



**Planning Commission Regular Meeting  
December 15, 2022 7:00PM  
City Hall  
102 Butler Street, Saugatuck, MI**

- 1. Call to Order/Roll Call:**
- 2. Approval of Agenda:** (Voice Vote)
- 3. Approval of Minutes:** (Voice Vote)
  - A. Special Meeting Minutes – October 26, 2022**
- 4. Public Comments on Agenda Items:** (Limit 3 minutes)
- 5. Old Business:** None
- 6. New Business:**
  - A. 383 Dunegrass Cir. – Site Plan Review**
  - B. Public Hearing Signage**
- 7. Communication:**
  - a. Zoning Administrator Casework Reports
  - b. E-mail from Craig Baldwin
- 8. Reports of Officers and Committees:**
- 9. Public Comment:** (Limit 3 minutes)
- 10. Adjourn**

**NOTICE:**  
Join online by visiting:  
<https://us02web.zoom.us/j/2698572603>  
Join by phone by dialing:  
**(312) 626-6799 -or-  
(646) 518-9805**  
Then enter "Meeting ID":  
**2698572603**  
Please send questions or comments regarding meeting agenda items prior to meeting to:  
[rcummins@saugatuckcity.com](mailto:rcummins@saugatuckcity.com)

**\*Public Hearing Procedure**

- A. Hearing is called to order by the Chair
- B. Summary by the Zoning Administrator
- C. Presentation by the Applicant
- D. Public comment regarding the application
  - 1) Participants shall identify themselves by name and address
  - 2) Comments/Questions shall be addressed to the Chair
  - 3) Comments/Questions shall be limited to three minutes
  1. Supporting comments (audience and letters)
  2. Opposing comments (audience and letters)
  3. General comments (audience and letters)
  4. Repeat comment opportunity (Supporting, Opposing, General)
- E. Public comment portion closed by the Chair
- F. Commission deliberation
- G. Commission action



**Minutes Planning Commission Special Meeting *Proposed***  
**October 26<sup>th</sup>, 2022, City Hall**  
**102 Butler Street, Saugatuck, MI**  
**7:00 PM**

The Planning Commission met for Special Committee Meeting at 7: p.m.  
City Hall  
102 Butler St., Saugatuck, MI 49453.

**Call to Order:**

The meeting was called to order by Vice-Chair Manns at 7:00 p.m.

**Attendance:**

Present: Broeker, Gardner, Gaunt, LaChey and Manns.

Absent: Heriford

Others Present: Zoning Administrator Ryan Cummins, City Manager Ryan Heise, and Deputy Clerk Sara Williams.

**Approval of agenda:**

*A motion was made by Gaunt, 2<sup>nd</sup> by Gardner to approve the agenda. Upon voice vote, motion carried 5-0.*

**Approval of Minutes:**

*A motion was made by Gardner, 2<sup>nd</sup> by Gaunt to approve the minutes as presented for August 18,2022. Upon voice vote, motion carried 5-0.*

**Public Comment on Agenda Items:** None.

**Old Business:** None.

**New Business:**

**a. Election of Chair/Officers**

a. Motion by Gardner, second by Gaunt to appoint Manns as Chairman. Upon roll call vote, motion carried 5-0.

b. Motion by Manns, second by Gardner to appoint Broecker as Vice-Chair. Upon roll call vote, motion carried 5-0.



- b. Discussion of 2023 Priorities – Commission discussed the following subjects:
  - a. Updating the Tri-Community Master plan
    - i. The Planning Commission would like to work with Saugatuck Township and the City of the Village of Douglas about their desire to work jointly on the update.
    - ii. The use of a planning consultant/firm for the update is desired. Logistics to select a consultant will have to be worked out with the three municipalities. A timeline will be developed with the assistance of the consultant.
  - b. Short-term rentals
    - i. Michigan Municipal League (MML) presentation on short-term rentals to be planned in conjunction with City Council. The MML will speak specifically about the bill pending in the state legislature.
    - ii. Staff will provide the Planning Commission with short-term rental regulations in the zoning ordinance.
    - iii. Various ways to approach potential zoning ordinance changes were discussed. After the MML presentation, the Planning Commission will evaluate the next steps.
  - c. Improvement of the Zoning Ordinance
    - i. The Planning Commission discussed a desire to continue reviewing the zoning ordinance for improvement and changes. Staff advised the planning consultant has recommended a full review and audit. The Planning Commission advised they wish to focus on a master plan update and focus updates to the zoning ordinance to key areas such as:
      - 1. Waterfront Development
      - 2. Consolidation of Zoning Districts
      - 3. Short-Term Rentals
  - d. Fee in Lieu of Parking
    - i. Staff suggested that the Planning Commission evaluate a fee in lieu of parking for developments that do not provide off-street parking. The Planning Commission advised they were open to evaluating this.
  - e. Park Street sidewalks and widening
    - i. The Planning Commission noted needed capital improvements along Park St. Staff advised the Parks and Public Works Committee will be evaluating this further.
  - f. Continued Planning Commission Education and Training
    - i. It was noted that the citizen planner program through Michigan State University Extension is beneficial. The Planning Commission desires continued education and training opportunities.

**Communications:** None.

**Public Comments:** None.

**Adjournment:**

*Motion by LaChey, second by Gaunt, to approve adjournment of the meeting. Meeting was adjourned at 8:37 PM.*

Respectfully Submitted,

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Sara Williams, City Deputy Clerk & DPW Administrative Assistant



**MEMORANDUM**

**City of Saugatuck Planning Commission**

<b>Memo Date:</b>	<b>December 8, 2022</b>	<b>Meeting Date:</b>	<b>December 15, 2022</b>
<b>Request:</b>	<b>Site Plan Review</b>	<b>Applicant:</b>	<b>JPD Construction</b>
<b>Address:</b>	<b>383 Dunegrass Cir.</b>	<b>Project Name:</b>	<b>Dunegrass Residence</b>
<b>Parcel:</b>	<b>57-077-019-00</b>	<b>Plan Date:</b>	<b>May 20, 2022</b>
<b>Acreage:</b>	<b>.43</b>	<b>Zoning District:</b>	<b>PUD/CRC</b>
<b>Complete:</b>	<b>Yes</b>	<b>Recommendation:</b>	<b>Conditions noted</b>
<b>Staff:</b>	<b>Ryan Cummins</b>	<b>Consultant:</b>	<b>David M. Jirousek, AICP</b>

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**Overview**

The applicant has applied to construct a three-level single-family residential dwelling within a previously approved Planned Unit Development (PUD). While it is not common for the Planning Commission to review a site plan for a single-family dwelling, it is required per Resolution No. 150610-A (Resolution approving a planned unit development for the property commonly known as 631 Perryman).

The purpose of this memo is to provide a compliance review related to all applicable zoning standards and requirements and to assist the Planning Commission with developing findings of fact related to the request. Further, the proposal must be reviewed against the overall PUD plan last revised on March 11, 2015 (PUD approved June 10, 2015).

**Proposal**

The proposed home is three levels. The lower level includes the garage, storage areas, and utility space, while the main and upper levels are the primary living spaces. The total conditioned floor area is 3,584 square feet. A driveway is proposed to provide access to Dunegrass Circle, and it is a sweeping design that allows access to a side-loaded garage.

## Completeness Review

Site plans must contain the information required by Section 154.061 of the Zoning Ordinance. The application is determined to be complete for review by City Staff and the Planning Commission.

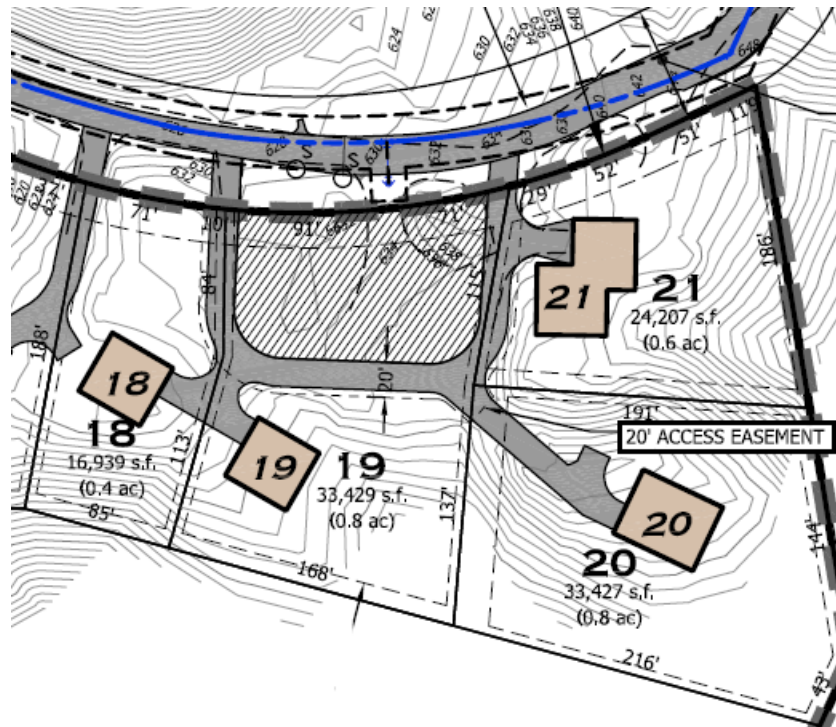


Figure 1 - 2015 PUD Plan Focus Area

## Zoning Compliance Review

**Setbacks.** The PUD plan indicates that setback modifications were approved as part of the overall PUD process. The proposed building envelope and footprint that are shown on the site plan comply with the setbacks noted on the PUD plan (20' front, 5' side, and 10' rear).

**Height.** The PUD plan states that “no building shall have a building height exceeding 30 feet as measured from the highest level fire department vehicle access and the eave of the pitched roof.” The applicant has proposed a flat roof, which was not contemplated in the PUD plan. The height requirement was based on Section D105.1 of the International Fire Code (IFC), which states that flat roof measurements are taken at the “top of parapet walls.”

The top of the parapet wall is 132'9”, while the garage slab is 98'6”. Understanding that the driveway elevation at the garage is the same as the garage slab, the height between the highest level of fire department vehicle access and the top of the parapet is 34'3”, which exceeds the PUD requirement by 4'3”.

While the Fire Department may have the current ability to respond to emergencies, the referenced height requirement is a zoning requirement through PUD adoption. A PUD amendment would be necessary to exceed the current limitation.

Lot Coverage. To assess lot coverage, the following two definitions from the Zoning Ordinance apply to the calculation:

*CONDOMINIUM SUBDIVISION. A division of land on the basis of condominium ownership, which is not subject to the provisions of the Land Division Act of 1967, Public Act 288 of 1967, being M.C.L.A. §§ 560.101 et seq., as amended. Any condominium unit or portion thereof, consisting of vacant land shall be equivalent to the term “lot” for the purposes of determining compliance of a condominium subdivision with the provisions of this chapter pertaining to minimum lot size, minimum lot width, and maximum lot coverage.*

*LOT COVERAGE. The area of a lot, stated in terms of a percentage, that is covered by buildings and/or structures located thereon. This shall include all buildings, roofed porches, arbors, breezeways, decks 24 inches above grade or higher, roofed patios, whether open or fully roofed; but shall not include fences, walls, driveways, sidewalks, hedges used as fences, decks less than 24 inches above grade or detached stairways, ground-floor stairways, wheelchair ramps, patios or in-ground swimming pools. Stairway landings (provided the landing does not exceed the building code minimum area requirement by more than 10%) shall not be considered in determining lot coverage. Lot coverage shall be measured from the wall or foundation of the building or structure.*

The 0.43-acre lot is 18,731 square feet, and the building footprint is 1,545 square feet. As such, the lot coverage is 8.2%, which exceeds the 5% required in the underlying Conservation, Recreation, and Camp District (CRC). Lot coverage modification was not specifically requested during the 2015 PUD application.

The original PUD plan shows unit 19 as .80 rather than 0.43 acres. A portion of unit 19 is noted as a limited common element included in the .80 acres. If considered with the limited common element, lot coverage would be compliant. However, unit 19, as surveyed and legally defined, is .43 acres.

The deviation between the PUD plan and the site condo survey appears to have inadvertently resulted in a compliance issue. However, the Planning Commission may have additional background regarding the site condo approval process, the discrepancy, and whether unit 19 and the limited common element were intended to be counted as one for the purpose of this requirement.

### Site Plan Standards of Approval

The following standards for site plan review and approval apply to the project per Section 154.063. Findings related to each standard are provided for consideration by the Planning Commission.

- A. *All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.*

**Comment:** The building site and driveway are proposed to be located on the most level portion of the site, and the single-family dwelling is built into the slope giving it the appearance from the north as a two-level building. However, the lower level allows for a drive-out garage and walk-out basement.

- B. *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.*

**Comment:** The proposed area of disturbance shown on the site plan appears to limit the overall impact of site work. Alterations to the topography appear to be the minimum necessary to provide the most appropriate building site within unit 19. However, it should be noted that the owner is currently subject to an “Order to Restore” from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Water Resources Division (WRD) based on recent clearing and stump grinding. EGLE has provided the owner with a directive to restore vegetation to ensure compliance with Part 353, Sand Dune Protection and Management, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended

- C. *The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walks, barriers and landscaping shall be used, as appropriate, to accomplish these purposes.*

**Comment:** Existing vegetation outside of the limits of disturbance will provide visual screening from the road and units to the east. There will be no screening of the west side of the dwelling from unit 18. However, screening was not intended between units 18-19 based on the shared driveway shown on the PUD plan (see plan on page 2).

- D. *All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.*

**Comment:** The Fire Department must review the site layout regarding site access and the ability to respond to emergencies. It appears that the driveway design was approved by the

Fire Department on February 10, 2022, based on a note on the site plan. However, this approval should be confirmed.

- E. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic. All federal, state, and local barrier free requirements shall be met.*

**Comment:** While the PUD indicates a nonmotorized trail, it is not located near unit 19. Sidewalks or pathways are not required along the unit's frontage.

- F. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan.*

**Comment:** The U-shaped drive from Dunegrass Circle Drive was approved in concept as part of the 2015 PUD plan. This driveway is intended to provide access to units 18-21 (see plan on page 2). As stated earlier, sidewalks or pathways are not required along the unit frontage.

- G. All streets shall be developed in accordance with city specifications, unless developed as a private road.*

**Comment:** As stated earlier, the U-shaped drive from Dunegrass Circle Drive was approved in concept as part of the 2015 PUD plan. Driveway and private road details were included on the plan sheet C-102A.

- H. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.*

**Comment:** Due to the sandy soils within the PUD, stormwater detention was not required. Rainwater is proposed to be collected by gutters and downspouts and conveyed to a leach basin.

- I. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be*

*screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).*

**Comment:** As a single-family dwelling, there are no exterior loading or storage areas noted on the plan.

- J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

**Comment:** Light fixtures are proposed on the west side elevation along the garage and lower-level entry. Typical residential lighting is anticipated.

- K. In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for such requirements as drives, walks, utilities, parking, landscaping and the like (see § 154.173).*

**Comment:** Not applicable.

## **Recommendation**

The two primary compliance issues are lot coverage and building height. If those issues are addressed and compliance confirmed, the site plan could be approved with the following conditions:

1. Secure staff approval of landscaping in accordance with Section 154.027 and site restoration per Resolution No. 150610-A.
2. Secure Fire Department approval of access and sprinkling system.
3. Secure EGLE Critical Dune permitting requirements, as applicable.



**CITY COUNCIL  
CITY OF SAUGATUCK  
ALLEGAN COUNTY, MICHIGAN**

At a special meeting of the City Council for the City of Saugatuck held at the City offices on June 10, 2015 at 4:00 p.m., Council Member Peterson offered the following resolution and moved its adoption, seconded by Council Member Trester:

**RESOLUTION NO. 150610-A**

**A RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT FOR THE  
PROPERTY COMMONLY KNOWN AS 631 PERRYMAN (APPLICATION NO.  
15-008), WITH CONDITIONS, ON THE RECOMMENDATION OF THE  
SAUGATUCK PLANNING COMMISSION**

WHEREAS, on or about March 11, 2013, the City of Saugatuck (“City”) first received an application for special land use approval to develop twelve single family lots on a portion of the former Presbyterian Camp property commonly known as 631 Perryman (“Property”); and

WHEREAS, on December 3, 2013, following a series of public hearings and meetings at which the special land use application was discussed, the Planning Commission for the City of Saugatuck (the “Planning Commission”) approved a resolution (Resolution No. 131203-A) pursuant to the City of Saugatuck Zoning Ordinance (“Zoning Ordinance”) granting special land use and site plan approval for eight single-family lots on a portion of the Property; and

WHEREAS, on or about November 1, 2014, the applicant Dune Ridge SA, LP (“Dune Ridge”) filed a planned unit development (“PUD”) application, as amended, on January 23, 2015 and March 12, 2015, for the development of an additional portion of the Property, which provided for the development of 14 single-family residential lots (of which one lot was included in the original eight lots approved in Planning Commission Resolution No. 131203-A), which if approved would allow for a total of 21 single-family residential lots on the entire Property; and

WHEREAS, the City referred the PUD application to the Planning Commission, which held a public hearing on the application on April 16, 2015 and thereafter recommended approval of the PUD application and site plan to the City Council; and

WHEREAS, on June 1, 2015, the City Council and Planning Commission held public hearings related to the Property, at which they received further public comment regarding the PUD application; and

WHEREAS, the City Council on June 1, 2015 tentatively approved the PUD application and site plan subject to several express conditions, and subject to review and approval of a resolution setting forth those conditions of approval;

NOW, THEREFORE, IT IS RESOLVED AS FOLLOWS:

1. The City Council hereby approves Planned Unit Development Application No. 15-008 and its site plan for the property commonly known as 631 Perryman, subject to the following conditions:

- a. A public water system is installed in the general location shown on the approved site plan, specifically the plan labeled C-102A, and as further provided on watermain plans provided to the City and the Michigan Department of Environmental Quality (“MDEQ”) for permit dated May 26, 2015, subject to approval by the City of Saugatuck Engineer, the Kalamazoo Lake Water and Sewer Authority or its designee, the Michigan Department of Environmental Quality, the Saugatuck Township Fire District Chief, and any other governmental agency or office from which an approval is required.
- b. Dune Ridge shall provide utility easement agreement(s) that are in a form acceptable to the City and the Kalamazoo Lake Water and Sewer Authority, before any connection to the public water system.
- c. Individual site plans for each principal and accessory structure remain subject to review and approval by the Zoning Administrator and Planning Commission.
- d. Dune Ridge shall obtain approval from Allegan County and any other necessary governmental agencies or officials for the location of the septic tanks and fields.
- e. Dune Ridge shall install the required landscaping in accordance with the standards set forth in Section 154.027 of the City Code of Ordinances and all applicable MDEQ requirements.
- f. The Saugatuck Township Fire District Chief shall approve the location and width of the private roads to ensure adequate emergency access and all roads shall meet applicable engineering standards.
- g. Each principal and accessory structure shall be equipped with a year-round operational sprinkler system approved by the Saugatuck Township Fire District Chief.
- h. Dune Ridge shall comply with all applicable MDEQ critical dune requirements, as determined by the MDEQ.
- i. Restoration review may be conducted administratively.
- j. Dune Ridge shall submit documentation satisfactory to the City Attorney guaranteeing that all open space portions of the PUD will be maintained in the manner approved, which documents shall (1) bind all successors and future owners in fee title to maintenance commitments made as a part of the approval of open space; and (2) provide for maintenance to be undertaken by the City in the event that the dedicated open space is inadequately maintained, or is determined by the City to be a public nuisance, with the assessment of costs upon the property owners.
- k. Dune Ridge shall comply with all escrow requirements of the City.

