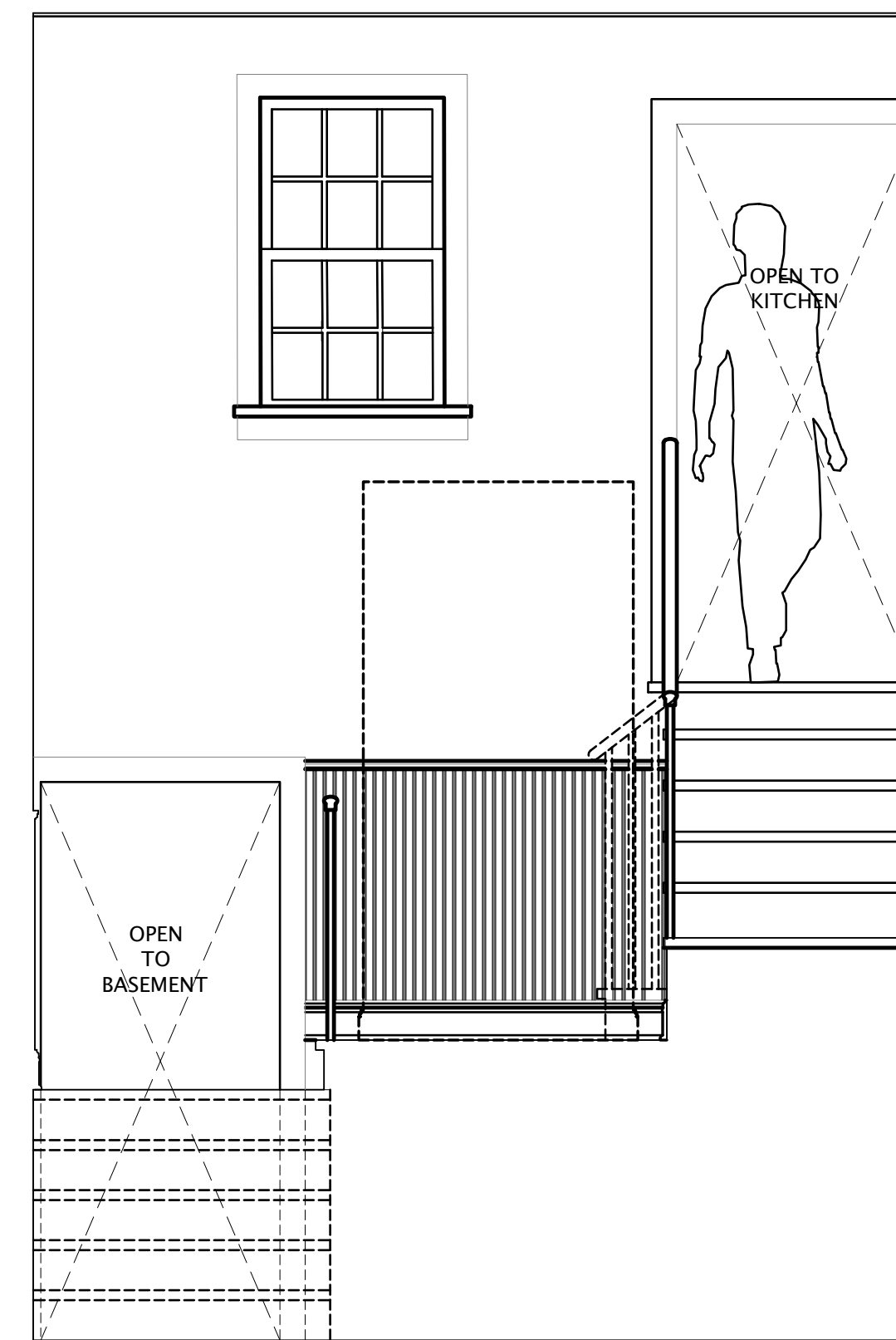
**1 STAIRS 114 - NORTH ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 STAIRS 114 - EAST ELEVATION**  
SCALE: 1/2" = 1'-0"



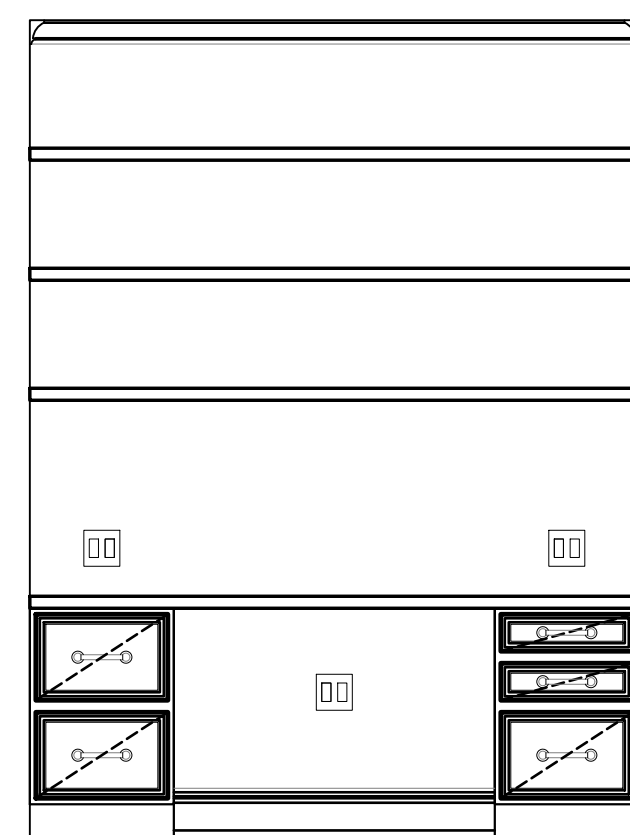
**3 STAIRS 114 - SOUTH ELEVATION**  
SCALE: 1/2" = 1'-0"