1. Dune Ridge shall abide by verbal representations made at the June 1, 2015 City Council meeting, including but not exclusively that it will within a reasonable time convey a non-motorized trail to the City for use by the public, with ingress/egress easements, generally located south of Perryman Street, all in the locations shown on the approved site plan labeled C-102A.
2. The PUD approval, and development of the PUD property legally described in the site plan, is contingent upon Dune Ridge's compliance with the above the conditions.
3. In approving the PUD application, the City Council has reviewed and relied upon the findings of City staff, as set forth in staff's April 10, 2015 memorandum, and upon the recommendation of the City Planning Commission, and finds that, with the above conditions, the application meets all of the applicable standards in the Zoning Ordinance, including the standards set forth in Sections 154.060 *et seq.* (Site Plan Review) and 154.110 *et seq.* (Planned Unit Development) and Section 154.027 (Conservation, Recreation and Camp District).
4. All resolutions and parts of resolutions insofar as they conflict with the provisions of this Resolution are rescinded.

YEAS: Members: Peterson, Trester, Spangler, Bekken, Verplank & Hess

NAYS: Members: None

ABSENT: Members: Johnson

RESOLUTION NO. 150610-A DECLARED ADOPTED.

\_\_\_\_\_  
William Hess, Mayor

\_\_\_\_\_  
Monica Nagel, Clerk

CERTIFICATION

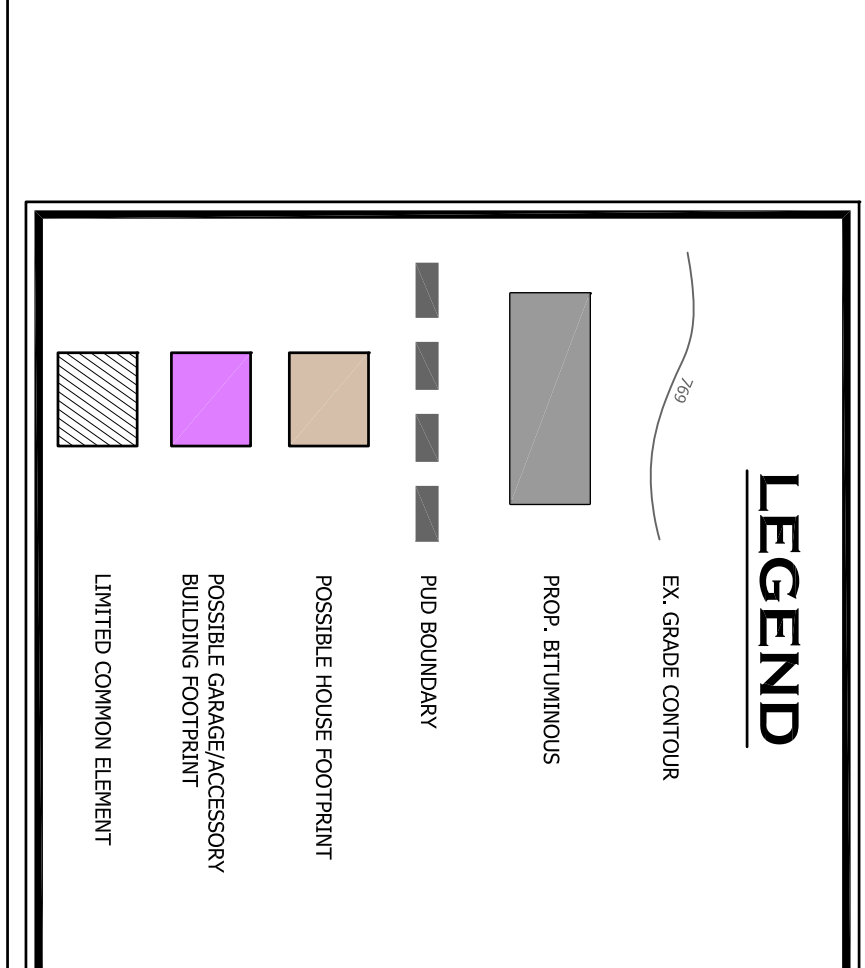
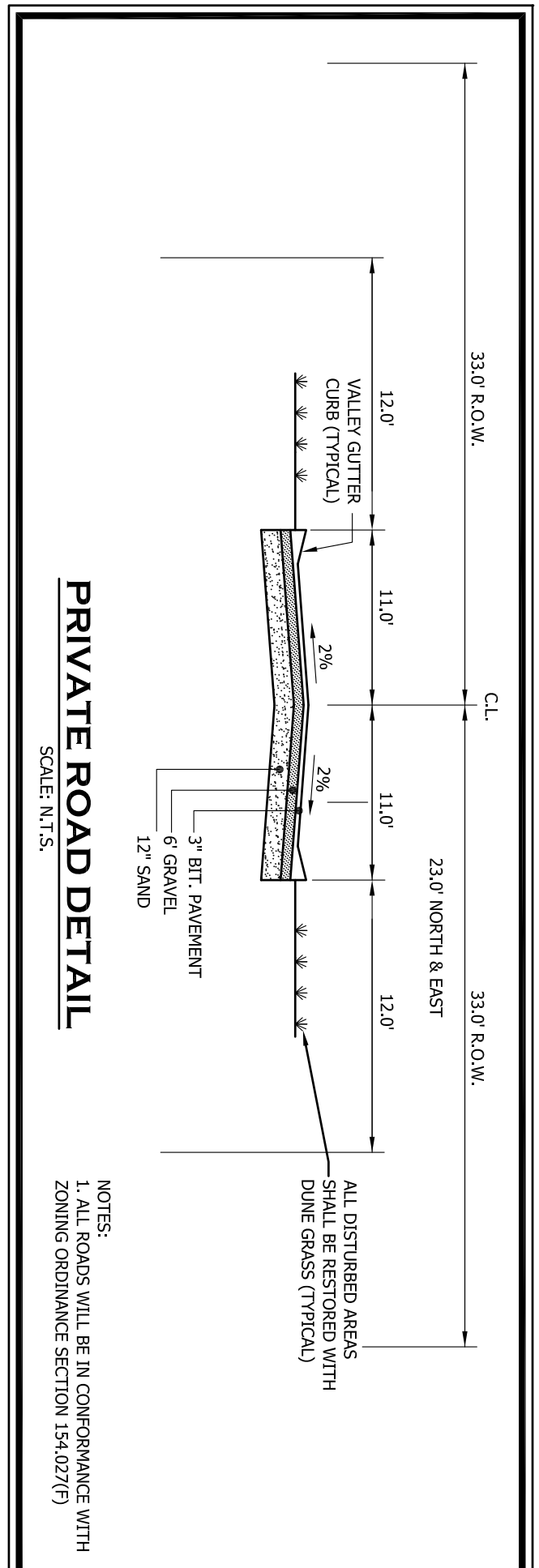
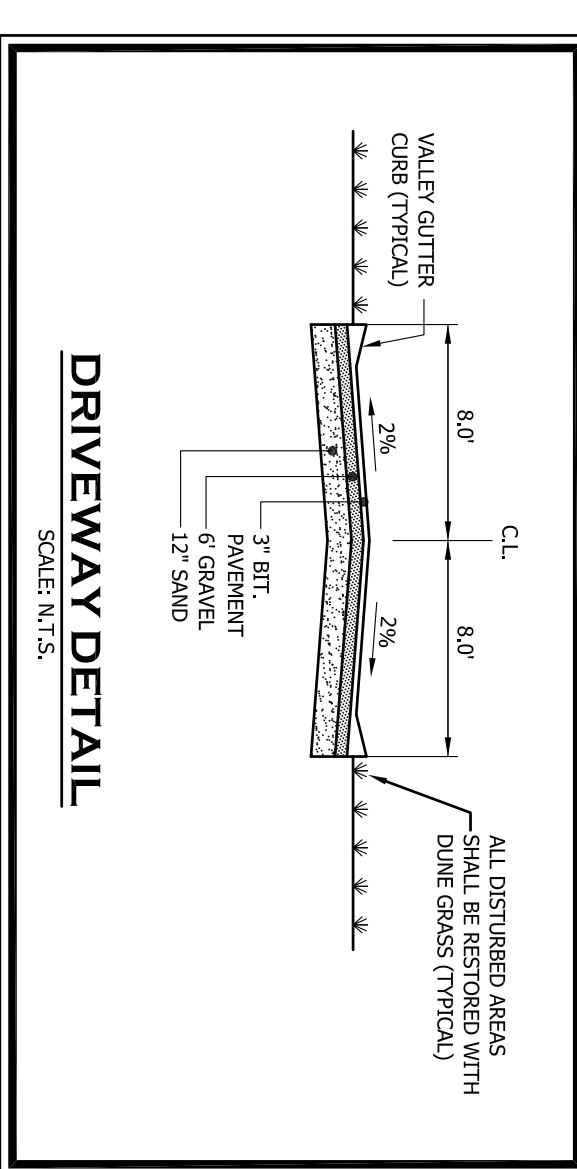
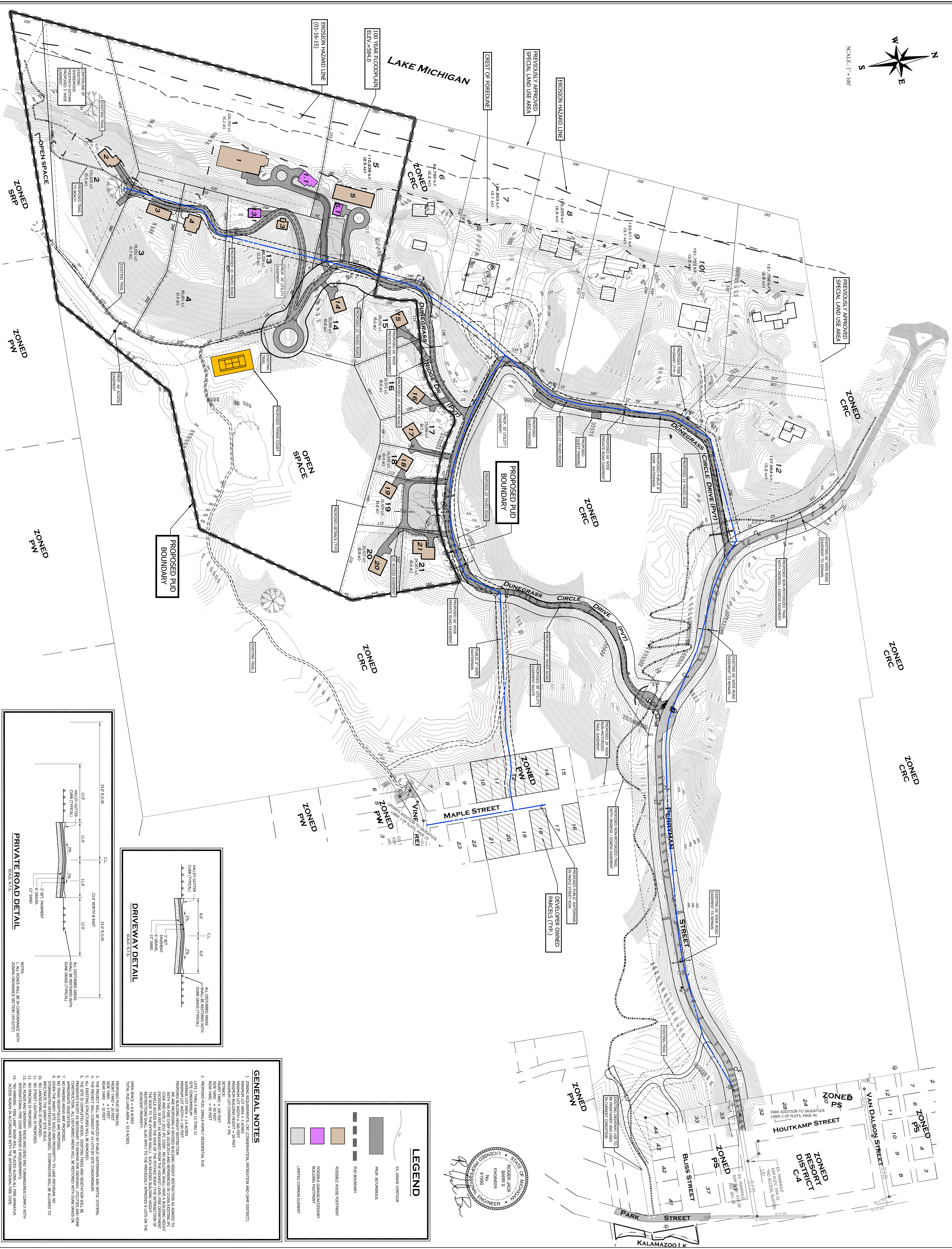
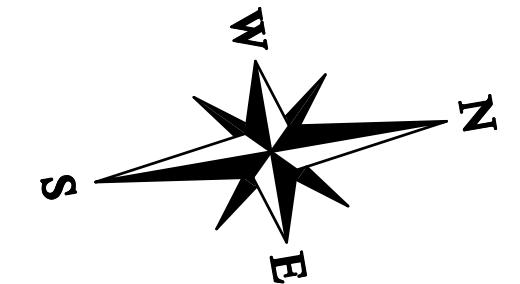
I hereby certify that that the above is a true copy of the Resolution adopted by the City of Saugatuck City Council at the time, date, and place specified above pursuant to the required statutory procedures.

Respectfully submitted,

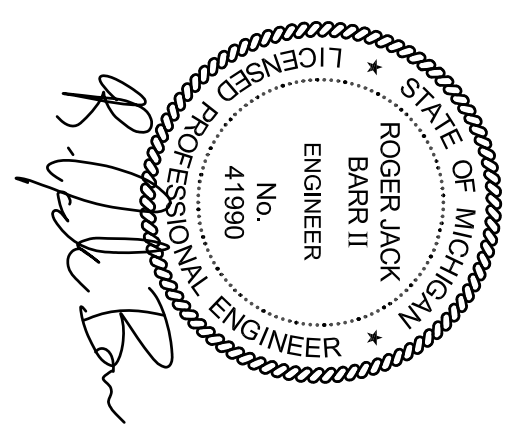
By \_\_\_\_\_  
Monica Nagel  
City of Saugatuck Clerk



SCALE: 1" = 100'



- GENERAL NOTES**
1. CONFORM TO ALL APPLICABLE ORDINANCES, REGULATIONS AND CAMP DISTRICT REQUIREMENTS.
  2. PROPOSED PUD SHALL BE IN CONFORMANCE WITH ZONING ORDINANCE SECTION 154.02(17).
  3. THE PROJECT WILL CONFORM TO ALL APPLICABLE ORDINANCES, REGULATIONS AND CAMP DISTRICT REQUIREMENTS.
  4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
  5. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  6. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  7. NO SHADING SHALL BE PERMITTED.
  8. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  9. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  10. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  11. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  12. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  13. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.
  14. PRESERVE EXISTING TREES AND VEGETATION TO REMAIN.



checked	date	no.	comment	date
RJB	11/07/14	1	PUD SITE PLAN	11/07/14
RJB	01/21/15	2	REVISED PUD SITE PLAN	01/21/15
RJB	03/11/15	3	REVISED PUD SITE PLAN	03/11/15
		4		
		5		
		6		
		7		
		8		

checked by: RJB date: 03/11/15 drawn by: WDS date: 02/17/13

**Attn: Paulus Heule**

Dune Ridge SA GP, LLC  
231 West Fulton Street  
Grand Rapids, Michigan 49503  
Phone: (650) 855-3333

Proposed PUD Plan - Public Watermain Option

## DUNEGRASS

THE PRESERVE AT THE LAKESHORE

PART OF SECTION 8 AND SECTION 9, T3N, R16W, VILLAGE OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

**NEDERVELD**

www.nederveld.com  
800.222.1868

**ANN ARBOR**  
3025 Miller Road  
Ann Arbor, MI 48103  
PHONE: 734.262.9983

**CHICAGO**  
1082 National Parkway  
Schaumburg, IL 60173  
PHONE: 630.252.8899

**COLUMBUS**  
6355 Old Avery Road, Suite A  
Dublin, OH 43016  
PHONE: 614.883.1127

**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
PHONE: 616.252.5399

**HOLLAND**  
347 Hoover Boulevard  
Holland, MI 49423  
PHONE: 616.833.8899

**INDIANAPOLIS**  
8459 Castlewood Dr., Suite B  
Indianapolis, IN 46250  
PHONE: 317.252.5399





## Site Plan Review Application

<b>LOCATION INFORMATION</b>	<b>APPLICATION NUMBER</b> _____
-----------------------------	---------------------------------

Address 383 Dunegrass Circle

Parcel Number 03-57-077-019-00

<b>APPLICANTS INFORMATION</b>
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Name JPD Construction Inc Address / PO Box 3231 Lake Trail Dr

City Saugatuck State ME Zip 49453 Phone 616 566 0337

Interest In Project General Contractor E-Mail jason@jpdconstruction.com

Signature [Signature] Date 10-9-22

<b>OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)</b>
--

Name Ed & Melissa Hermening Address / PO Box 10406 S Sealey

City Chicago State IL Zip 60643 Phone 312 545 6975

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions before, during, and after the proposed work is completed.

Signature [Signature] Date 10/10/22

<b>CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)</b>
---

Name JPD Construction Inc Contact Name Jason Dedic

Address / PO Box 3231 Lake Trail Dr City Saugatuck

State ME Zip 49453 Phone 616 566 0337 Fax \_\_\_\_\_

License Number 2102192271 Expiration Date 5-31-23

<b>PROPERTY INFORMATION</b>
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Depth 130 Width 167' Size .43 Acres Zoning District SA Current Use \_\_\_\_\_

Check all that apply:

Waterfront \_\_\_\_\_ Historic District \_\_\_\_\_ Dunes  Vacant

<b>PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)</b>
--

Construction of a new single family house

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## Site Plan Review Application

### LOCATION INFORMATION

### APPLICATION NUMBER

Address 383 Dune-gross Circle

Parcel Number 03-57-077-019-00

### APPLICANTS INFORMATION

Name JPD Construction Inc Address / PO Box 3231 Lake Trail Dr

City Saugatuck State MI Zip 49453 Phone 616 566 0337

Interest In Project General Contractor E-Mail jason@jpdconstruction.com

Signature [Signature] Date 10-9-22

### OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name Ed & Melissa Hermening Address / PO Box 10406 S. Sealey

City Chicago State IL Zip 60643 Phone 312 545 6975

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature \_\_\_\_\_ Date \_\_\_\_\_

### CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name JPD Construction Inc Contact Name Jason Dedic

Address / PO Box 3231 Lake Trail Dr City Saugatuck

State MI Zip 49453 Phone 616 566 0337 Fax \_\_\_\_\_

License Number 2102192271 Expiration Date 5-31-23

### PROPERTY INFORMATION

Depth 130' Width 167' Size .43 Acres Zoning District SA Current Use \_\_\_\_\_

Check all that apply:

Waterfront \_\_\_\_\_ Historic District \_\_\_\_\_ Dunes  Vacant

### PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)

Construction of a new single family house





## SITE PLAN REQUIREMENTS (SECTION 154.061)

A) Applications for preliminary site plan approval shall consist of the following information unless waived by the Zoning Administrator.