**4 STAIRS 114 - WEST ELEVATION**  
SCALE: 1/2" = 1'-0"



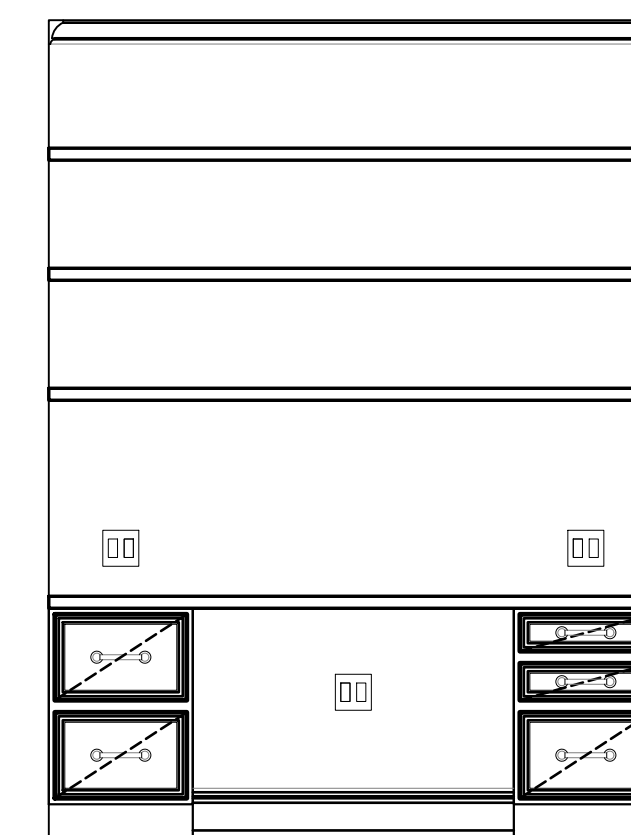
**5 OFFICE 116 - NORTH ELEVATION**  
SCALE: 1/2" = 1'-0"



**6 OFFICE 116 - EAST ELEVATION**  
SCALE: 1/2" = 1'-0"



**7 OFFICE 116 - SOUTH ELEVATION**  
SCALE: 1/2" = 1'-0"



**8 OFFICE 116 - WEST ELEVATION**  
SCALE: 1/2" = 1'-0"

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-05495

**SOUCIE HORNER INTERIORS**

ARCHITECTURAL INTERIORS

**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

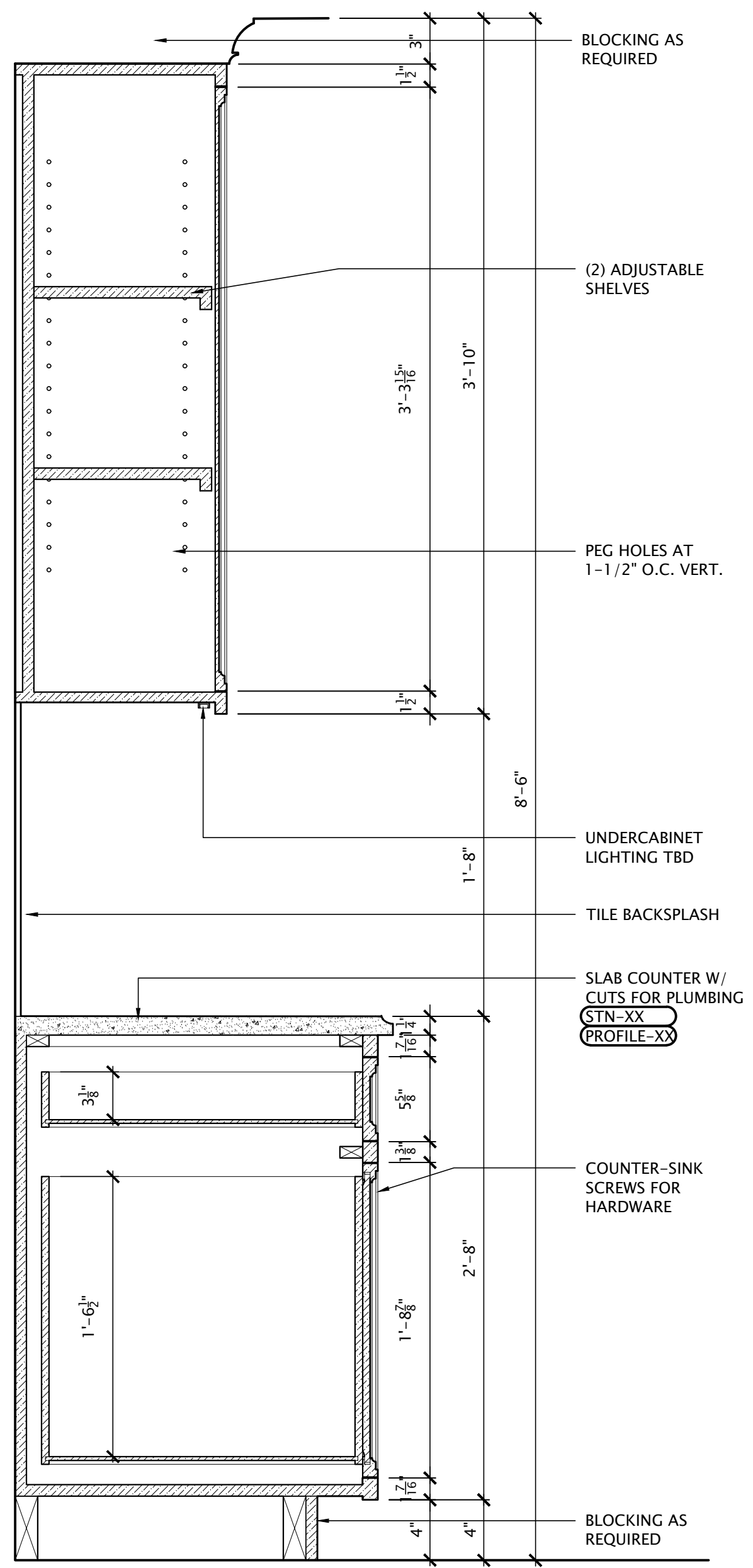
ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/19/23