Y N NA

- Property dimensions
- Significant vegetation
- Water courses and water bodies, including human-made surface drainage ways
- Existing public right-of-way, pavements and/or private easements
- Existing and proposed uses, buildings, structures and parking areas
- Zoning classification of abutting properties
- The name, address and telephone number of the person and firm who prepared the site plan, and the date on which it was prepared
- A north arrow

B) Applications for final site plan approval shall consist of the following information unless waived by the Zoning Administrator. Twelve reproducible copies of a final site plan, at a scale of not less than one inch equals ten feet, shall include:

Y N NA

- Dimensions of property of the total site area,
- Contours at 2-foot intervals
- Locations of all buildings
- Other structures on adjacent properties within 100 feet of the property, including those located across the street from the property
- Parking areas
- Driveways
- Required and proposed building setbacks
- Location of abutting streets and proposed alignment of streets, drives and easements serving the development, including existing rights-of-way and pavement widths;
- Location, screening, dimensions and heights of proposed buildings and structures, such as trash receptacles, utility pads and the like, including accessory buildings and uses, and the intended uses thereof. Rooftop or outdoor appurtenances should also be indicated, including proposed methods of screening the equipment, where appropriate;
- Location and dimensions of parking areas, including computations of parking requirements, typical parking space dimensions, including handicapped spaces, and aisle widths;
- Proposed water supply and wastewater systems locations and sizes;
- Proposed finished grades and site drainage patterns, including necessary drainage structure. Where applicable, indicate the location and elevation of the 100-year floodplain;
- Proposed common open spaces and recreational facilities, if applicable;
- Proposed landscaping, including quantity, size at planting and botanical and common names of plant materials;
- Signs, including type, locations and sizes;





# Site Plan Review Application

Application # \_\_\_\_\_

- Location and dimensions of all access drives, including driveway dimensions, pavement markings, traffic-control signs or devices, and service drives;
- Exterior lighting showing area of illumination and indicating the type of fixture to be used.
- Elevations of proposed buildings drawn to an appropriate scale shall include:
  1. Front, side and rear views;
  2. Heights at street level, basement floor level, top of main floor, top of building, and if applicable, height above water level; and
  3. Exterior materials and colors to be used.
- Location, if any, of any views from public places to public places across the property;
- Location, height and type of fencing; and
- The name and address of the person and firm who drafted the plan, the seal of the professional responsible for the accuracy of the plan (licensed in the state) and the date on which the plan was prepared.

## STANDARDS FOR APPROVAL (SECTION 154.062)

Please respond to each of the following questions by explaining how the proposed development will meet the standards for site plan approval:  
 \*note: not all questions will apply for all requests.

- (1) How will the elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings? Will the site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter? The house will be positioned in a natural sand bowl with the existing vegetation surrounding. This is inline with the neighboring houses
- (2) How will the landscape be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter? The site will only be cleared for the house location once construction is complete native plants will be planted in the build zone. Existing trees will be protected.
- (3) How will the site plan provide reasonable visual and sound privacy for all dwelling units located therein? How will fences, walks, barriers and landscaping shall be used, as appropriate, be used to accomplish these purposes? As mentioned above the house is located in a natural sand bowl giving the house a hidden feel. The tree line is around entire perimeter other than the drive.
- (4) How will all buildings or groups of buildings be arranged so as to permit necessary emergency vehicle access as required by the Fire Department? There is a short driveway with a slight bend making access very easy
- (5) How will there be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic? (All federal, state and local barrier free requirements shall be met.) N/A





# Site Plan Review Application

Application # \_\_\_\_\_

(6) How will the arrangement of public or common ways for vehicular and pedestrian circulation be connected to existing or planned streets and pedestrian or bicycle pathways in the area? Will streets and drives which are part of an existing or planned street pattern serving adjacent development be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan?

N/A

(7) How will all streets be developed in accordance with city specifications, unless developed as a private road?

N/A

(8) How will appropriate measures be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system? Will provisions be made to accommodate storm water, prevent erosion and the formation of dust? The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

The house will have a full drainage system including down spouts. This will be run to a leach basin (please see site plan)

(9) How will all loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height? (See §§ 154.142 through 154.144).

N/A

(10) How will exterior lighting be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets? Flashing or intermittent lights shall not be permitted.

The exterior lighting will be up/down located at the egress areas of the house.

### OFFICE USE ONLY:

Application Complete \_\_\_\_\_ Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
Notice Sent \_\_\_\_\_ Resident Notification \_\_\_\_\_ Hearing Date \_\_\_\_\_  
Notes \_\_\_\_\_





RENDERING IS FOR VISUAL PURPOSES ONLY

SHEET INDEX	
Sheet No.	SHEET NAMES
<b>GENERAL</b>	
-	SURVEY
A0.00	GENERAL INFORMATION
A0.10	ASSEMBLIES
A0.11	ASSEMBLIES
A0.20	WINDOW SCHEDULE
A0.21	DOOR SCHEDULE
A0.30	SCHEDULES
<b>ARCHITECTURAL</b>	
A1.00	SITE PLAN
A2.00	LOWER LEVEL FLOOR PLAN
A2.01	MAIN LEVEL FLOOR PLAN
A2.02	UPPER LEVEL FLOOR PLAN
A2.03	ROOF PLAN
A2.04	LOWER LEVEL FRAMING PLAN
A2.05	MAIN LEVEL FRAMING PLAN
A2.06	UPPER LEVEL FRAMING PLAN
A2.07	SLAB LAYOUT DIAGRAM
A3.00	EXTERIOR ELEVATIONS
A3.01	EXTERIOR ELEVATIONS
A3.02	BUILDING SECTIONS
A4.00	WALL SECTIONS
A4.01	WALL SECTIONS
A5.00	INTERIOR ELEVATIONS
A5.01	INTERIOR ELEVATIONS
A5.02	INTERIOR ELEVATIONS
A5.03	INTERIOR ELEVATIONS
A5.04	INTERIOR ELEVATIONS
A5.05	INTERIOR ELEVATIONS
A5.06	INTERIOR ELEVATIONS
A5.07	INTERIOR ELEVATIONS
A6.00	LOWER LEVEL REFLECTED CEILING AND POWER PLAN
A6.01	MAIN LEVEL REFLECTED CEILING AND POWER PLAN
A6.02	UPPER LEVEL REFLECTED CEILING AND POWER PLAN
A7.00	FIREPLACE
A7.10	STAIR DETAILS
A8.00	EXTERIOR DETAILS - TYPICAL
A8.01	EXTERIOR DETAILS - GREAT ROOM PLAN DETAILS
A8.02	EXTERIOR DETAILS - GREAT ROOM SECTION DETAILS
A8.03	EXTERIOR DETAILS - ENTRY BOX - PLAN DETAILS
A8.04	EXTERIOR DETAILS - ENTRY BOX - SECTION DETAILS
A8.05	EXTERIOR DETAILS - THREE SEASON
A9.00	INTERIOR DETAILS
<b>STRUCTURAL</b>	
F-1	FOUNDATION PLAN
FD-1	FOUNDATION DETAILS
FD-2	FOUNDATION DETAILS
FD-3	FOUNDATION DETAILS
S-1	MAIN FLOOR FRAMING PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	FRAMING DETAILS
SD-2	FRAMING DETAILS
SN-1	STRUCTURAL NOTES AND LOADING

# DUNEGRASS RESIDENCE

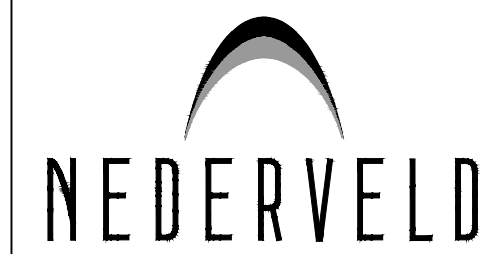
383 DUNEGRASS CIRCLE  
SAUGATUCK, MI 49453

CONSTRUCTION DOCUMENTS  
05.20.2022

# NORTH HOUSE ARCHITECTS

41 WASHINGTON AVE STE 395 GRAND HAVEN, MI 49417 T+1 616 405 2224  
INFO@NORTHHOUSE.DESIGN WWW.NORTHHOUSE.DESIGN





www.nederveld.com  
800.222.1868

**HOLLAND**  
347 Hoover Blvd.  
Holland, MI 49423  
Phone: 616.393.0449

ANN ARBOR  
CHICAGO  
COLUMBUS  
GRAND RAPIDS  
INDIANAPOLIS  
ST. LOUIS

**PREPARED FOR:**

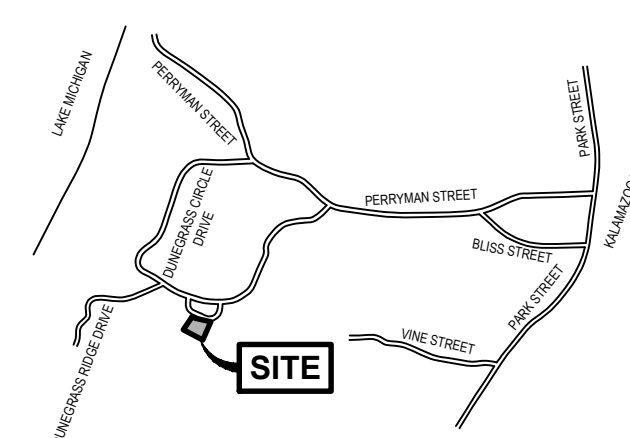
Melissa Harmening  
383 Dunegrass Circle  
Saugatuck, MI 49453

**CREATED:**

Drawn: HM Date: 12-2-20

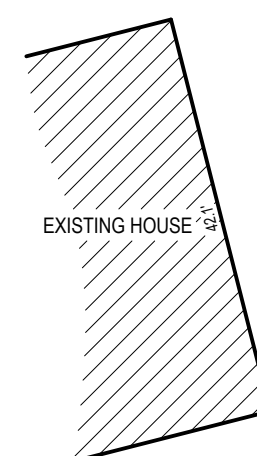
**REVISIONS:**

Rev: \_\_\_\_\_ Date: \_\_\_\_\_  
Drawn: \_\_\_\_\_



**LOCATION MAP**

NOT TO SCALE



EXISTING HOUSE

**DEED DESCRIPTION**

Land situated in the City of Saugatuck, County of Allegan, State of Michigan.

Unit 19, Dunegrass Site Condominium, according to the Master Deed recorded in Liber 3959, Page 655, and any amendments thereto, and designated as Allegan County Condominium Subdivision Plan No. 293, together with rights in the General Common Elements and the Limited Common Elements as set forth in said Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

(Warranty Deed recorded in Liber 4510, Page 160, dated September 15, 2020, Allegan County Register of Deeds Office)

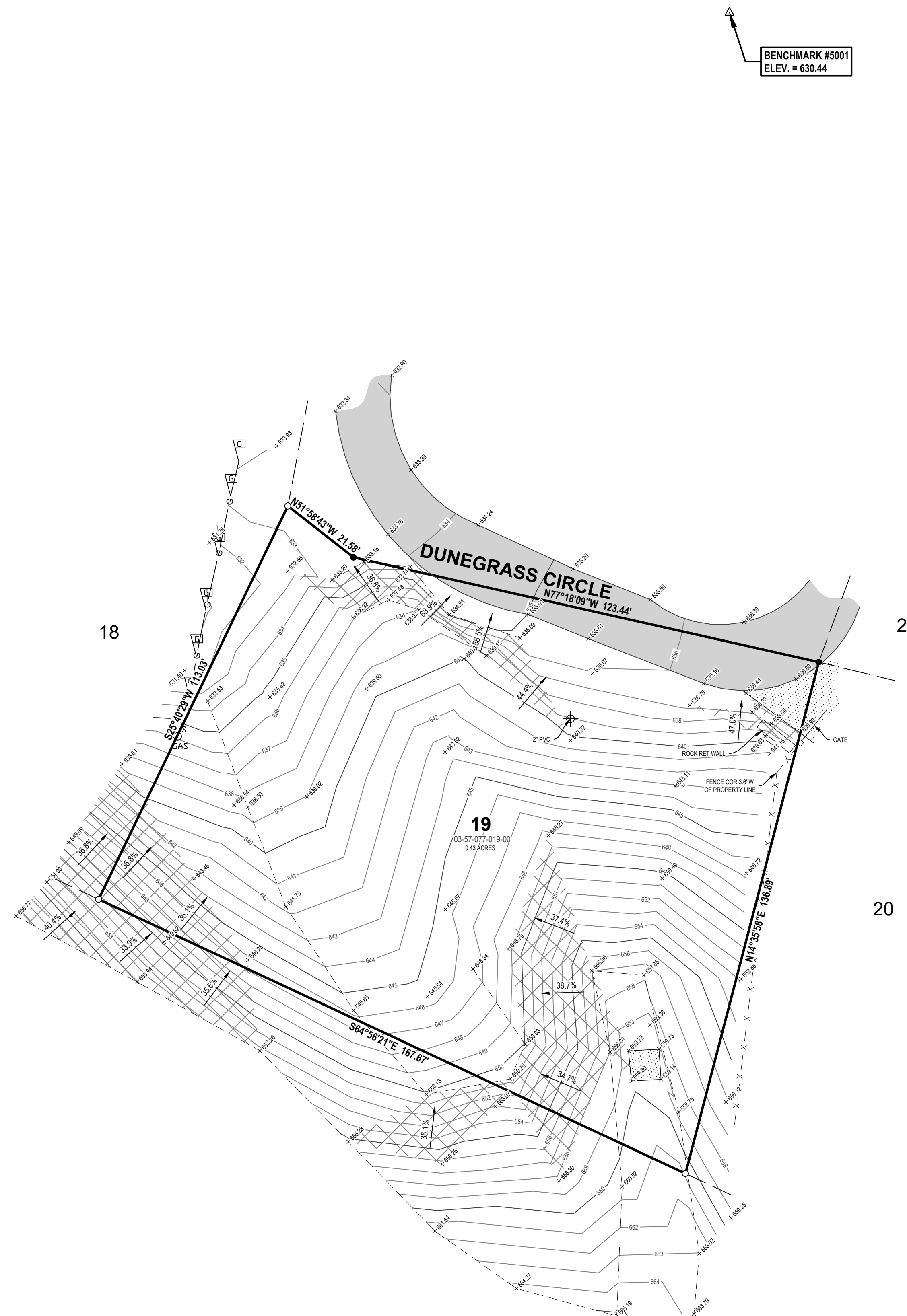
**SURVEYOR'S NOTES**

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260305, Panel Number 0001C, with an Effective Date of 2/1/1980, shows this parcel to be located in Zone C (area of minimal flooding)
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

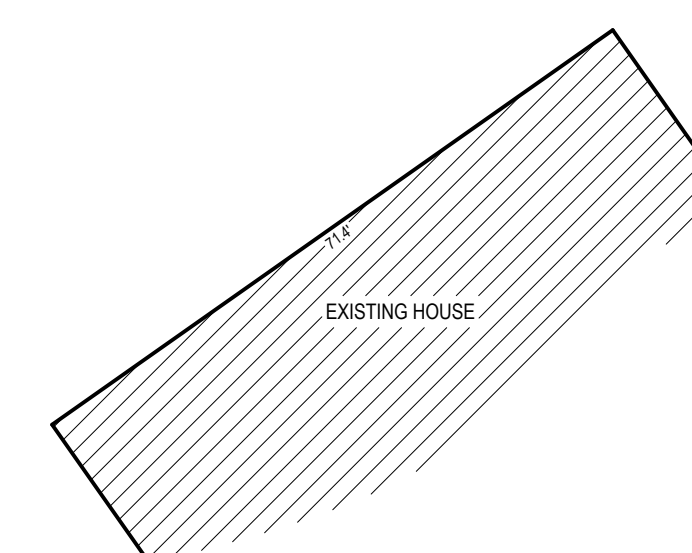
**BENCHMARKS**

**BENCHMARK # 5001 ELEV. = 630.44 (IGLD85)**  
Flange bolt (1.2 feet above ground level) under "MADE" on hydrant located ±12 feet North of Dunegrass Circle Drive, across from drainfield area between 375 Dunegrass Circle Drive and 395 Dunegrass Circle Drive.

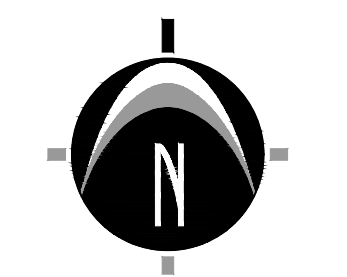
**BENCHMARK # 5109 ELEV. = 622.21 (IGLD85) (OFFSITE)**  
Flange bolt (1.3 feet above ground level) under "MADE" on hydrant located on the West side of the intersection of Dunegrass Circle Drive and Dunegrass Ridge.



BENCHMARK #5001  
ELEV. = 630.44



EXISTING HOUSE



0' 10' 20' 40'  
SCALE: 1" = 20'

**LEGEND**

- △ Benchmark
- Iron - Set
- Iron - Found
- Miss Dig Flag - Gas
- <sup>S</sup> Undergroud Gas Marker
- G — Gas
- X — X — Fence
- ▒ Asphalt
- ▒ Concrete
- ▒ Existing Building
- ▒ Greater than 33% Slope



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANNED" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**383 Dunegrass Circle**

**Topographic Survey**

LOT 19, DUNEGRASS SITE CONDOMINIUMS, SECTION 8&9, T3N, R18W, CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
20202103

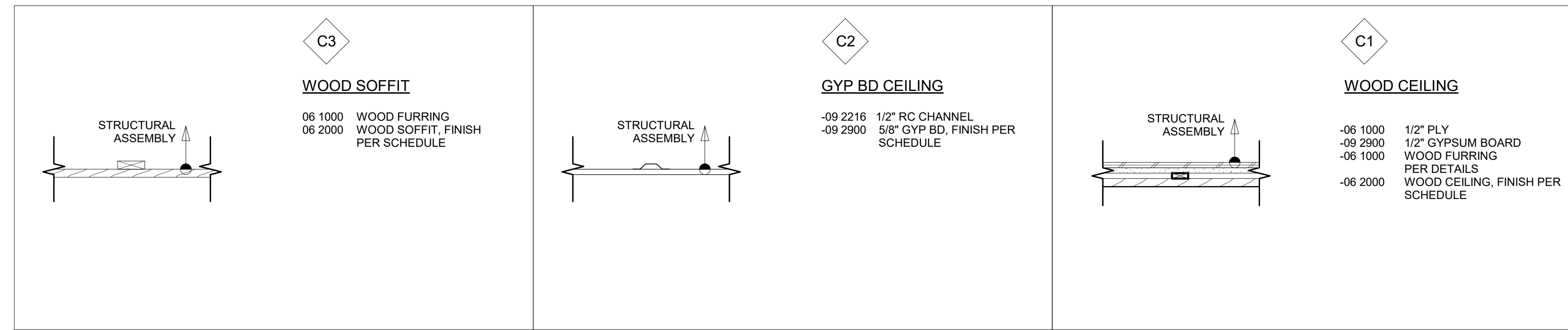
**SHEET NO:**  
**TO**

**SHEET: 1 OF 1**

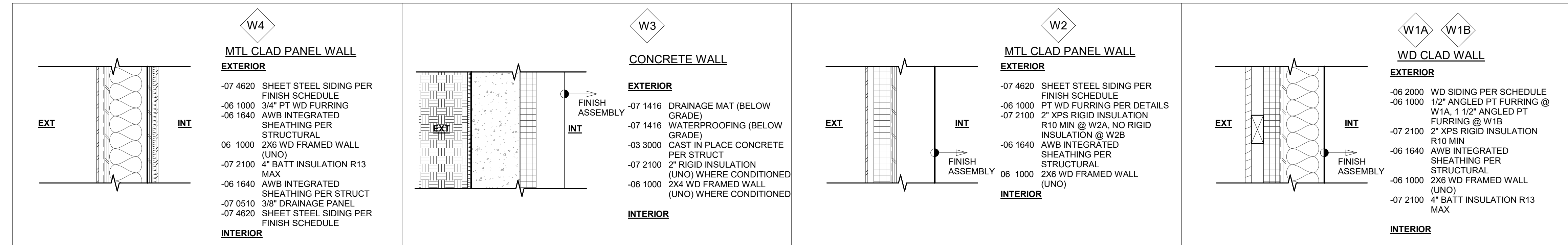




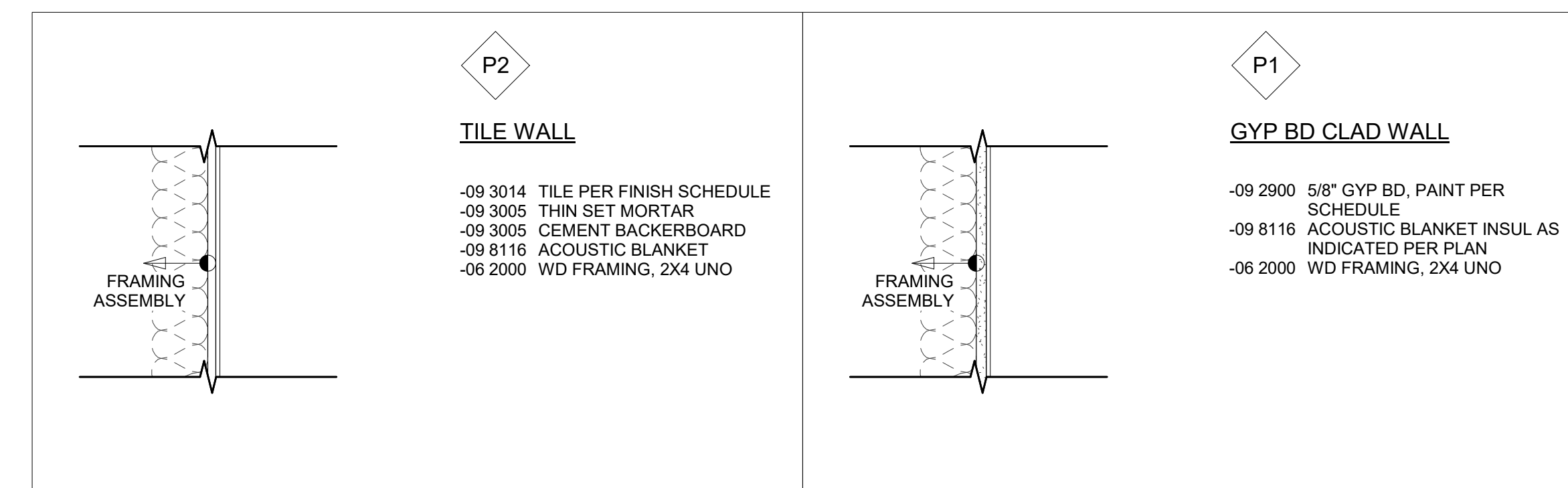




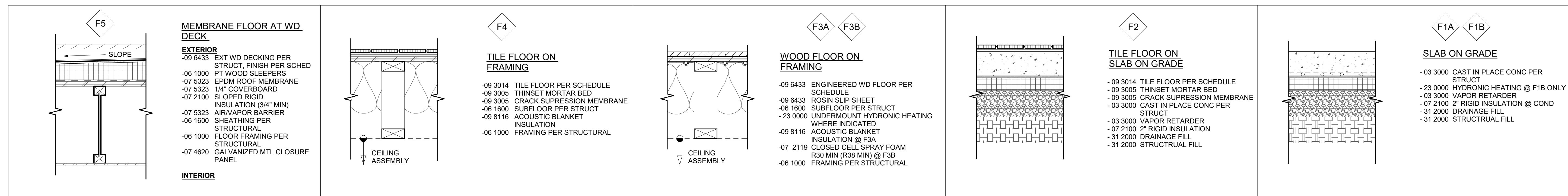
**4 ASSEMBLIES - CEILING**  
SCALE: 1 1/2" = 1'-0"



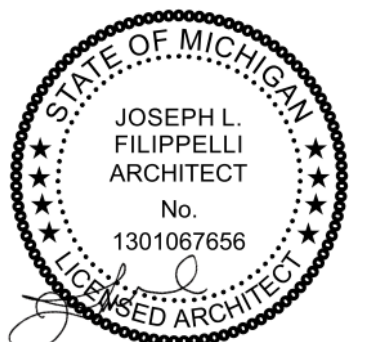
**3 ASSEMBLIES - EXTERIOR WALLS**  
SCALE: 1 1/2" = 1'-0"



**2 ASSEMBLIES - INT PARTITIONS**  
SCALE: 1 1/2" = 1'-0"



**1 ASSEMBLIES - FLOOR**  
SCALE: 1 1/2" = 1'-0"



principal architect JLF  
drawn by MB  
job no. 20.012  
date 05.20.2022

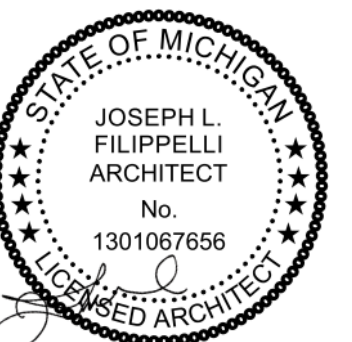
revisions:

no.	date	by

CONSTRUCTION DOCUMENTS  
05.20.2022

ASSEMBLIES

**A0.10**



principal architect JLF  
 drawn by JLF  
MB  
 job no. 20.012  
 date 05.20.2022

revisions:

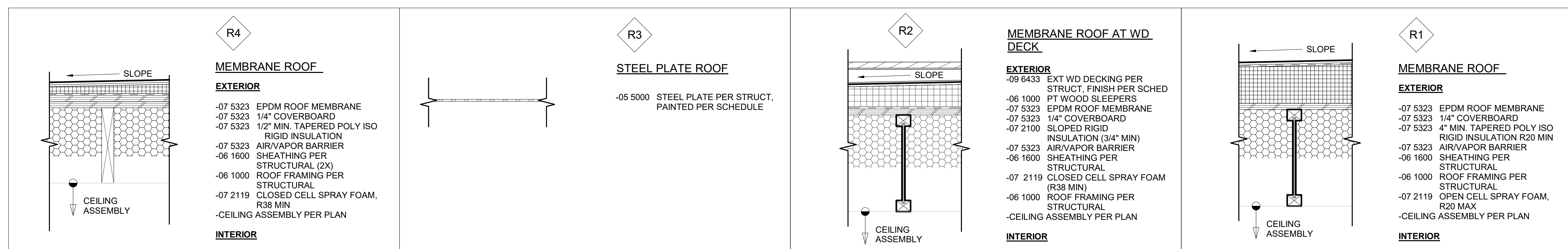
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no. date by

CONSTRUCTION DOCUMENTS  
 05.20.2022

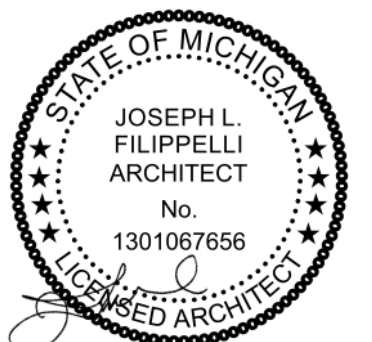
ASSEMBLIES

**A0.11**



**1 ASSEMBLIES - ROOF**  
 SCALE: 1 1/2" = 1'-0"





principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

no. date by

**CONSTRUCTION DOCUMENTS**  
05.20.2022

**WINDOW SCHEDULE**

**A0.20**

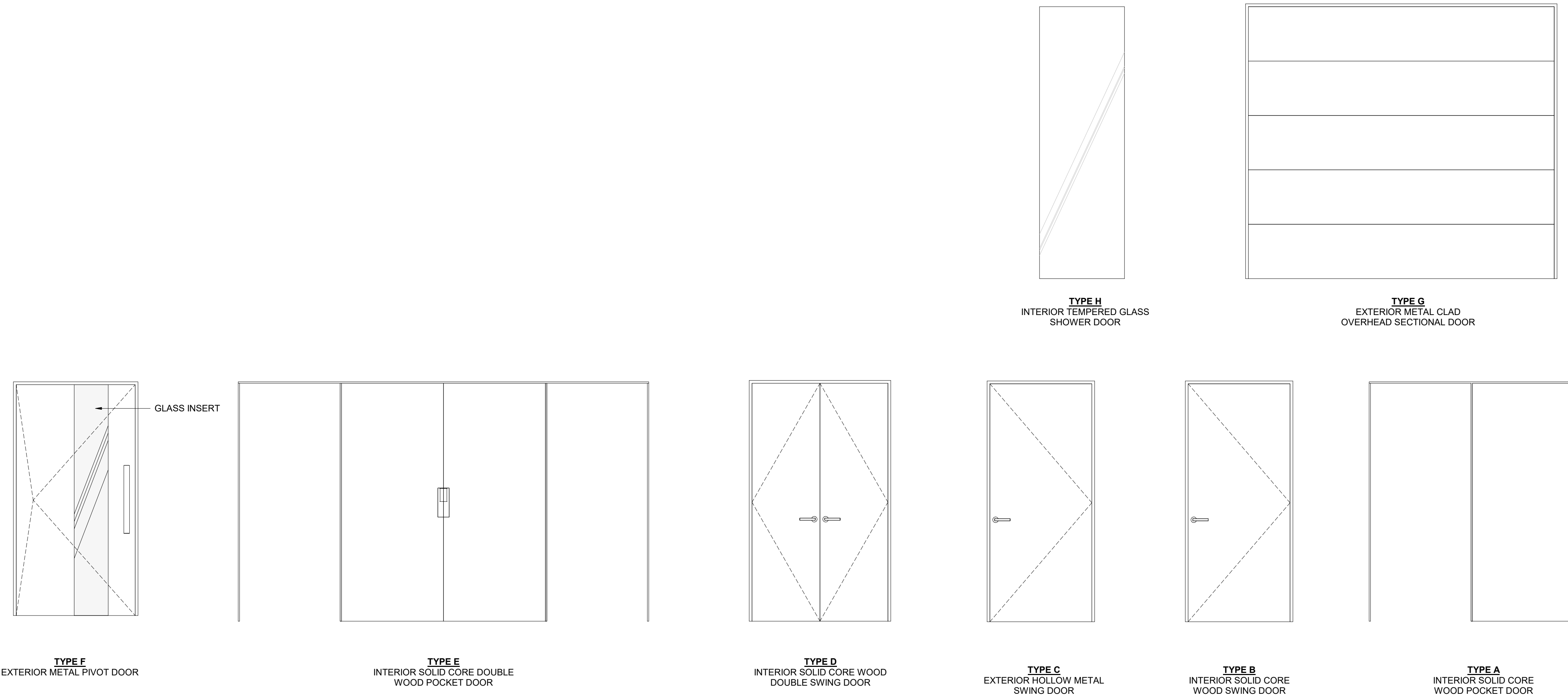
**GENERAL NOTES:**

- 1: FIELD VERIFY ALL ROUGH OPENINGS IN CONGRUENCE WITH ARCHITECTURAL DRAWINGS.
- 2: ALL WINDOWS AND DOORS ARE SIZED TO 1" LESS IN WIDTH THAN ROUGH OPENING. (RO IS 1/2" PER SIDE)
- 3: SEE SKYLIGHT SCHEDULE FOR ALL SKYLIGHT DIMENSIONS.
- 4: ALL U-VALUES TO MEET AND EXCEED U-VALUE CODE

SKYLIGHT SCHEDULE				
MARK	WIDTH	LENGTH	MODEL	DESCRIPTION
SL1	2' - 0"	2' - 0"	FCM	FIXED CURB MOUNTED

GLAZING SCHEDULE											
MARK	BASE SUBFLOOR	FRAME OFFSET FROM BASE SUBFLOOR	TOP PLATE	FRAME OFFSET FROM TOP PLATE	OPERATION	DIMENSIONS (ACTUAL FRAME)			MANUFACTURER	MODEL	REMARKS
						WIDTH	HEIGHT	AREA			
<b>TO FDN WALL</b>											
01	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	CORNER GLASS FIXED (1)	4' - 10 1/2"	11' - 4 1/4"	55.347 SF	FLEETWOOD	3800-T	BLACK ANODIZED, SEE DETAILS FOR FROM OFFSETS
02	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	FIXED (1) AWNING (1)	12' - 9 1/2"	11' - 4 1/4"	145.214 SF	FLEETWOOD	3800-T	BLACK ANODIZED, AWNING HEIGHT 2'-0". SEE DETAILS FOR FRAME OFFSETS
03	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	CORNER GLASS FIXED (1)	4' - 10 1/2"	11' - 4 1/4"	55.347 SF	FLEETWOOD	3800-T	BLACK ANODIZED, SEE DETAILS FOR FRAME OFFSETS
<b>TO ML SUBFLOOR</b>											
04	TO ML SUBFLOOR	6' - 0 3/4"	Up to level: TO ML PLATE	-1' - 11 3/8"	AWNING (1)	2' - 1"	2' - 1"	4.340 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD AWNING SIZE
05	TO ML SUBFLOOR	2' - 2"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9 7/8"	20.861 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE, CASEMENT HEIGHT 5'-11"
06	TO ML SUBFLOOR	6' - 2 3/4"	Up to level: TO ML PLATE	-1' - 11 3/8"	AWNING (1)	3' - 10"	1' - 11"	7.347 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD AWNING SIZE
07	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-2' - 0 7/8"	SWING DOOR	3' - 0"	7' - 11 1/2"	23.875 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
08	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	3' - 5 3/4"	9' - 11 1/8"	34.538 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
09	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, CUSTOM AWNING SIZE, AWNING HEIGHT 2'-0"
10	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, CUSTOM AWNING SIZE, AWNING HEIGHT 2'-0"
11	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
12	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
13	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	OXXO SLIDER	14' - 0 1/2"	9' - 11 1/8"	139.393 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, CUSTOM SLIDER SIZE
14	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	4' - 1 1/2"	9' - 11 1/8"	40.949 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, CUSTOM AWNING SIZE, AWNING HEIGHT 2'-0"
15	TO ML SUBFLOOR	3' - 0 3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	3' - 5"	6' - 11 1/8"	23.668 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, CUSTOM AWNING SIZE, AWNING HEIGHT 2'-0"
SC1	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 5 3/4"	9' - 2 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
SC2	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 4 1/8"	9' - 4 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
SC3	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	9' - 3 1/4"	9' - 4 1/4"	86.721 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
SC4	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	O SLIDER FIXED PANEL	4' - 7 3/8"	9' - 4 1/4"	43.166 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE, FIXED WINDOW IN SLIDER FRAME
SC5	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 4 1/8"	9' - 4 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
SC6	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 5 3/4"	9' - 2"	68.597 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
<b>TO UL SUBFLOOR</b>											
16	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	1' - 9"	1' - 9"	3.063 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD AWNING SIZE, WET LOCATION-SEAL WOOD
17	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	3' - 11"	1' - 9"	6.854 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD AWNING SIZE
18	TO UL SUBFLOOR	2' - 0 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	CASEMENT (1)	2' - 1"	5' - 11"	12.326 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE
19	TO UL SUBFLOOR	2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9"	20.667 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE, CASEMENT HEIGHT 5'-5"
20	TO UL SUBFLOOR	3/4"	Up to level: TO UL PLATE	-1' - 0 7/8"	SWING DOOR	3' - 0"	7' - 11 1/2"	23.875 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD DOOR SIZE
21	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	3' - 10"	1' - 9"	6.708 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD AWNING SIZE
22	TO UL SUBFLOOR	2' - 6"	Up to level: TO UL PLATE	-1' - 8 1/8"	FIXED (1), CASEMENT (1)	8' - 0"	4' - 11"	39.333 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE, PRICE AS 3 EQ CASEMENTS AS ALTERNATE
23	TO UL SUBFLOOR	2' - 6"	Up to level: TO UL PLATE	-1' - 8 1/8"	CASEMENT (1)	2' - 8"	4' - 11"	13.111 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE
24	TO UL SUBFLOOR	3' - 4 3/4"	Up to level: TO UL PLATE	-3' - 8 3/8"	FIXED (1)	2' - 0"	2' - 0"	4.000 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
25	TO UL SUBFLOOR	2' - 6"	Up to level: TO UL PLATE	-1' - 8 1/8"	FIXED (1), CASEMENT (1)	7' - 0"	4' - 11"	34.417 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE, PRICE AS 3 EQ CASEMENTS AS ALTERNATE
26	TO UL SUBFLOOR	2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9"	20.667 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS, STANDARD CASEMENT SIZE, CASEMENT HEIGHT 5'-5"
27	TO UL SUBFLOOR	2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1)	6' - 6"	7' - 9"	50.375 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/4" DOUG FIR JAMB EXTENSIONS
33								1419.165 SF			





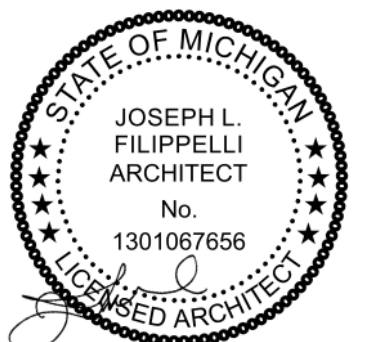
**DOOR TYPES**

SCALE: 1/2" = 1'-0"

**GENERAL HARDWARE NOTES:**

- 1: SARGENT, GRAMERCY SERIES, MODEL REM, STAINLESS
- 2: EMTEK POCKET DOOR MORTISE - ROUND, BRUSHED NICKEL
- 3: CABINET HARDWARE: "MOCKETT" OR EQUAL, FULLY MORTISED.