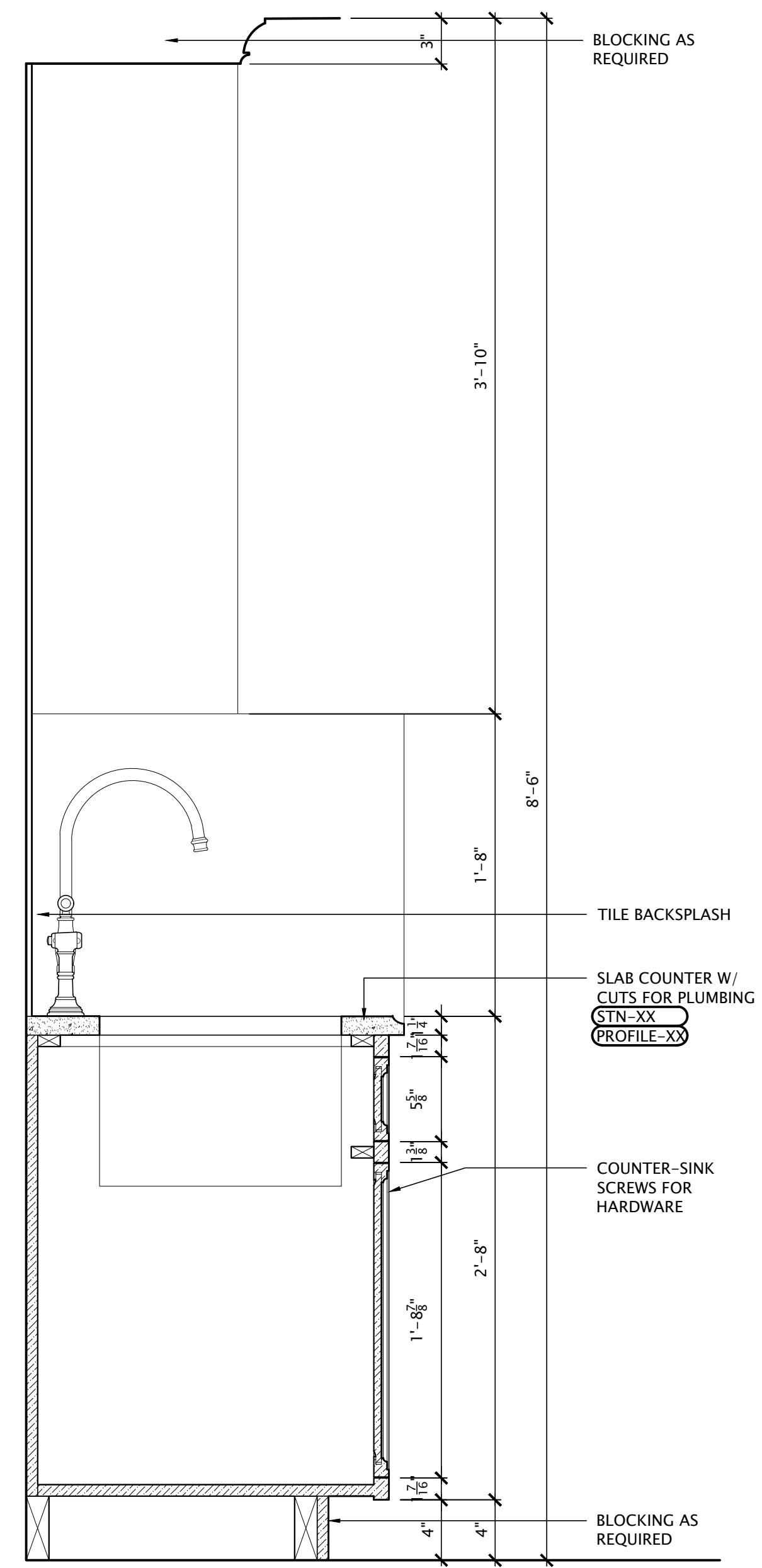
SHEET NUMBER:

ID-6.02

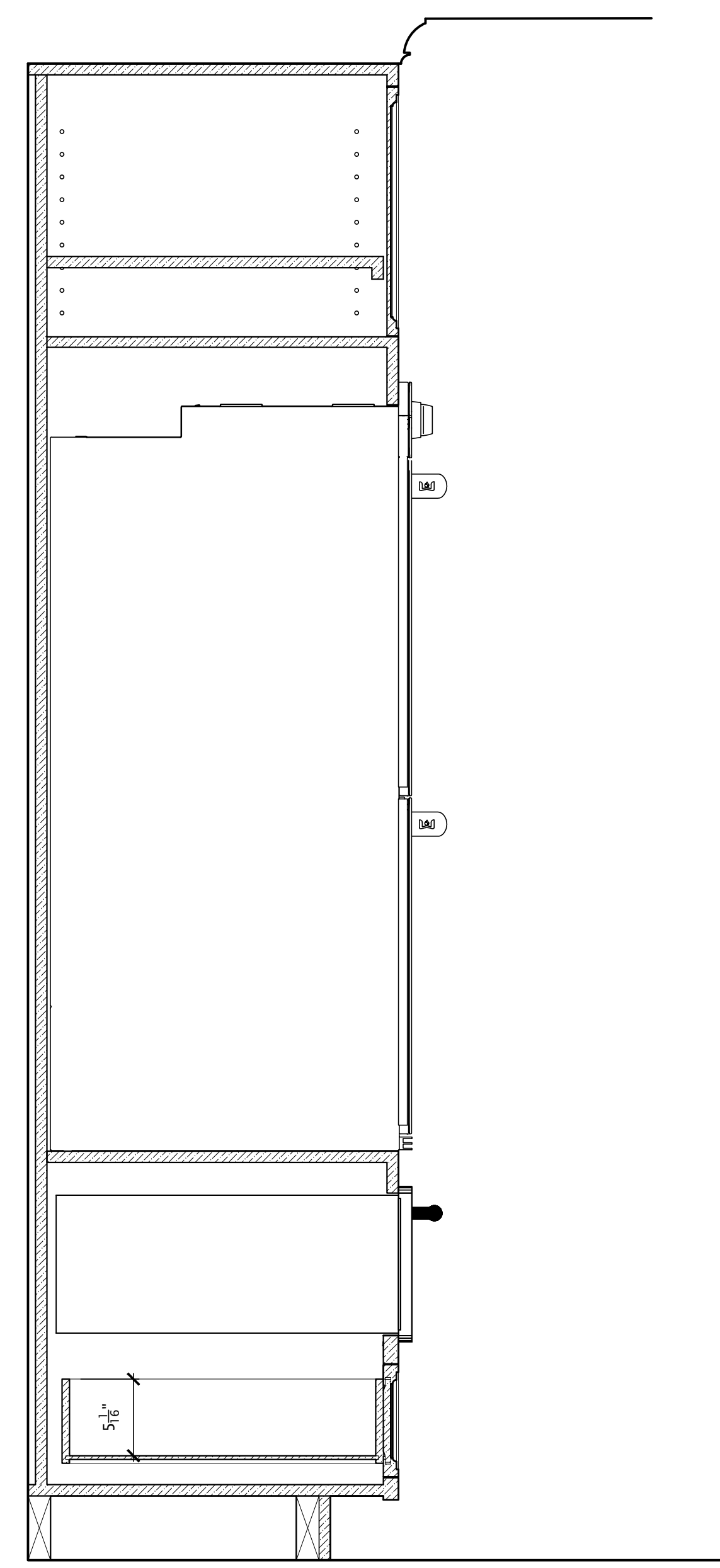




**1** BASE AND OVERHEAD CABINET AT SINK SECTION  
SCALE: 1 1/2" = 1'-0"



**2** SINK AND OVERHEAD SHELVES SECTION  
SCALE: 1 1/2" = 1'-0"



**3** STACKED OVEN AND WARMING DRAWER SECTION  
SCALE: 1 1/2" = 1'-0"

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

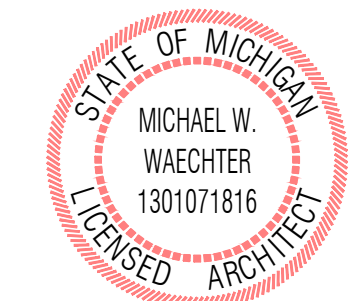
**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