DOOR SCHEDULE										
MARK	LOCATION	OPERATION	TYPE	DIMENSIONS			FRAME TYPE	FINISH		REMARKS
				WIDTH	HEIGHT	THICKNESS		PANEL	FRAME	
<b>TO GARAGE SLAB</b>										
001.1	GARAGE	OVERHEAD	G	9' - 0"	8' - 0"	1 3/4"	METAL	PAINTED	PAINTED	
001.2	GARAGE	OVERHEAD	G	16' - 0"	8' - 0"	1 3/4"	METAL	PAINTED	PAINTED	
001.3	STORAGE / MECHANICAL	SWING	C	3' - 0"	8' - 0"	1 3/4"	METAL	PAINTED	PAINTED	FIRE RATED
<b>TO ENTRY SLAB</b>										
001.4	GARAGE	SWING	C	3' - 0"	3' - 0"	1 3/4"	METAL	PAINTED	PAINTED	FIRE RATED STORAGE ACCESS
004.1	MUDROOM	SWING	C	3' - 0"	8' - 0"	1 3/4"	METAL	PAINTED	PAINTED	FIRE RATED
004.2	LAUNDRY	SWING	B	2' - 8"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
004.3	BATH 1	POCKET	A	2' - 8"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
004.4	MUDROOM	SWING	B	1' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
006.1	ENTRY FOYER	POCKET	A	3' - 0"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
006.2	ENTRY FOYER	PIVOT	F	3' - 6"	6' - 9 1/2"	1 3/4"	METAL	PAINTED	PAINTED	METAL CLAD WITH GLASS INSERT
<b>TO MAIN LEVEL FF</b>										
101.1	STAIR FOYER	DOUBLE SWING	D	4' - 0"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
105.1	DEN	DOUBLE POCKET	E	6' - 0"	9' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
105.2	DEN	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
106.1	BATH 2	SWING	H	2' - 6"	9' - 0"	1/2"				
107.1	PWDR	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
107.2	PWDR	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
<b>TO UPPER LEVEL FF</b>										
201.1	OFFICE	DOUBLE SWING	D	4' - 0"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
202.1	BEDROOM 1	SWING	B	2' - 8"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
203.1	OFFICE	POCKET	A	3' - 0"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
203.2	BATH 3	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
204.1	BEDROOM 2	SWING	B	2' - 8"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
205.1	MASTER BEDROOM	SWING	B	3' - 0"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
206.1	MASTER BEDROOM	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
207.1	MASTER BEDROOM	POCKET	A	2' - 6"	8' - 0"	1 3/4"	WOOD	PAINTED	PAINTED	
207.3	MASTER BATH	SWING	H	2' - 6"	9' - 0"	1/2"	NONE	GLASS	NONE	FULL HEIGHT SHOWER DOOR, VFY W/ OWNER
Grand total: 25										



principal architect JLF  
 drawn by JLF  
 MB  
 job no. 20.012  
 date 05.20.2022

revisions:

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CONSTRUCTION DOCUMENTS

05.20.2022

DOOR SCHEDULE

A0.21



**FINISH AND PRIMARY BUILDING MATERIAL SCHEDULE**

KEY NAME	MATERIAL	SPEC SECTION	DESCRIPTION	SUBMITTAL	MOCKUP
<b>DIV 01 GENERAL REQUIREMENTS</b>					
ADMINISTRATIVE REQUIREMENTS	CONDUCT PRECONSTRUCTION CONFERENCE WITH ARCHITECT BEFORE STARTING CONSTRUCTION; CONDUCT REGULAR PROGRESS MEETINGS; PREPARE SCHEDULE OF SUBMITTALS; RFI# - ALLOW SEVEN WORKING DAYS FOR ARCHITECT'S RESPONSE				
SUBMITTAL PROCEDURES	SUBMITTALS - FROM GENERAL CONTRACTOR ONLY. REVIEW AND COORDINATE SUBMITTALS, AND STAMPED "REVIEWED" PRIOR TO SUBMISSION TO ARCHITECT; DO NOT ORDER MATERIALS, FABRICATE PRODUCTS, OR OTHERWISE COMMIT RESOURCES PRIOR TO ARCHITECT'S ACCEPTANCE OF SUBMITTALS				
QUALITY REQUIREMENTS	COMPLY WITH CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION AND THOSE INDICATED; COMPLY WITH REFERENCED INDUSTRY AND REGULATORY STANDARDS; BUILD FULL-SCALE MOCKUPS WHERE INDICATED TO ESTABLISH THE STANDARD BY WHICH THE WORK WILL BE JUDGED				
PRODUCT REQUIREMENTS	PRODUCT SUBSTITUTIONS REQUIRE ARCHITECT'S PRIOR ACCEPTANCE OF SUBMITTED PRODUCT DATA FOR PROPOSED SUBSTITUTION				
EXECUTION	NOTIFY ARCHITECT OF OMISSIONS OR CONFLICTS AND REQUEST CLARIFICATION BEFORE PROCEEDING; FOR PRICING PURPOSES, ASSUME THE MOST COSTLY OF CONFLICTING REQUIREMENTS; FOR OMISSIONS ASSUME A LEVEL OF QUALITY CONSISTENT WITH THE GENERAL QUALITY LEVEL OF THE PROJECT.				
<b>DIV 03 CONCRETE</b>					
CONC-1	SITE CAST CONCRETE SLAB	03 3000	CAST-IN-PLACE CONSTRUCTION	NATURAL, NO INTEGRAL COLOR; COMPLY WITH STRUCTURAL DRAWINGS; UNDER SLAB VAPOR RETARDER TO BE CLASS A, MIN 15 MILS THICK, MAX 0.01 PERMS	
CONC-2	ARCHITECTURAL SITE CAST CONCRETE SLAB	03 3000	CAST-IN-PLACE CONSTRUCTION	HARD-TROWEL, MINIMIZE PATTERN & SAWCUT JOINTS; SEALER PER INSTALLER - MINIMIZE SHEEN; INTEGRAL COLOR TBD; UNDER SLAB VAPOR RETARDER TO BE CLASS A, MIN 15 MILS THICK, MAX 0.01 PERMS	30" SQUARE SLAB SECTION
CONC-3	ARCHITECTURAL SITE CAST CONCRETE WALL	03 3000	CAST-IN-PLACE CONSTRUCTION	NATURAL, NO INTEGRAL COLOR; COMPLY WITH STRUCTURAL DRAWINGS - COORDINATE JOINTS WITH ARCHITECT PRIOR TO ERECTING FORMWORK	PORTION OF EXPOSED WALL PRIOR TO FULL EXECUTION
<b>DIV 05 METALS</b>					
MTL-1	STRUCTURAL STEEL	05 1200	STRUCTURAL STEEL FRAMING	WHERE VISIBLE - SHERWIN WILLIAMS SHER-CRYL HPA, SEMI GLOSS, (OR EQUAL) PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; COMPLY WITH STRUCTURAL DRAWINGS	SHOP DRAWINGS, FINISHED SAMPLES
MTL-2	FABRICATED STEEL ITEMS	05 5000	METAL FABRICATIONS	WHERE VISIBLE - SHERWIN WILLIAMS PRO INDUSTRIAL DTM, SEMI GLOSS, (OR EQUAL) PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; COMPLY WITH STRUCTURAL DRAWINGS WHERE REQ'D; EXPOSED FASTENING TO BE VERIFIED WITH ARCHITECT	SHOP DRAWINGS, FINISHED SAMPLES
MTL-5	STEEL GUARDRAIL	05 5000	METAL FABRICATIONS	2" x 1/2" STEEL FLAT BAR W/ 5/8" WELDED STEEL ROD, FINISH TO MATCH MTL-2	FABRICATED SECTION
<b>DIV 06 WOOD</b>					
ROUGH FRAMING, ENGINEERED WOOD PRODUCTS	06 1000	ROUGH CARPENTRY	COMPLY WITH STRUCTURAL DRAWINGS WHERE APPLICABLE	SHOP DRAWINGS WHERE APPLICABLE	
WOOD SHEATHING	06 1600	SHEATHING	COMPLY WITH STRUCTURAL DRAWINGS		
INTEGRATED AIR/WEATHER BARRIER SHEATHING PRODUCTS	06 1640	AIR/WEATHER BARRIER STRUCTURAL SHEATHING	HUBER ENGINEERED WOODS ZIP SYSTEM & CORRESPONDING PRODUCTS; COMPLY WITH STRUCTURAL DRAWINGS		
WD-1	EXTERIOR WOOD SIDING	06 2000	FINISH CARPENTRY	WESTERN RED CEDAR, 1" & BETTER CLEAR, 1X6 SHIP/LAP, STAIN TBD	FINISHED SAMPLES
WD-2	STAINED INTERIOR WOOD TRIM	06 2000	FINISH CARPENTRY	WOOD SPECIES & STAIN TO MATCH ADJACENT WINDOWS & DOORS; SEE DETAILS FOR PROFILES	36" SQUARE SECTION IN RELATIONSHIP WITH WINDOW & EXTERIOR TRIM
WD-3	PAINTED INTERIOR WOOD TRIM	06 2000	FINISH CARPENTRY	POPULAR, PAINTED; MDF MAY BE SUITABLE FOR LARGER PANELS; SEE DETAILS FOR PROFILES	PORTION OF INTERIOR FRAME PRIOR TO FULL EXECUTION, INCLUDE WALL BASE
WD-4	WOOD DECKING	06 2000	FINISH CARPENTRY	PIPE, NO STAIN; COMPLY WITH STRUCTURAL DRAWINGS	PORTION OF INTERIOR FRAME PRIOR TO FULL EXECUTION, INCLUDE WALL BASE
WD-5	WOOD CEILING/ SOFFIT	06 2000	FINISH CARPENTRY	WESTERN RED CEDAR, 1" & BETTER CLEAR, 1X6 TAG, NICKEL GAP REVEAL; STAIN TBD	FINISHED SAMPLES
WD-6	STAINED CASEWORK AND FIXED PANELS TO MATCH	06 4000	ARCHITECTURAL WOODWORK	RIFT SAWN WHITE OAK VENEER, SEALED, MAPLE CASEWORK INTERIORS; STAIN TBD; VERIFY GRAIN ORIENTATION WITH ARCHITECT	48" SQUARE MOUNTED TO CEILING
WD-7	PAINTED CASEWORK AND FIXED PANELS TO MATCH	06 4000	ARCHITECTURAL WOODWORK	PAINT GRADE WOOD, COLOR TBD	VERIFY GRAIN ORIENTATION WITH ARCHITECT
WD-9	EXTERIOR WOOD TRIM	06 4000	ARCHITECTURAL WOODWORK	MATCH WD-1 SIDING MATERIAL	SHOP DRAWINGS, FINISHED SAMPLES
WD-10	GLUE-LAMINATED EXPOSED COLUMNS	06 1800	GLUE-LAMINATED CONSTRUCTION	VISUAL GRADE; COMPLY WITH STRUCTURAL DRAWINGS; FINISH TO MATCH METAL CLAD WOOD WINDOW FRAMES	FINISHED SAMPLES
WD-11	INTERIOR WOOD FLOOR TREADS	06 2000	ARCHITECTURAL WOODWORK	SOLID WHITE OAK STAIR DREADS PER DETAILS; FINISH TO MATCH WD-8	FINISHED SAMPLES
<b>DIV 07 THERMAL AND MOISTURE PROTECTION</b>					
EXTERIOR & INTERIOR INSULATION	07 2100	THERMAL INSULATION	REFERENCE ASSEMBLIES FOR TYPE & MINIMUM R-VALUES IN GENERAL LOCATIONS; SEE DETAILS FOR SPECIFIC INSTANCES		
SPRAY FOAM INSULATION	07 2119	FOAMED-IN-PLACE INSULATION	SEE DETAILS FOR APPLICATIONS; REFERENCE ASSEMBLIES FOR MINIMUM R-VALUES		
MTL-4	EXTERIOR STEEL WALL PANEL	07 4620	SHEET STEEL SIDING	16 GAUGE, COLD ROLLED STEEL, PAINTED WITH SHERWIN WILLIAMS PRO INDUSTRIAL DTM, SEMI GLOSS (OR EQUAL); PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; EXPOSED PAN HEAD FASTENERS TO BE VERIFIED WITH ARCHITECT	FINISHED SAMPLE
MEMB-1	LOW SLOPE EPDM MEMBRANE ROOFING	07 6323	EPDM MEMBRANE ROOFING	60 MIL THICKNESS; POLY ISO BOARD INSULATION TO ACHIEVE ROOF SLOPES	TYPICAL WALL PANEL, FASTENER AND JOINT CONDITION
MTL-3	FLASHINGS, COPINGS, AND OTHER SHEET METAL ITEMS	07 6200	SHEET METAL FLASHING AND TRIM	22 GAUGE WHERE EXPOSED IN FINISHED CONSTRUCTION & 26 GAUGE WHERE FULLY CONCEALED; FINISH WITH FLUOROPOLYMER WHERE VISIBLE; COLOR TO MATCH WINDOW CLADDING	FINISHED SAMPLE
SAF	SELF-ADHERING SHEET FLASHING	07 6526	SELF-ADHERING SHEET FLASHING	WHEN USING AN INTEGRATED AWB SHEATHING PRODUCT, USE MANUFACTURER'S RECOMMENDED FLASHING ACCESSORIES FOR A COMPLETE COMPATIBLE SYSTEM	PORTION OF WINDOW AT WINDOW TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
LAF	LIQUID-APPLIED FLASHING	07 6529	LIQUID-APPLIED FLASHING	WHEN USING AN INTEGRATED AWB SHEATHING PRODUCT, USE MANUFACTURER'S RECOMMENDED FLASHING ACCESSORIES FOR A COMPLETE COMPATIBLE SYSTEM	
LAJ	LIQUID APPLIED JOINT & GAP FILLER	07 9126	JOINT FILLER	PROSOCO R-GUARD JOINT & SEAM FILLER	
SEAL	SEALANTS FOR EXTERIOR AND INTERIOR JOINTS	07 9200	JOINT SEALANTS	EXT SEALANTS AND INT JOINTS (POROUS MATERIALS TO POROUS MATERIALS) - DOW CORNING 790 OR EQUAL; EXT SEALANTS AND INT JOINTS (NON-POROUS MATERIALS TO BOTH POROUS MATERIALS) - DOW CORNING 791 OR EQUAL	MOCK UP TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
<b>DIV 08 OPENINGS (SEE GLAZING SCHEDULE FOR EXTERIOR WINDOW &amp; DOOR INFORMATION)</b>					
DR-1	PAINT GRADE INTERIOR WOOD DOORS	08 1400	WOOD DOOR	SOLID CORE, POPLAR; PAINT TBD	FINISHED SAMPLE
<b>DIV 09 FINISHES</b>					
GYP-1	GYP/SUM WALL BOARD	09 2900	GYP/SUM BOARD	5/8" THICK BOARD; PAINT TBD	FINISHED SAMPLE
TILE-1	CERAMIC FLOOR TILE	09 3014	CERAMIC AND STONE TILE	USE SETTING AND GROUTING MATERIALS RECOMMENDED BY MANUFACTURE FOR SPECIFIC APPLICATIONS REQUIRED; TILE TBD	PORTION OF WALL TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
TILE-2	CERAMIC WALL TILE	09 3014	CERAMIC AND STONE TILE	USE SETTING AND GROUTING MATERIALS RECOMMENDED BY MANUFACTURE FOR SPECIFIC APPLICATIONS REQUIRED; TILE TBD	PORTION OF FLOOR TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
WD-8	ENGINEERED WOOD FLOORING	09 6433	LAMINATED WOOD FLOORING	INTERIOR WOOD FLOORING, 3/4" ENGINEERED WHITE OAK, 8" BOARD WIDTH, SITE SANDED & FINISHED, OVER ROSIN SLIP SHEET; STAIN TBD	PORTION OF WALL TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
<b>DIV 10 SPECI</b>					
GL-1	SHOWER GLASS & DOOR	10 2800	TOILET AND BATH ACCESSORIES	GLASS SHOWER DOORS/ PARTITIONS 1/2" CLEAR GLASS, TEMPERED, DOOR HARDWARE CR LAURENCE OR EQ. FINISH TO MATCH BATH FIXTURES	PORTION OF FLOOR TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
<b>DIV 12 FURNISHINGS</b>					
CNTR-1	MANUFACTURED COUNTER TOP	12 3530	RESIDENTIAL CASEWORK	TBD	FINISHED SAMPLE

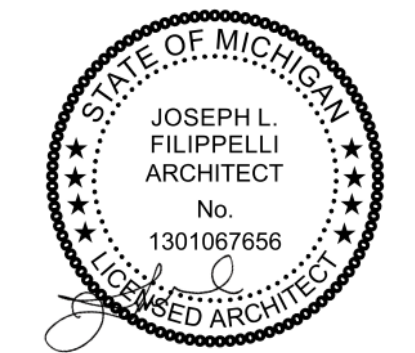
**PLUMBING SCHEDULE**

ROOM	TYPE	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
<b>TO ENTRY SLAB</b>					
BATH 1	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 1	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 1	FLOOR MOUNT TOILET	TOTO	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
LAUNDRY	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
LAUNDRY	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
<b>TO MAIN LEVEL FF</b>					
BATH 2	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 2	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 2	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
KITCHEN	SINGLE HOLE DECK MOUNT FAUCET - KITCHEN	TBD	TBD	TBD	VERIFY WITH OWNER
KITCHEN	UNDERMOUNT SINK	JULIEN	003932 J7	STAINLESS	VERIFY WITH OWNER
PWDR	WALL MOUNT SINGLE HANDLE	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
PWDR	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
PWDR	FLOOR MOUNT TOILET	TOTO	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
<b>TO UPPER LEVEL FF</b>					
BATH 3	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 3	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 3	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 3	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
BATH 3	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
BATH 3	FLOOR MOUNT TOILET	TOTO	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
BATH 3	TUB	TBD	TBD	TBD	VERIFY WITH OWNER
MASTER BATH	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGRÖHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
MASTER BATH	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
MASTER BATH	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
MASTER BATH	FLOOR MOUNT TOILET	TOTO	AQUIA CST412 MB	TBD	VERIFY WITH OWNER

**NORTH HOUSE ARCHITECTS**

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principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:  
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no. date by

CONSTRUCTION DOCUMENTS  
05.20.2022

SCHEDULES

**A0.30**



- PROPOSED ASPHALT DRIVEWAY  
 CL OF DRIVEWAY: LENGTH = 110', SLOPE < 10%. WATER RUNOFF TO GRAVEL LEACH BASING FOR GROUND RECHARGE WITHOUT IMPACT TO STEEP SLOPES
- TEMPORARY SHORING TO PROTECT STEEP SLOPES, TYP
- WATER, SEWER, POWER LINES
- TEMPORARY STOCKPILE AREA
- OPTIONAL GRAVEL SEATING AREA
- EXPOSED CONC-3 CONCRETE LANDSCAPE RETAINING WALL
- EXISTING GAS CONNECTION
- DRIVEWAY LEACH BASIN
- PROPOSED STACKED STONE LANDSCAPE RETAINING WALLS. OPTION FOR RAILROAD TIE RETAINING, TYP
- LIMIT OF DISTURBANCE, TYP
- GRAVEL LEACH CONNECTED TO CISTERN
- CONC-1 STAIRS AND FLATWORK

**DRIVEWAY FIRE APPROVAL NOTES:**

DESIGN APPROVED PER REVIEW #1 02/10/2022:

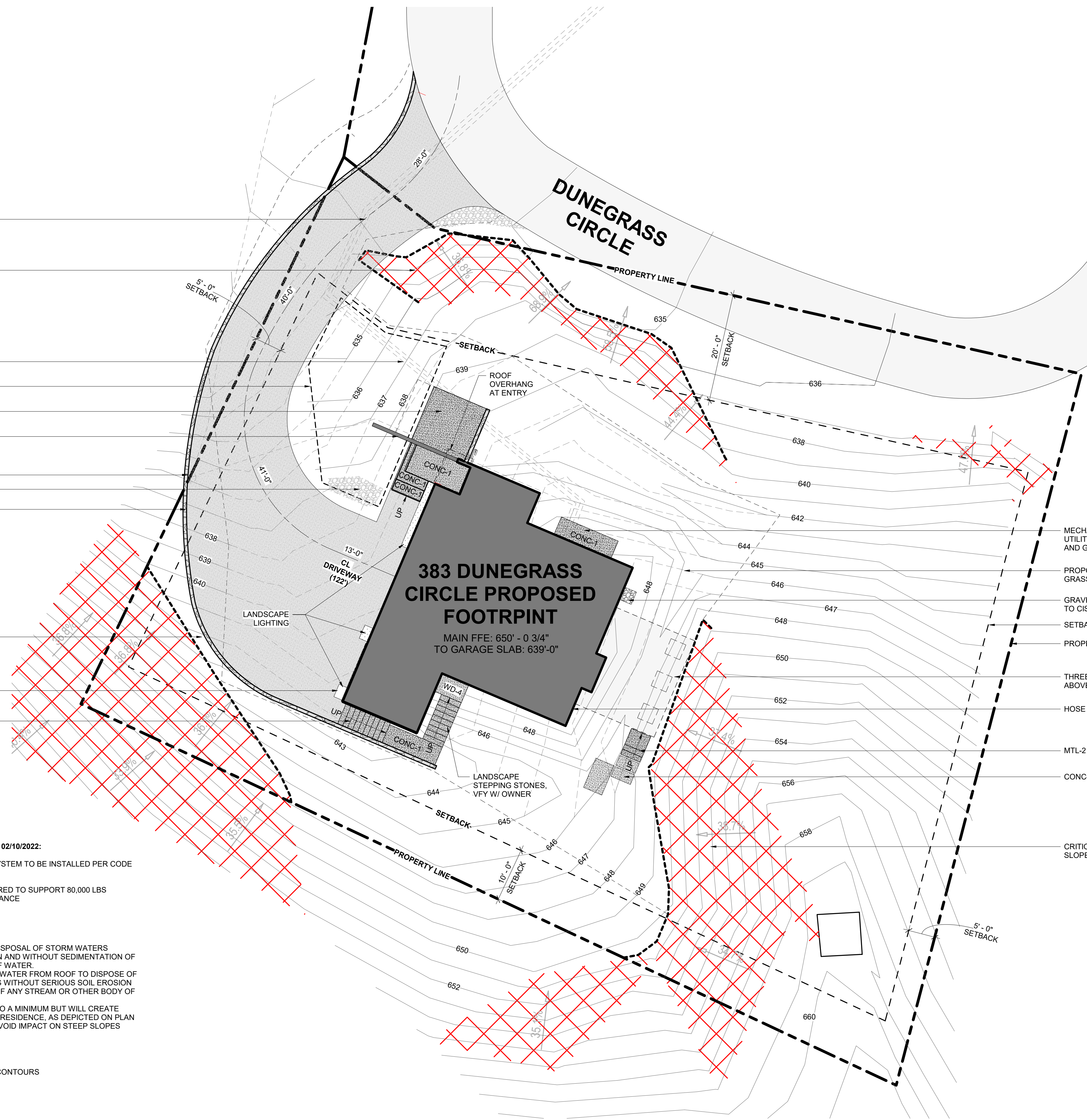
- A: FIRE SUPPRESSION SPRINKLER SYSTEM TO BE INSTALLED PER CODE
- B: 16'-0" MIN. WIDTH
- C: MAX SLOPE = 10%
- D: PROPOSED DRIVEWAY ENGINEERED TO SUPPORT 80,000 LBS
- E: MAINTAIN 13'-6" VERTICAL CLEARANCE
- F: CURB CUT PER CODE

**GENERAL NOTES**

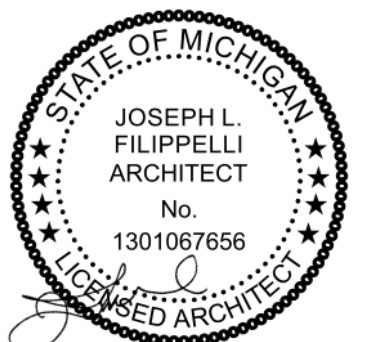
- A. THE SITE PLAN PROVIDES THE DISPOSAL OF STORM WATERS WITHOUT SERIOUS SOIL EROSION AND WITHOUT SEDIMENTATION OF ANY STREAM OR OTHER BODY OF WATER.
- B. DOWNSPOUTS TO COLLECT ALL WATER FROM ROOF TO DISPOSE OF STORM WATERS TO LEACH BAINS WITHOUT SERIOUS SOIL EROSION AND WITHOUT SEDIMENTATION OF ANY STREAM OR OTHER BODY OF WATER.
- C. FINISH GRADING WILL BE KEPT TO A MINIMUM BUT WILL CREATE POSTIVE DRAINAGE AWAY FROM RESIDENCE, AS DEPICTED ON PLAN
- D. ALL UTILITY CONNECTIONS TO AVOID IMPACT ON STEEP SLOPES

**CONTOUR GRAPHIC LEGEND**

- - - - - EXISTING RE-GRADED CONTOURS
- PROPOSED CONTOURS



- MECHANICAL PAD, UTILITY HOOKUP, AND GENERATOR
- PROPOSED NATIVE GRASSES (GRAY HATCH)
- GRAVEL LEACH CONNECTED TO CISTERN
- SETBACK LINE
- PROPERTY LINE
- THREE SEASON ABOVE
- HOSE BIB
- MTL-2 STAIR
- CONC-1 FLATWORK
- CRITICAL DUNE SLOPE, TYP.



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 drawn by JLF  
 MB  
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 date 05.20.2022

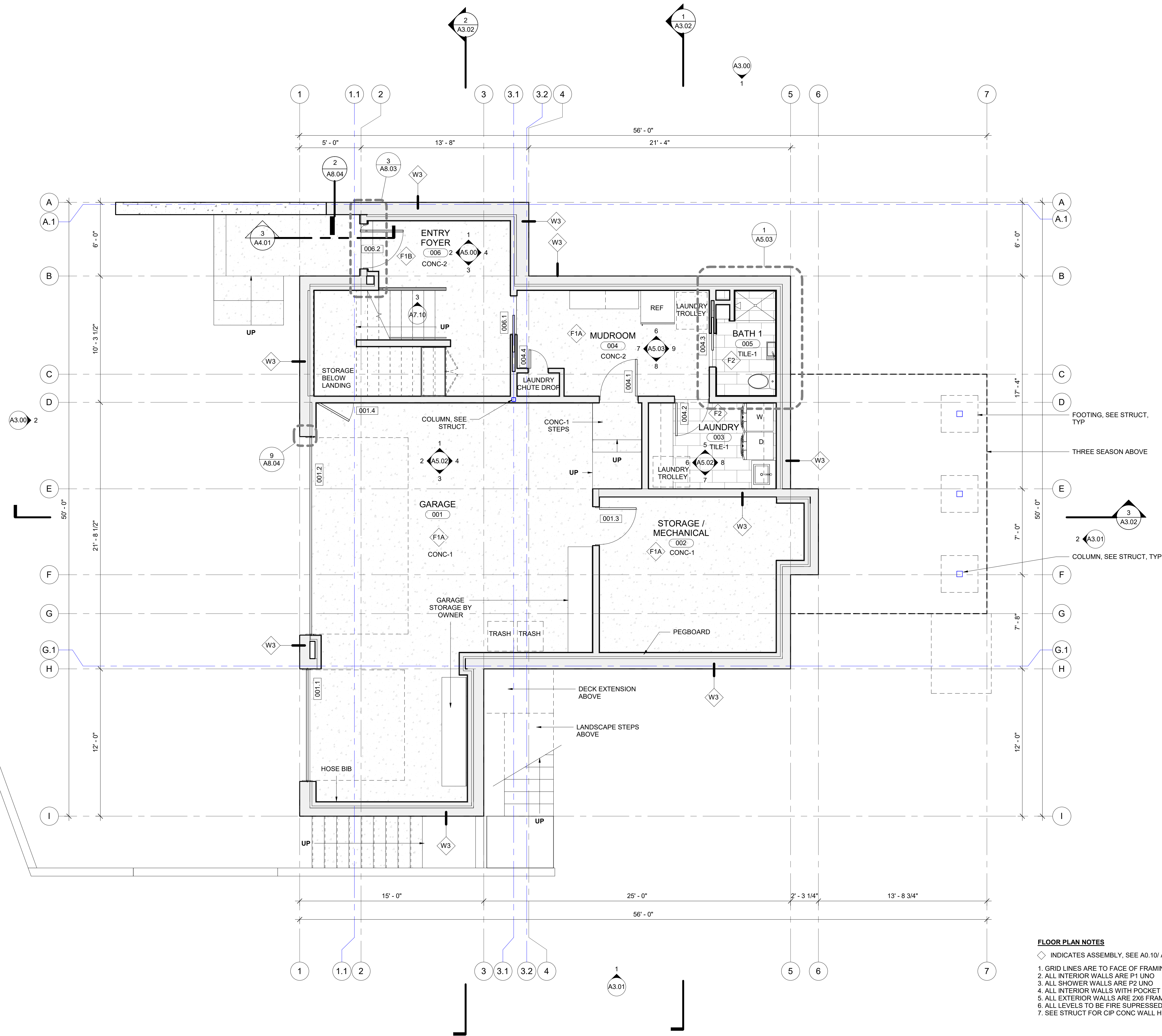
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SITE PLAN  
**A1.00**





- FLOOR PLAN NOTES**
- ◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11
  - 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
  - 2. ALL INTERIOR WALLS ARE P1 UNO
  - 3. ALL SHOWER WALLS ARE P2 UNO
  - 4. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 UNO
  - 5. ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO
  - 6. ALL LEVELS TO BE FIRE SUPPRESSED
  - 7. SEE STRUCT FOR CIP CONC WALL HEIGHTS

**LOWER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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 MB  
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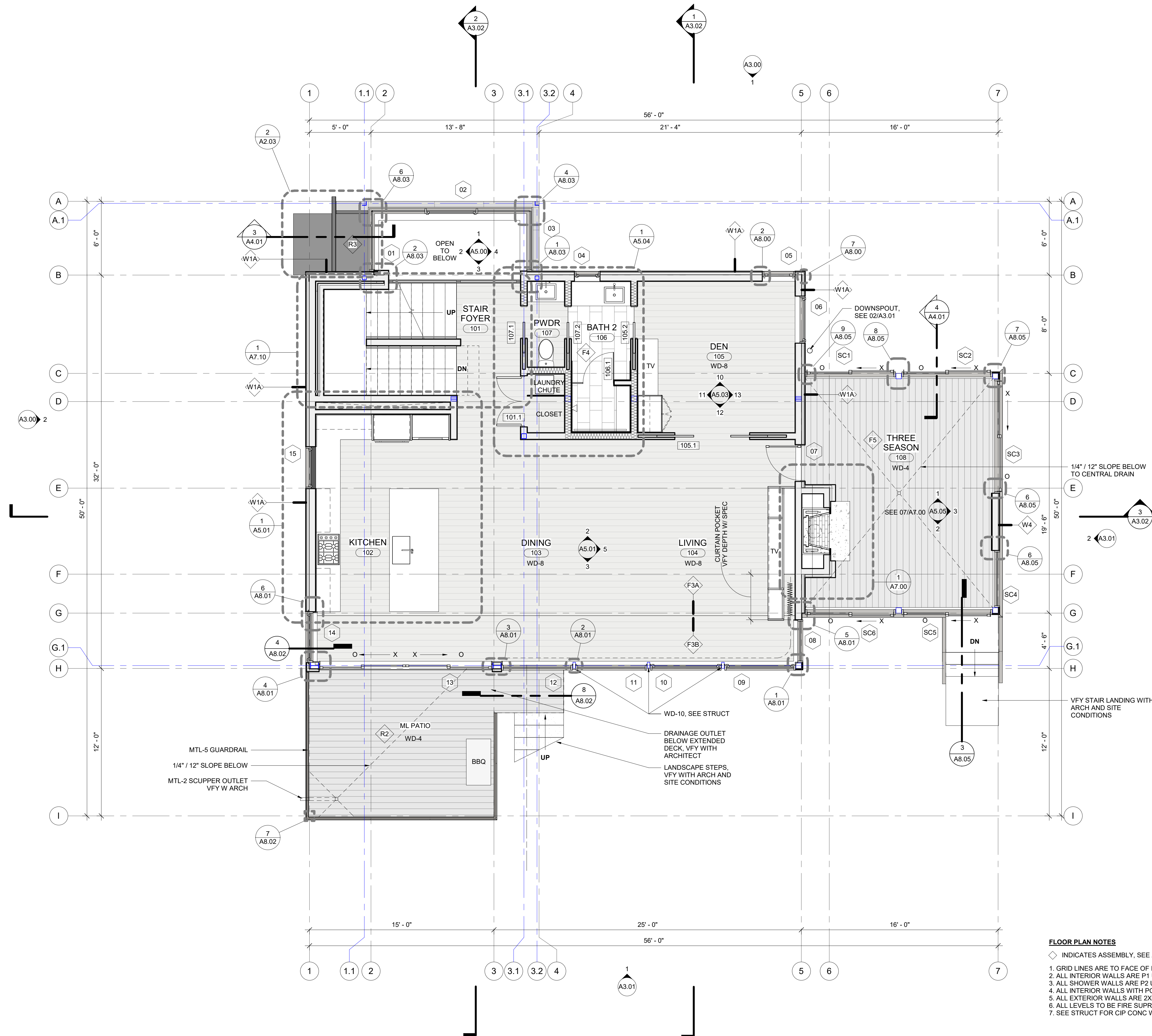
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**LOWER LEVEL FLOOR PLAN**

**A2.00**



- FLOOR PLAN NOTES**
- ◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11
  - 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
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  - 6. ALL LEVELS TO BE FIRE SUPPRESSED
  - 7. SEE STRUCT FOR CIP CONC WALL HEIGHTS

**MAIN LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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MB  
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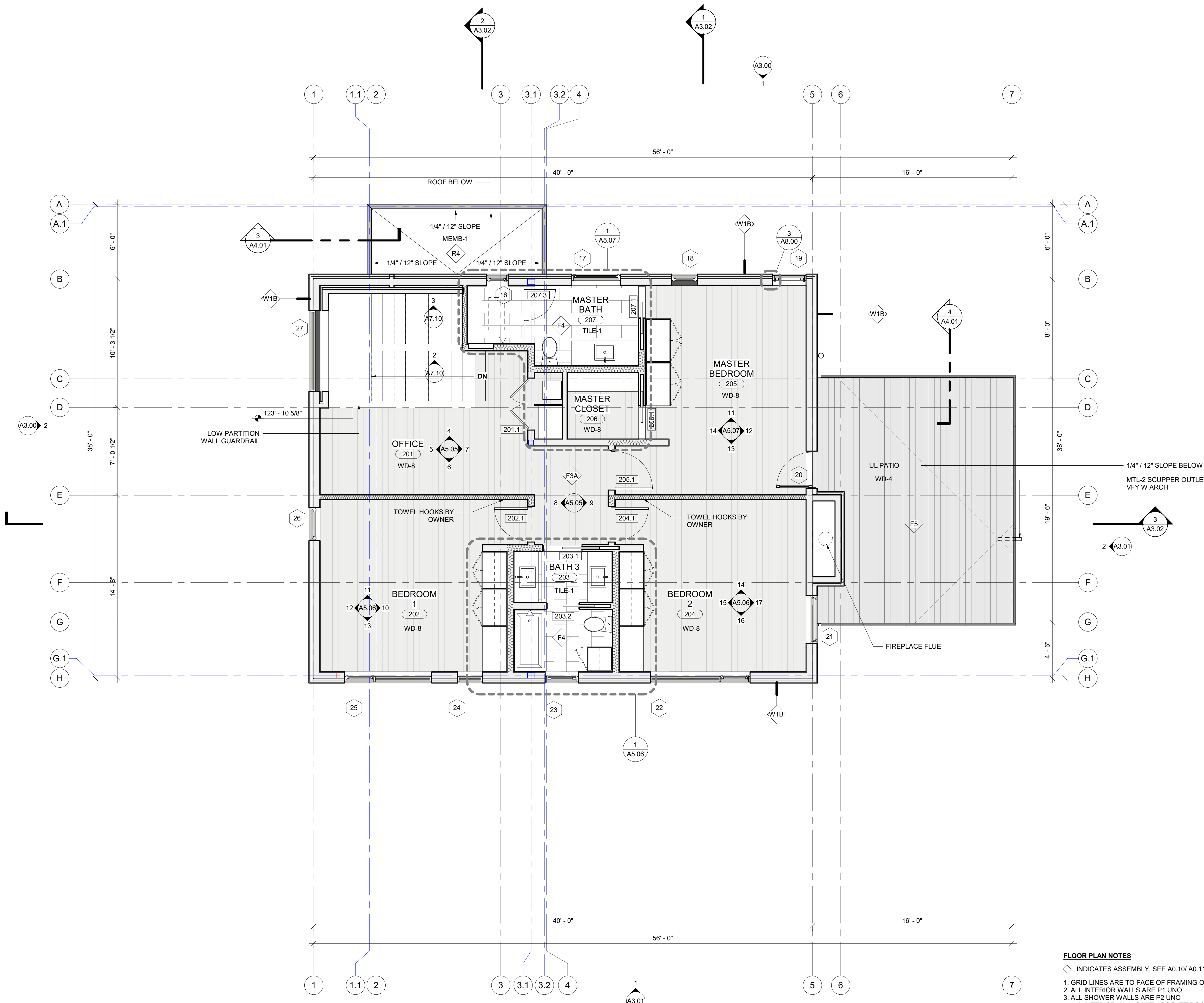

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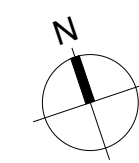
**MAIN LEVEL FLOOR PLAN**

**A2.01**





- FLOOR PLAN NOTES**
- ◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11
  - 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
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  - 5. ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO
  - 6. ALL LEVELS TO BE FIRE SUPPRESSED
  - 7. SEE STRUCT FOR CIP CONC WALL HEIGHTS