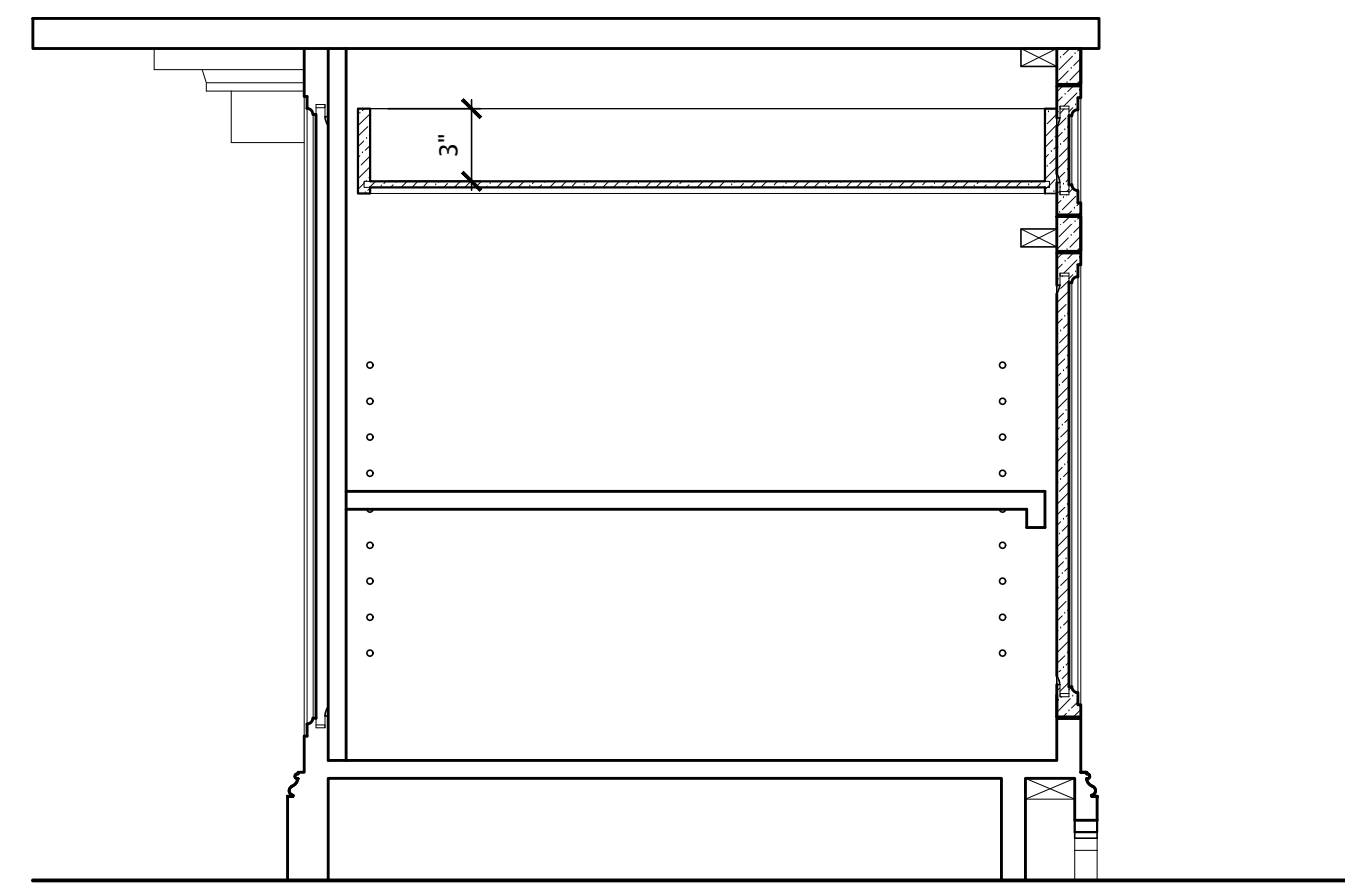
Permit Application # \_\_\_\_\_

DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

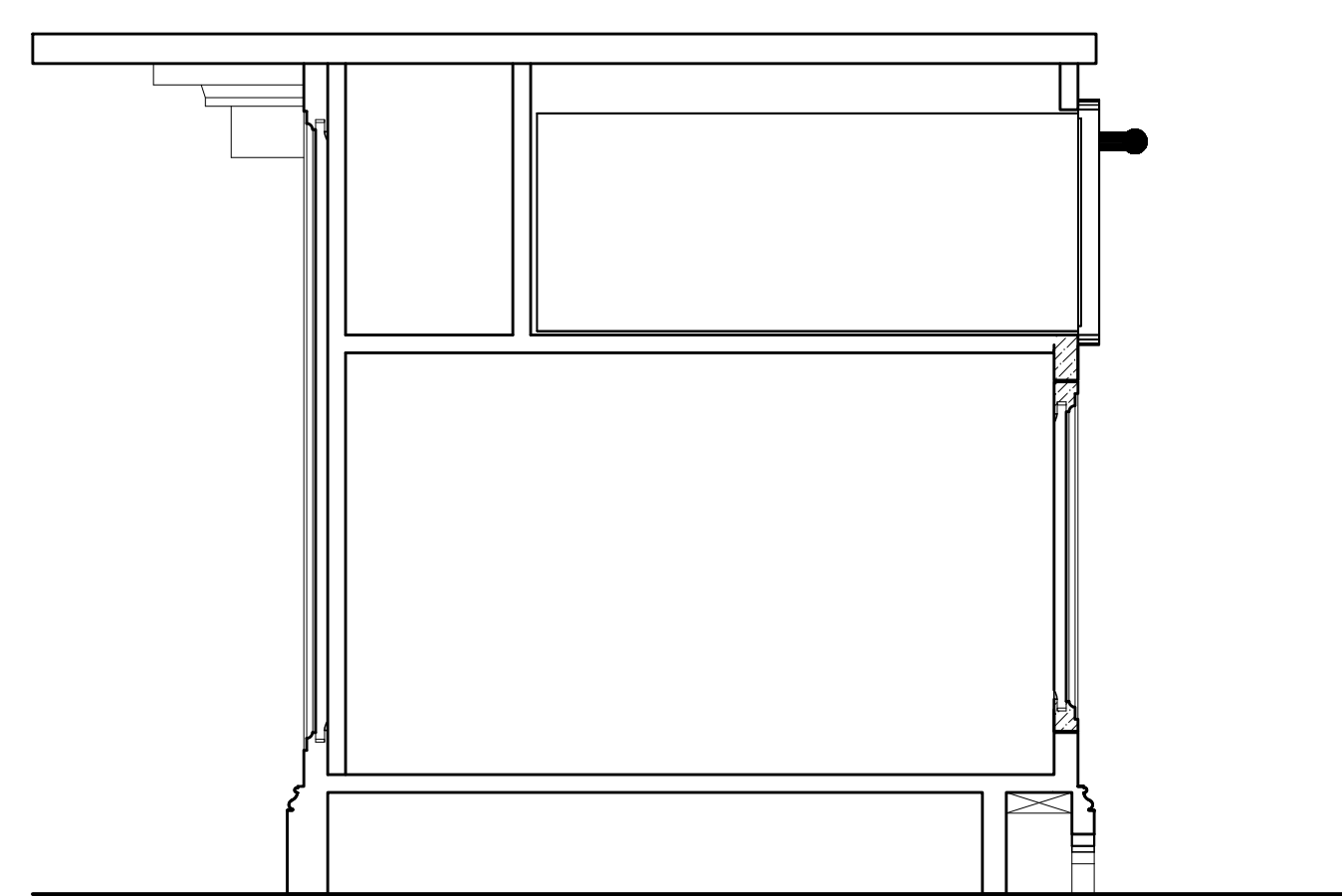
ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23  
SHEET NUMBER:  
**ID-7.01**

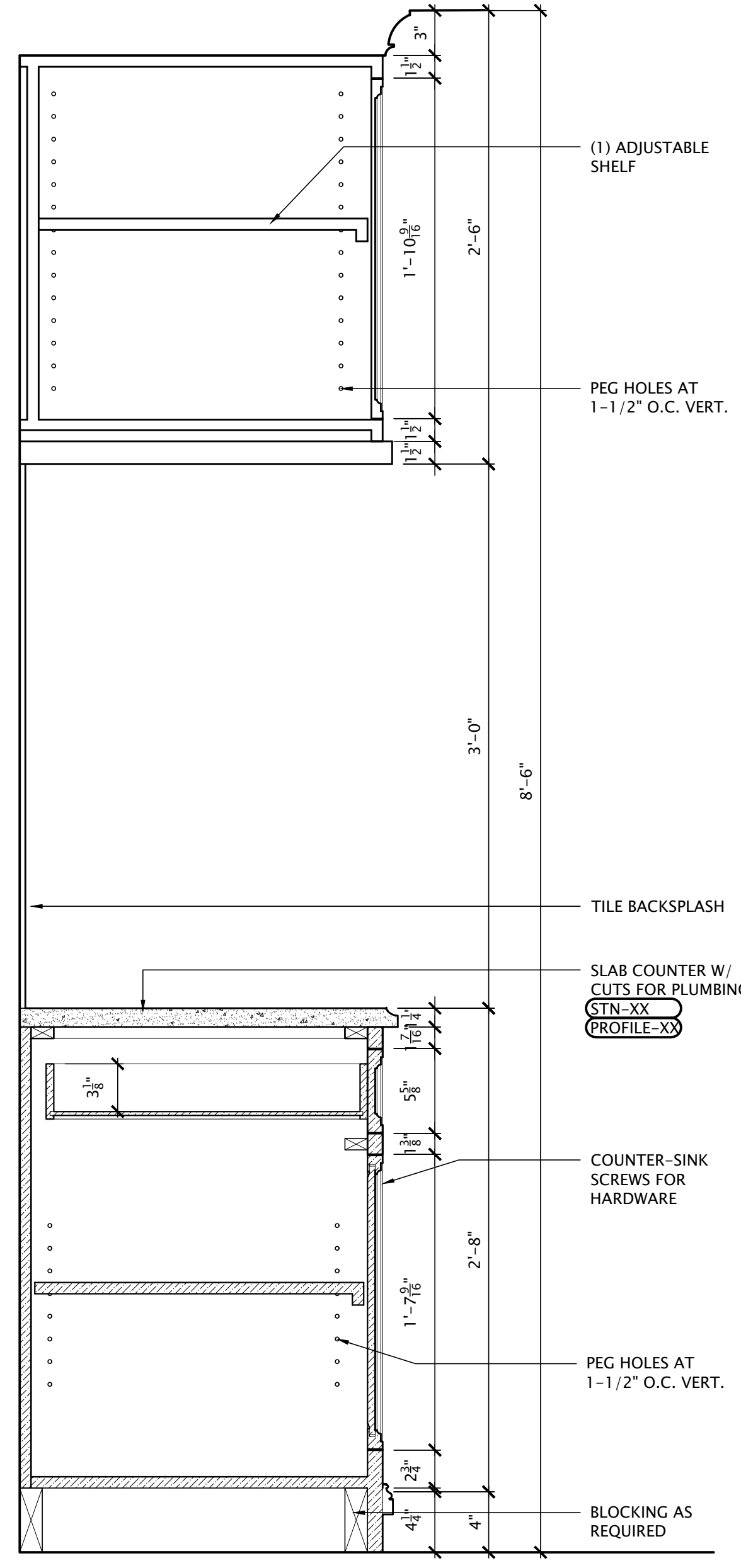




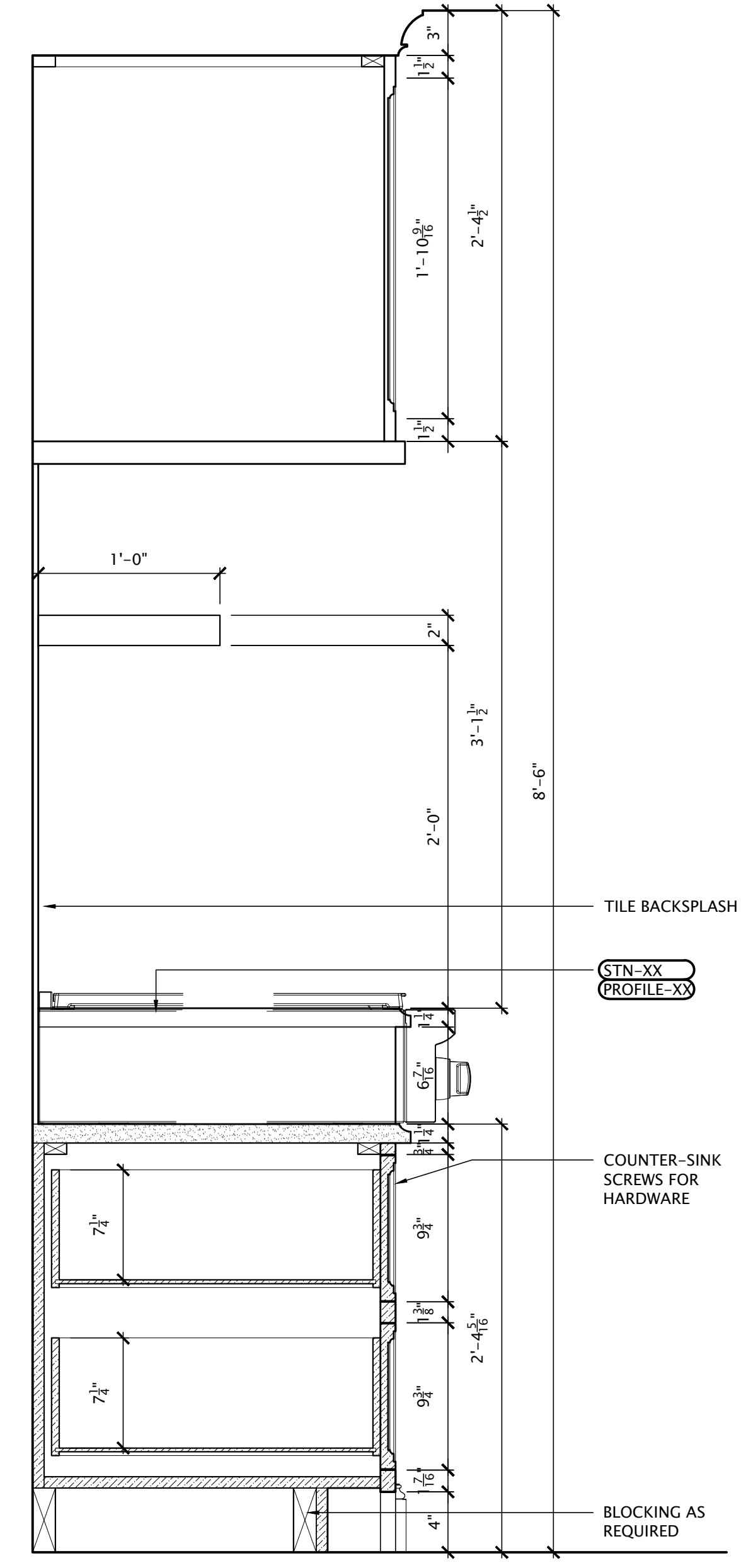
**1 ISLAND DRAWER SECTION**  
SCALE: 1 1/2" = 1'-0"



**2 WARMING DRAWER SECTION**  
SCALE: 1 1/2" = 1'-0"



**3 BASE AND OVERHEAD CABINET AT RANGE COOK TOP SECTION**  
SCALE: 1 1/2" = 1'-0"



**4 COOK TOP BASE CABINET SECTION**  
SCALE: 1 1/2" = 1'-0"