**UPPER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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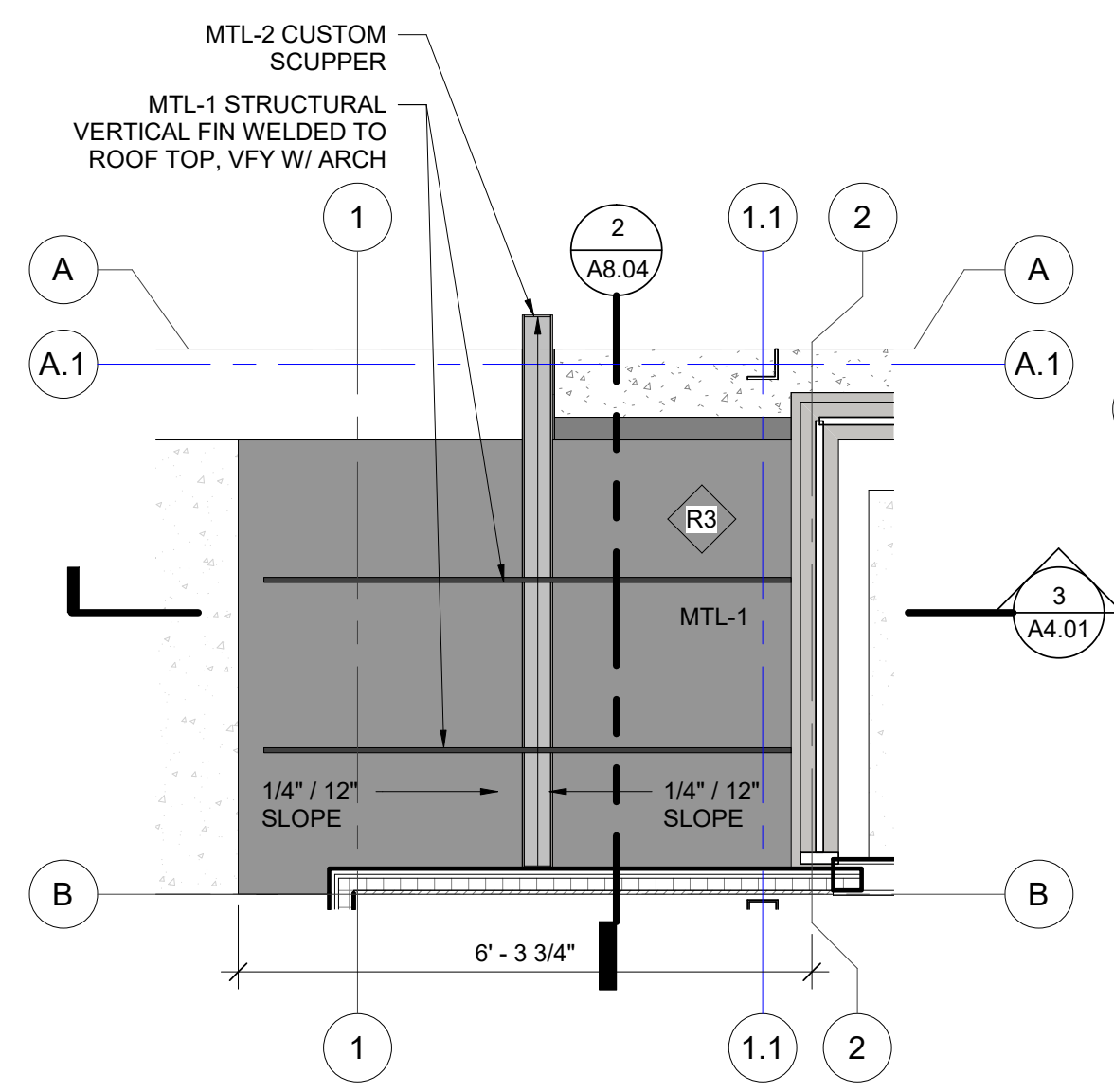
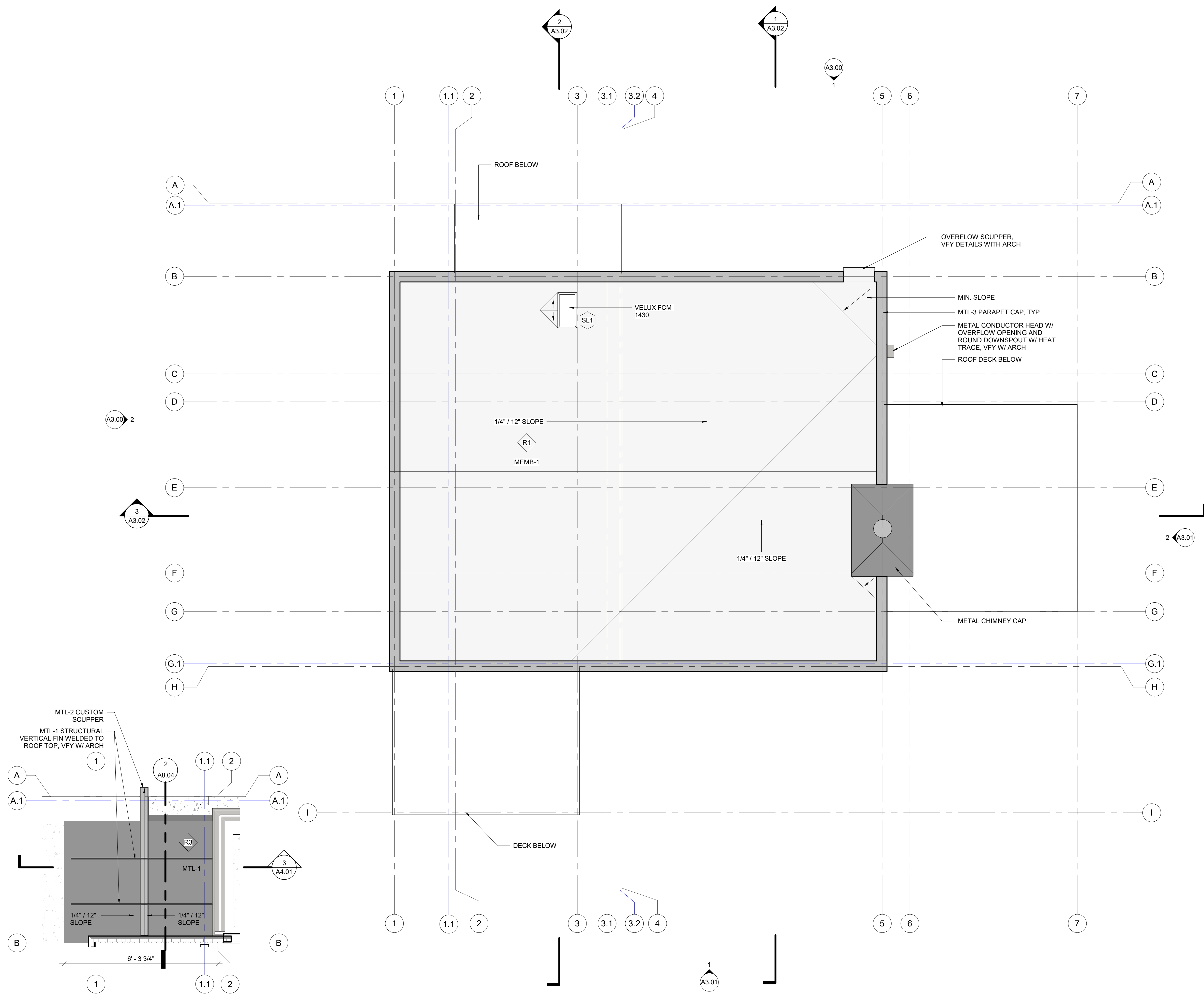
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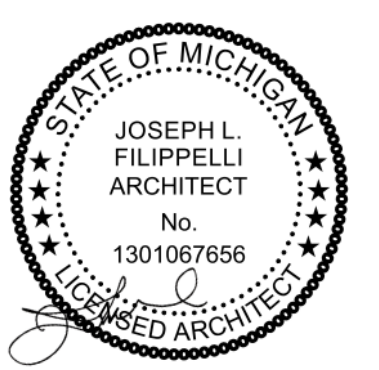
**UPPER LEVEL FLOOR PLAN**

**A2.02**



**2** ENLARGED ROOF PLAN AT ENTRY CANOPY  
SCALE: 1/2" = 1'-0"

**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"



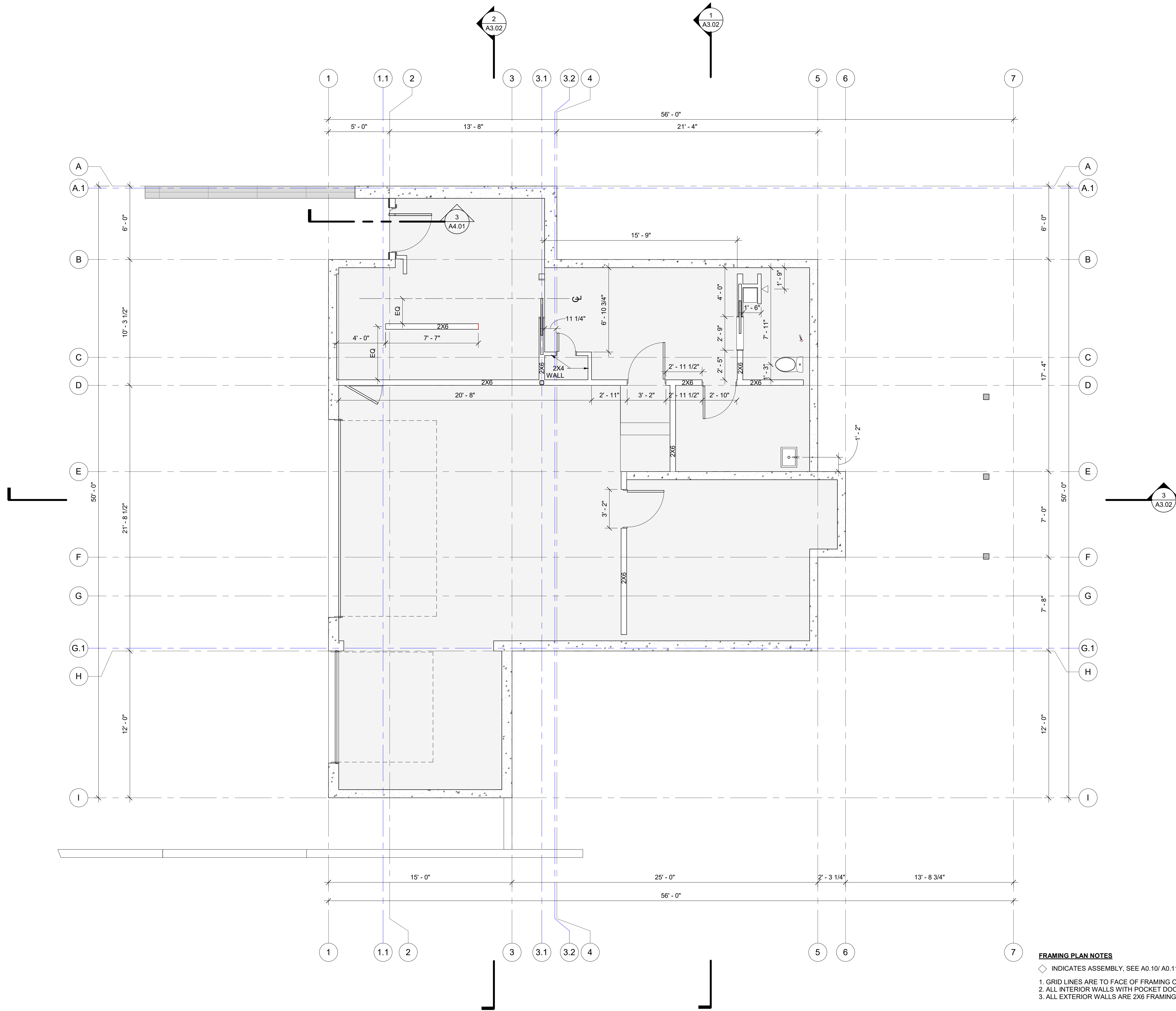
principal architect JLF  
drawn by JLF  
MB  
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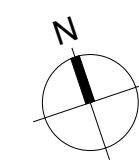

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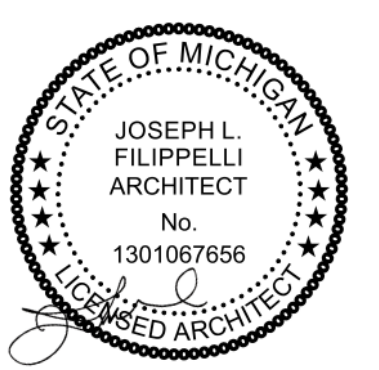
ROOF PLAN  
**A2.03**



**FRAMING PLAN NOTES**  
 ◆ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL  
 2. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 UNO  
 3. ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO



**LOWER LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



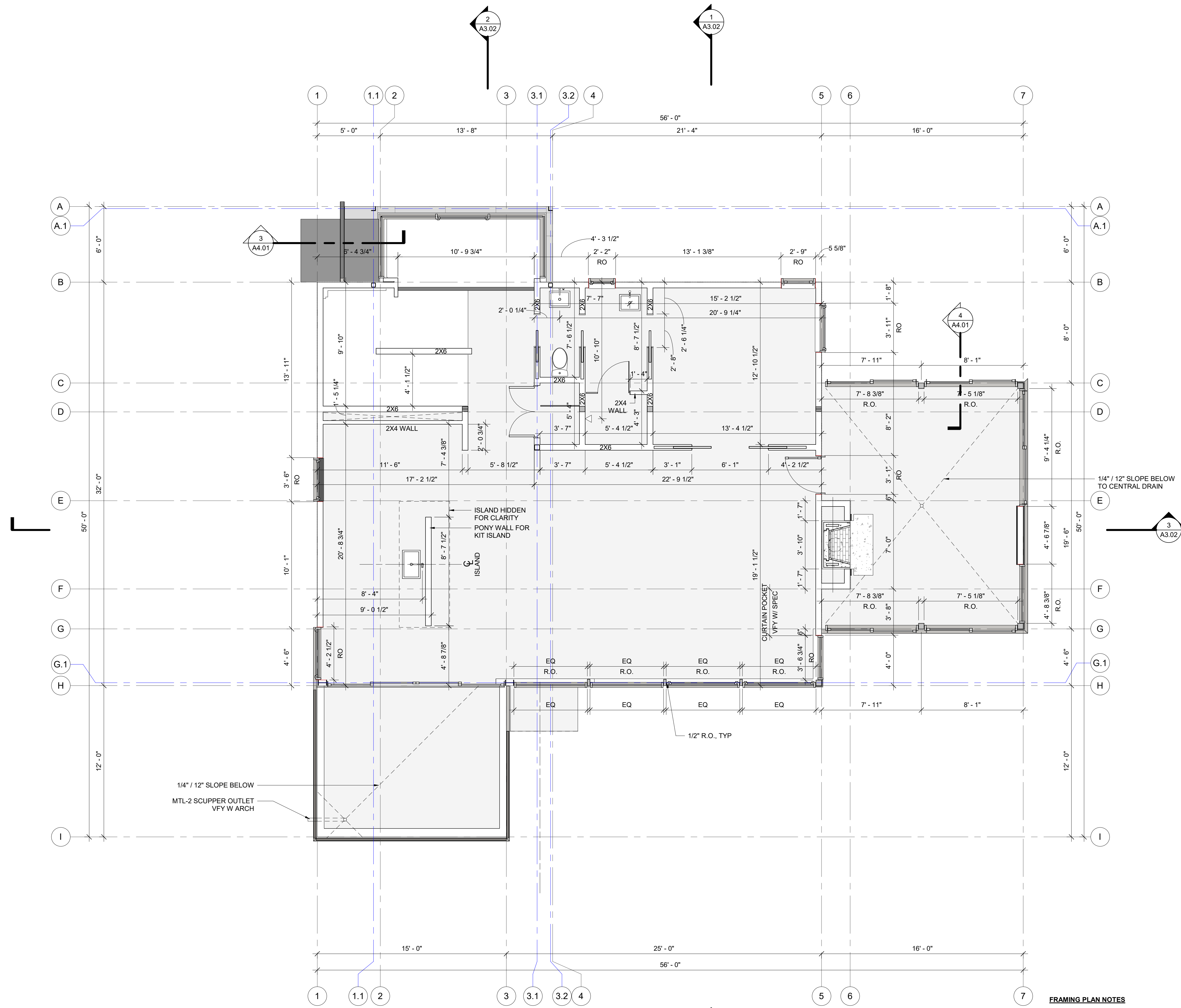
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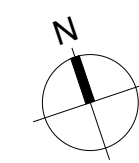
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**LOWER LEVEL FRAMING PLAN**  
**A2.04**

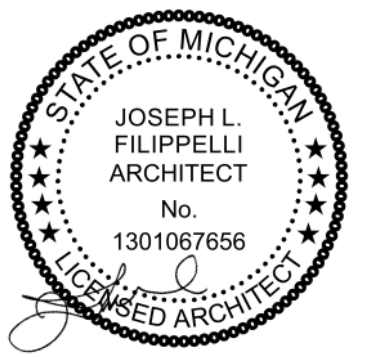




- FRAMING PLAN NOTES**
- ◇ INDICATES ASSEMBLY. SEE A0.10/ A0.11
  - 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
  - 2. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 UNO
  - 3. ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO



**MAIN LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



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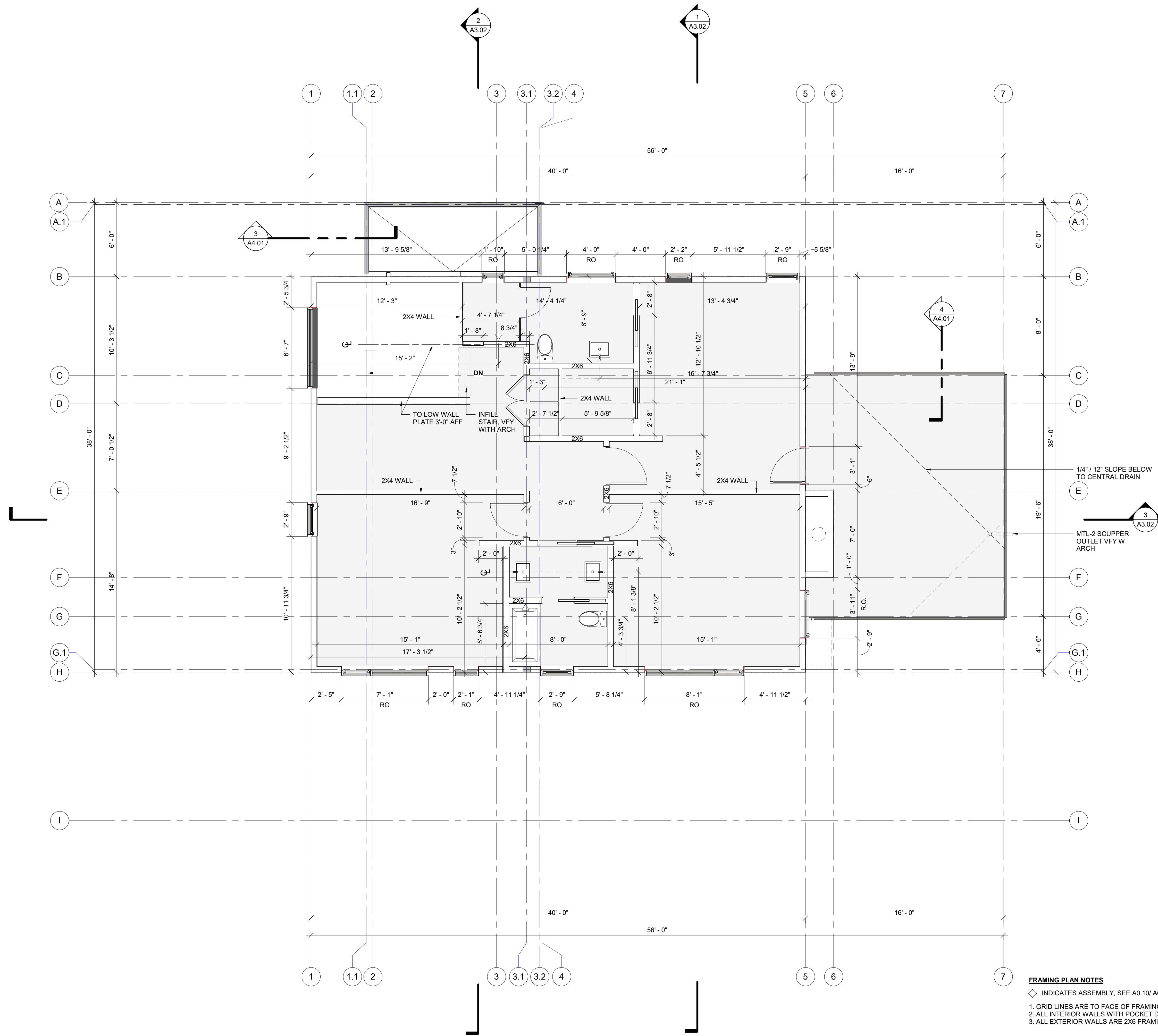
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**MAIN LEVEL FRAMING PLAN**