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-r-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

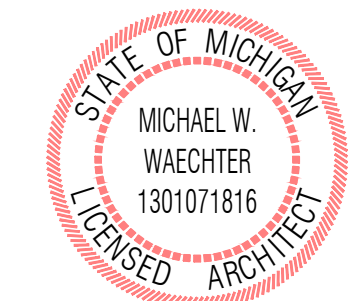
DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

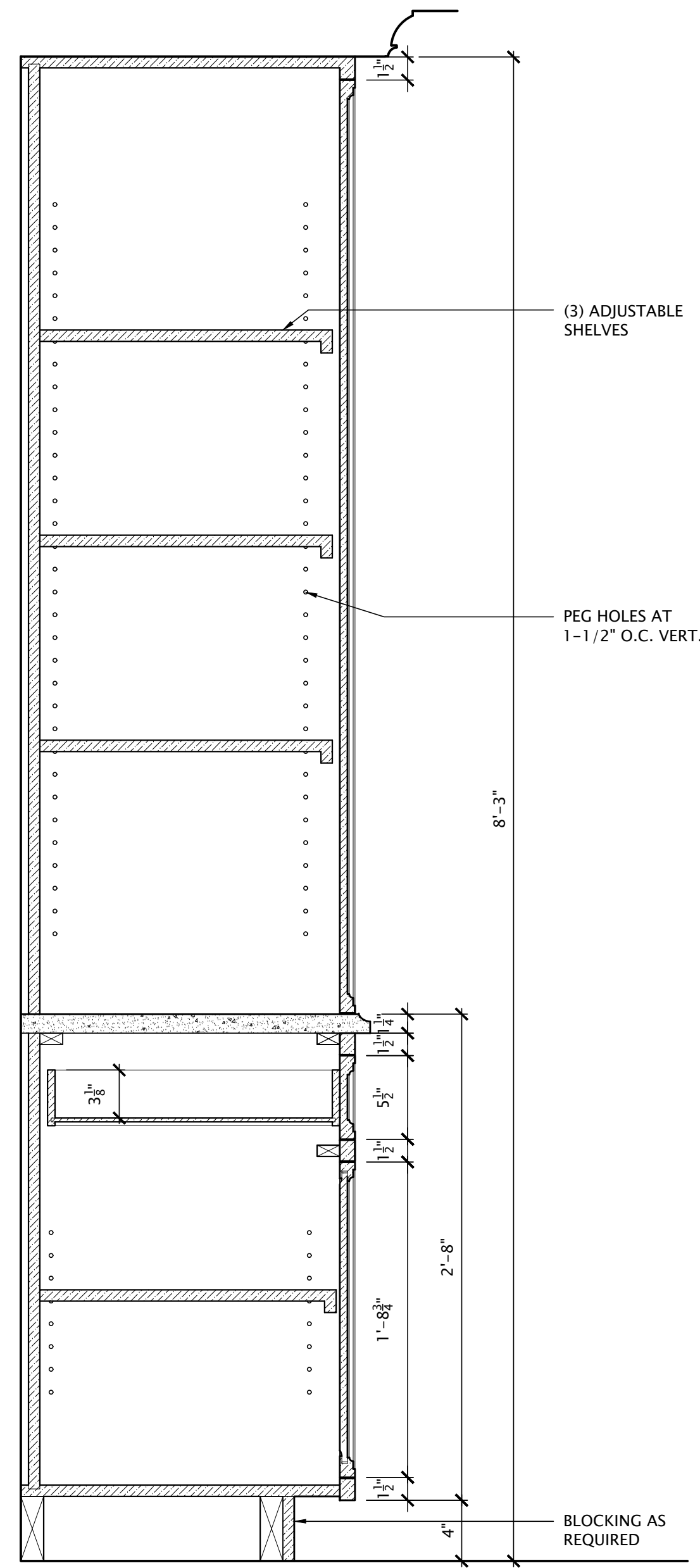
ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23

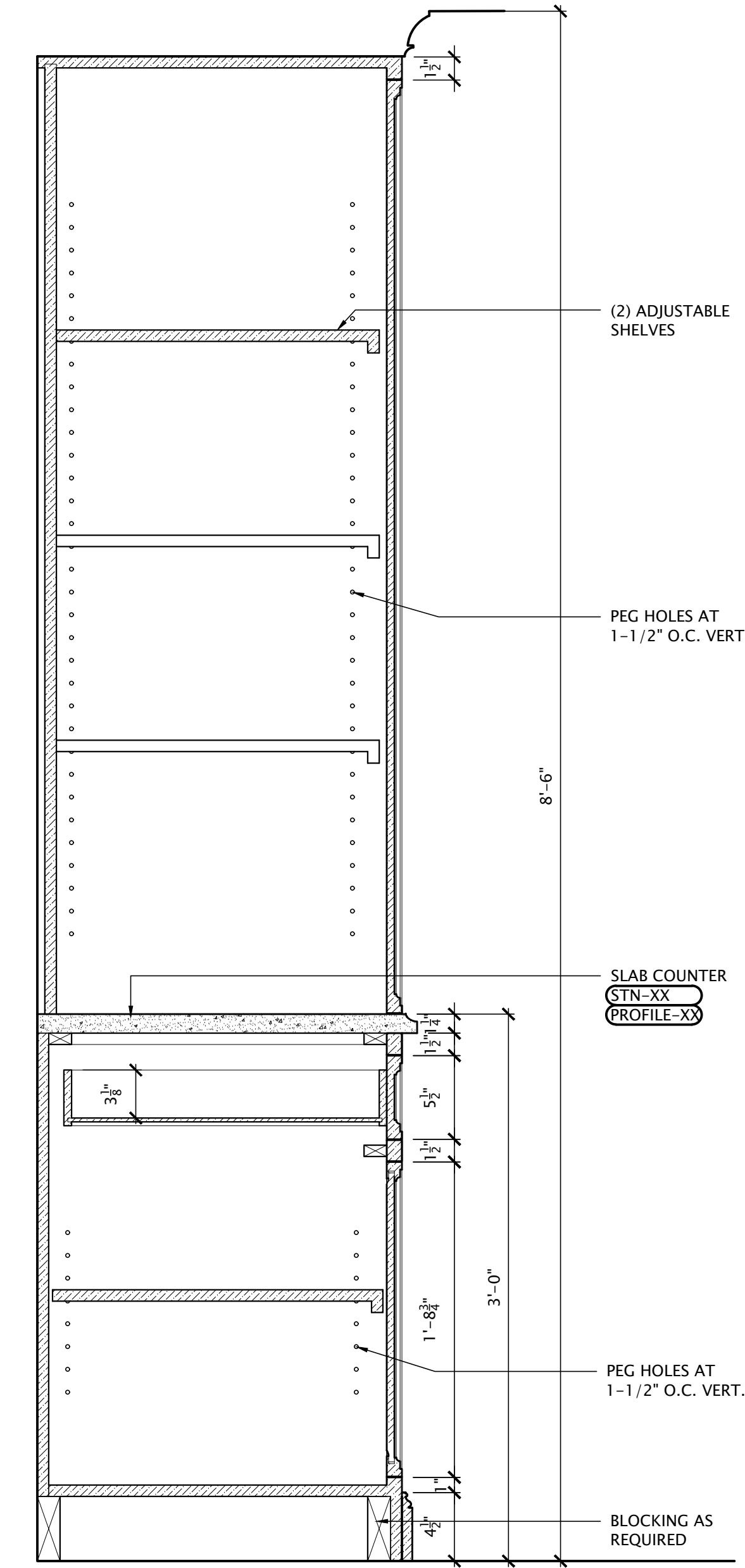
SHEET NUMBER:

ID-7.02

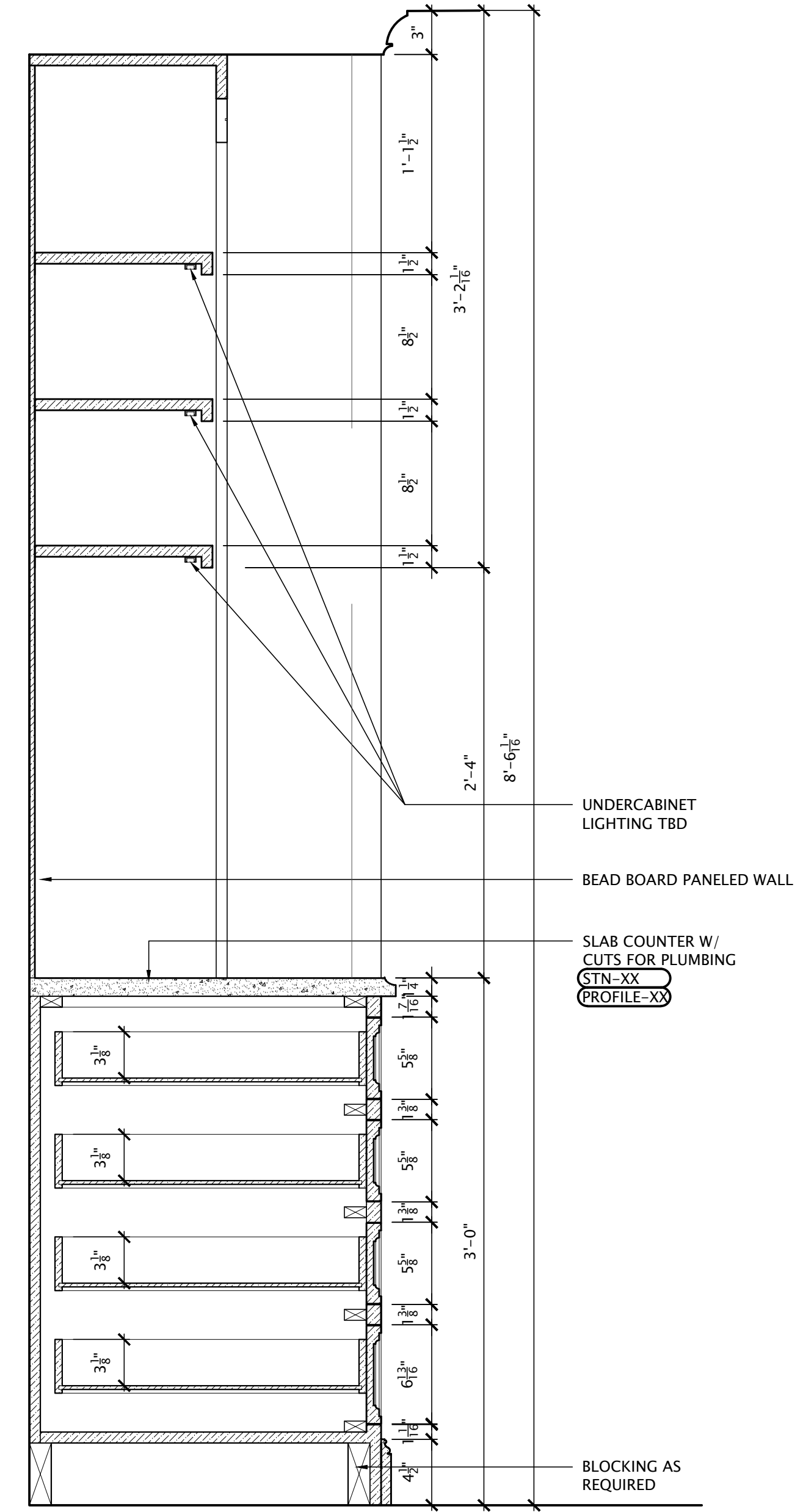




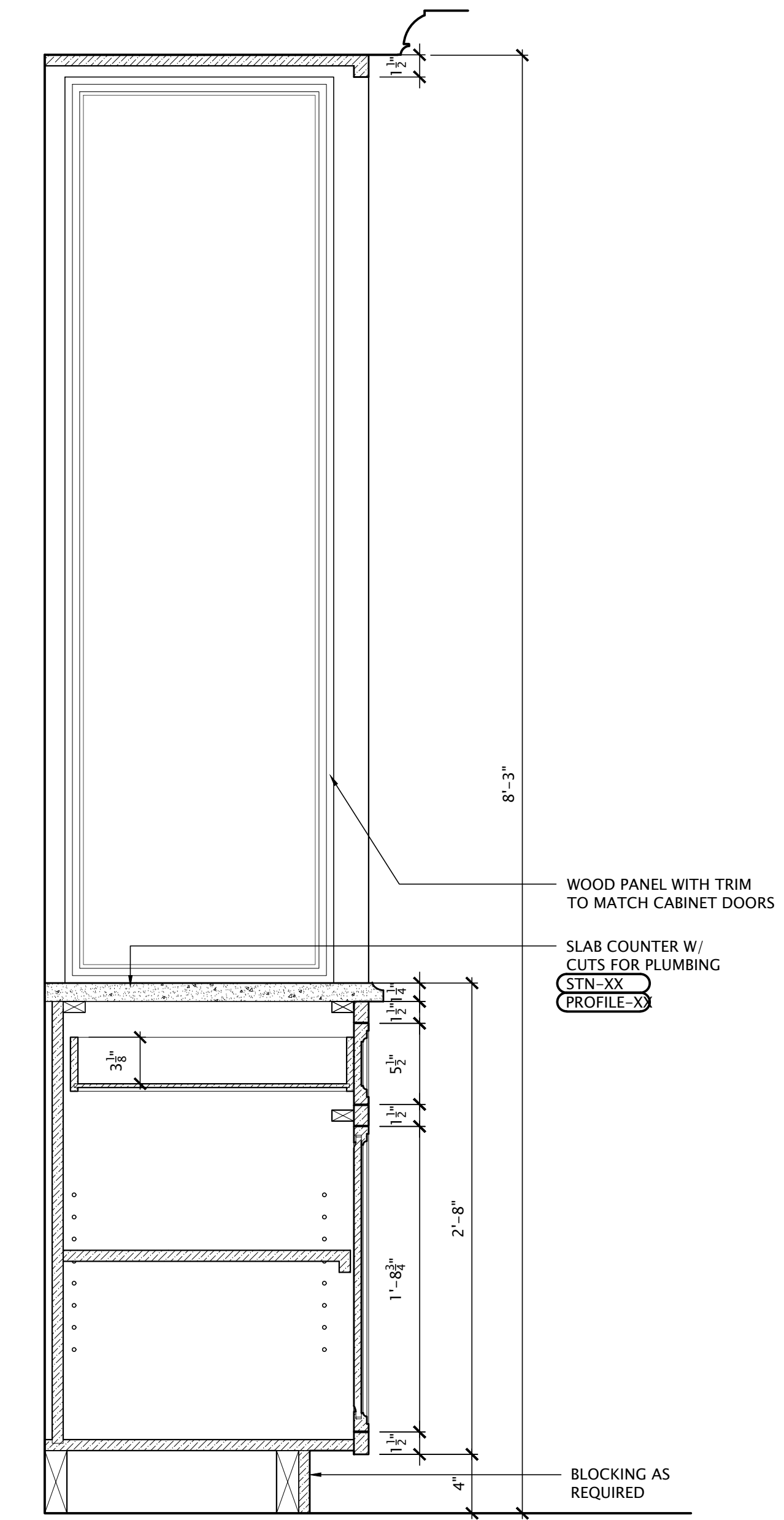
**1** FULL HEIGHT CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



**2** BASE AND OVERHEAD CABINET SECTION  
SCALE: 1 1/2" = 1'-0"



**3** BASE CABINET WITH DRAWERS AND OVERHEAD SHELVES SECTION  
SCALE: 1 1/2" = 1'-0"



**4** BASE CABINET AT WINDOW SECTION  
SCALE: 1 1/2" = 1'-0"

**WAECHTER ARCHITECTS**  
4534 North Ravenswood Avenue  
Chicago, Illinois 60640  
p: 773 728 3920  
www.w-a-e-c-h.com  
Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
ARCHITECTURAL INTERIORS  
**SOUCIE HORNER, LTD.**  
208 West Kinzie Street, 4th Floor  
Chicago, Illinois 60654  
telephone: (312) 755-0202  
facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

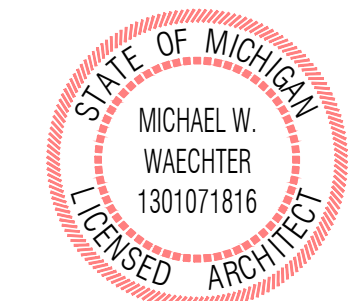
DRAWING TITLE:  
PROJECT NAME:  
**the Wickwood Inn**  
510 Butler St  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23

SHEET NUMBER:

ID-7.03



## Ryan Cummins

---

**From:** Catherine Simon <info@maplewoodhotel.com>  
**Sent:** Friday, February 24, 2023 3:31 PM  
**To:** Ryan Cummins  
**Subject:** Zoning appeal Wickwood

February 24, 2023

**TO:** Zoning Board of Appeals  
**FROM:** Catherine L. Simon  
**RE:** Construction of an Addition to 510 Butler Street

I am writing in response to the notice sent to me regarding the proposed changes to the Wickwood Inn. It is my understanding that the changes would enhance their ability to better serve breakfast to guests and improve preparation space. The modifications should have no negative impact on the surrounding properties as the area is to the rear of the building and already obscured by shrubs etc.

I have no objections to the planned improvements. The Wickwood Inn has been a contributing business to downtown Saugatuck for many years.