**A2.05**



- FRAMING PLAN NOTES**
- ◇ INDICATES ASSEMBLY. SEE A0.10/ A0.11
  - 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
  - 2. ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 UNO
  - 3. ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO

**UPPER LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



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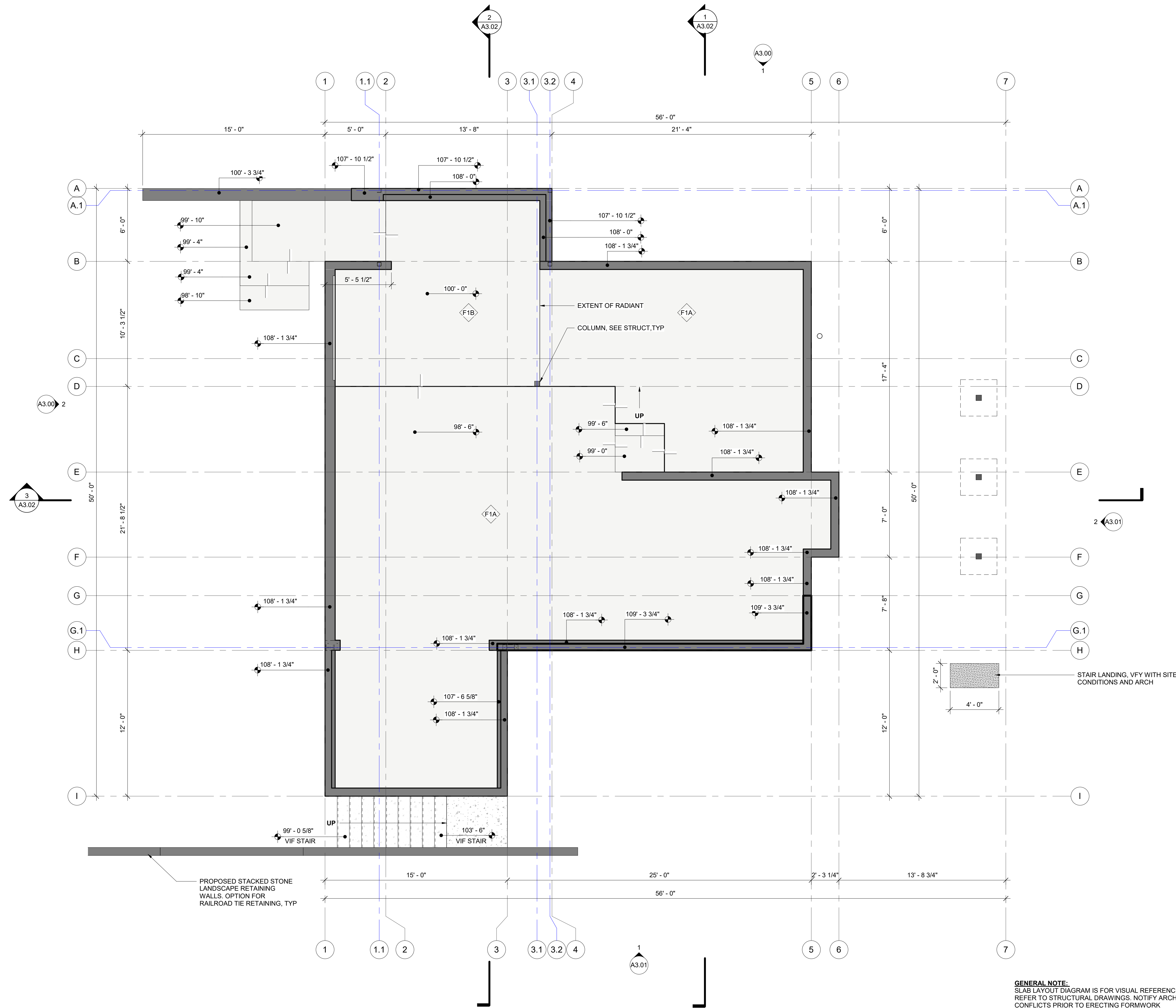
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**UPPER LEVEL FRAMING PLAN**

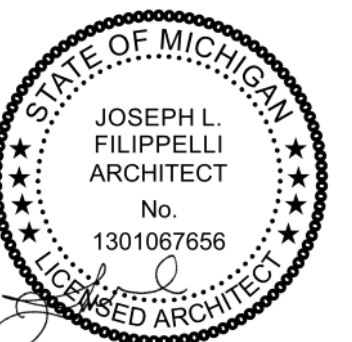
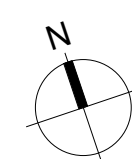
**A2.06**



**GENERAL NOTE:**  
 SLAB LAYOUT DIAGRAM IS FOR VISUAL REFERENCE ONLY.  
 REFER TO STRUCTURAL DRAWINGS. NOTIFY ARCHITECT OF ANY  
 CONFLICTS PRIOR TO ERECTING FORMWORK

**SLAB LAYOUT PLAN**

SCALE: 1/4" = 1'-0"



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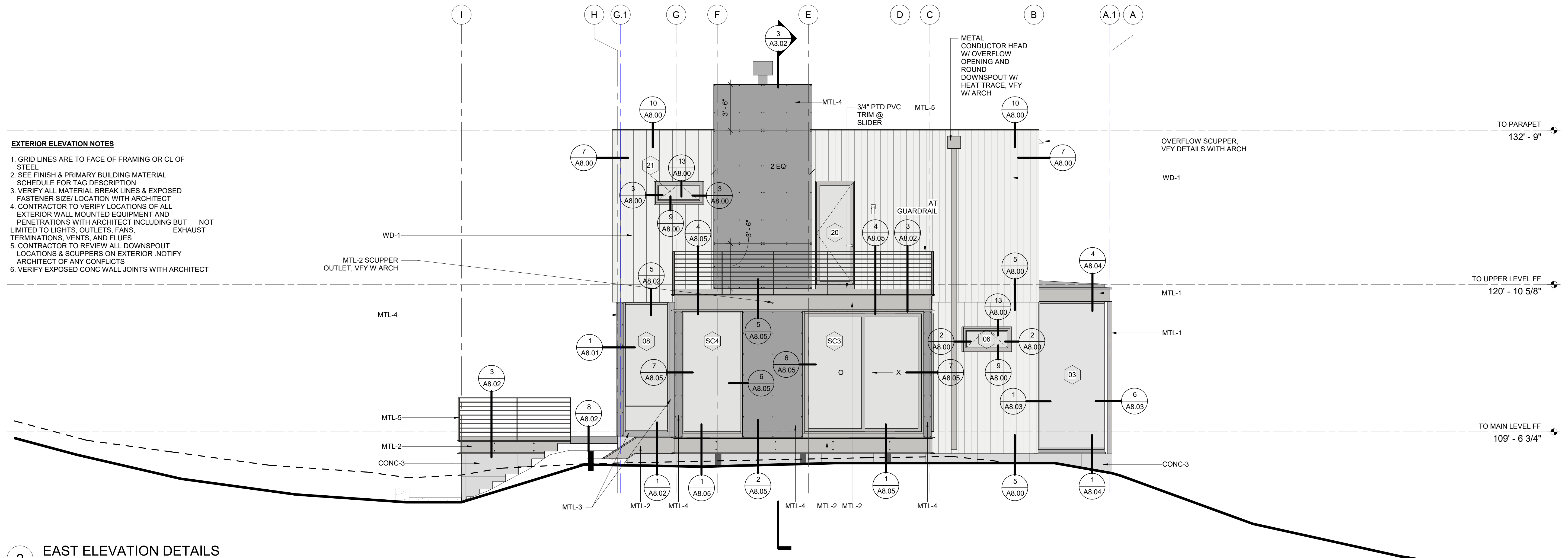
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**SLAB LAYOUT DIAGRAM**

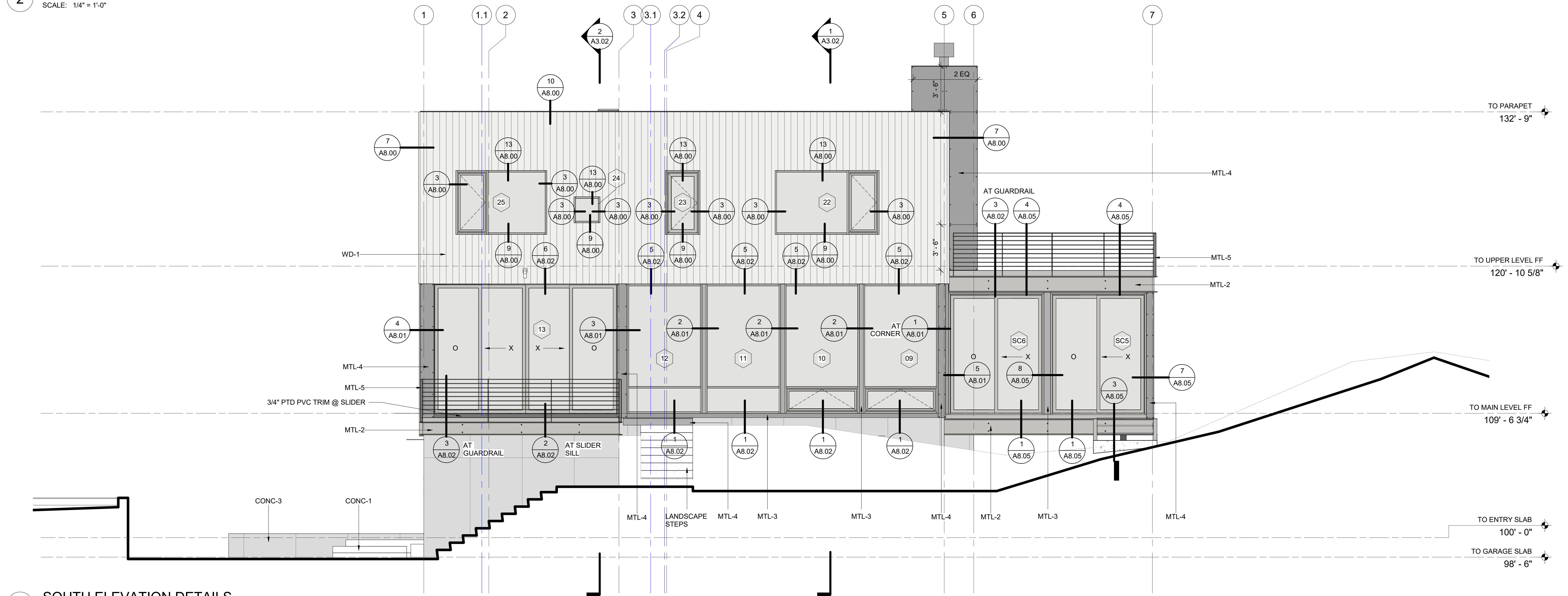
**A2.07**



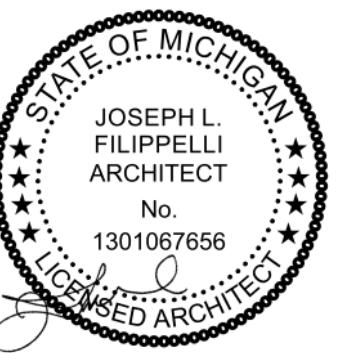




**2 EAST ELEVATION DETAILS**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION DETAILS**  
SCALE: 1/4" = 1'-0"



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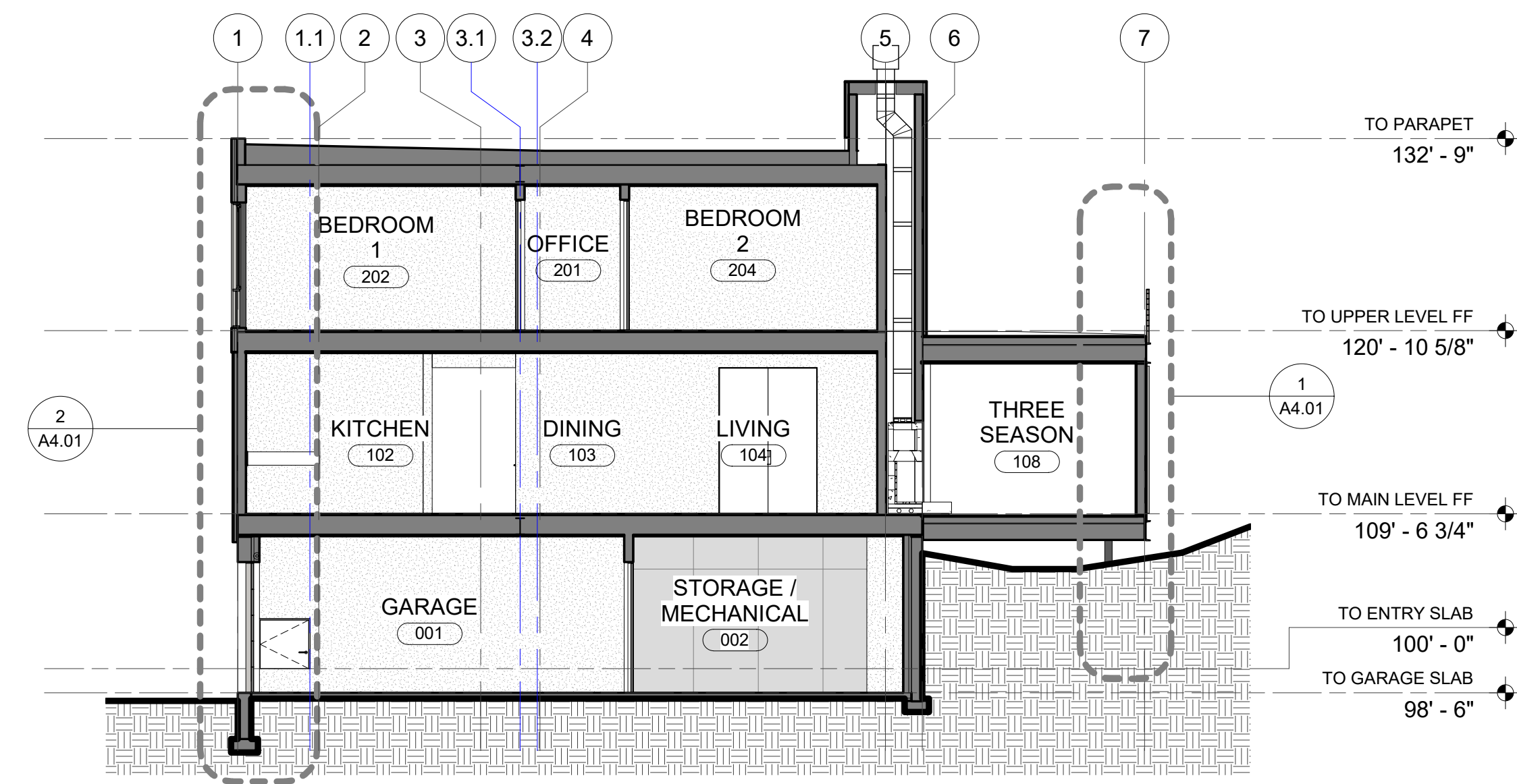
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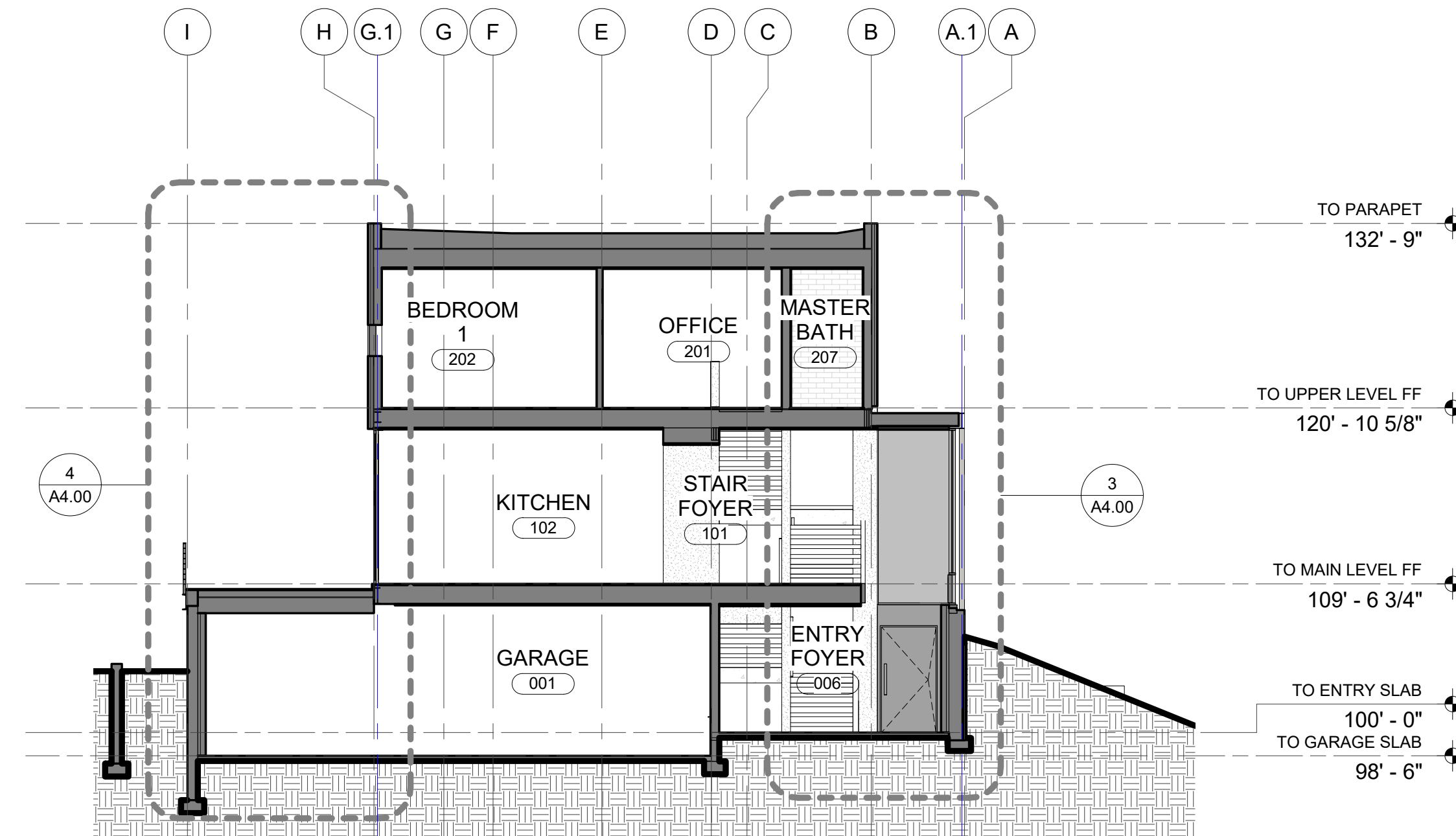
EXTERIOR ELEVATIONS

**A3.01**

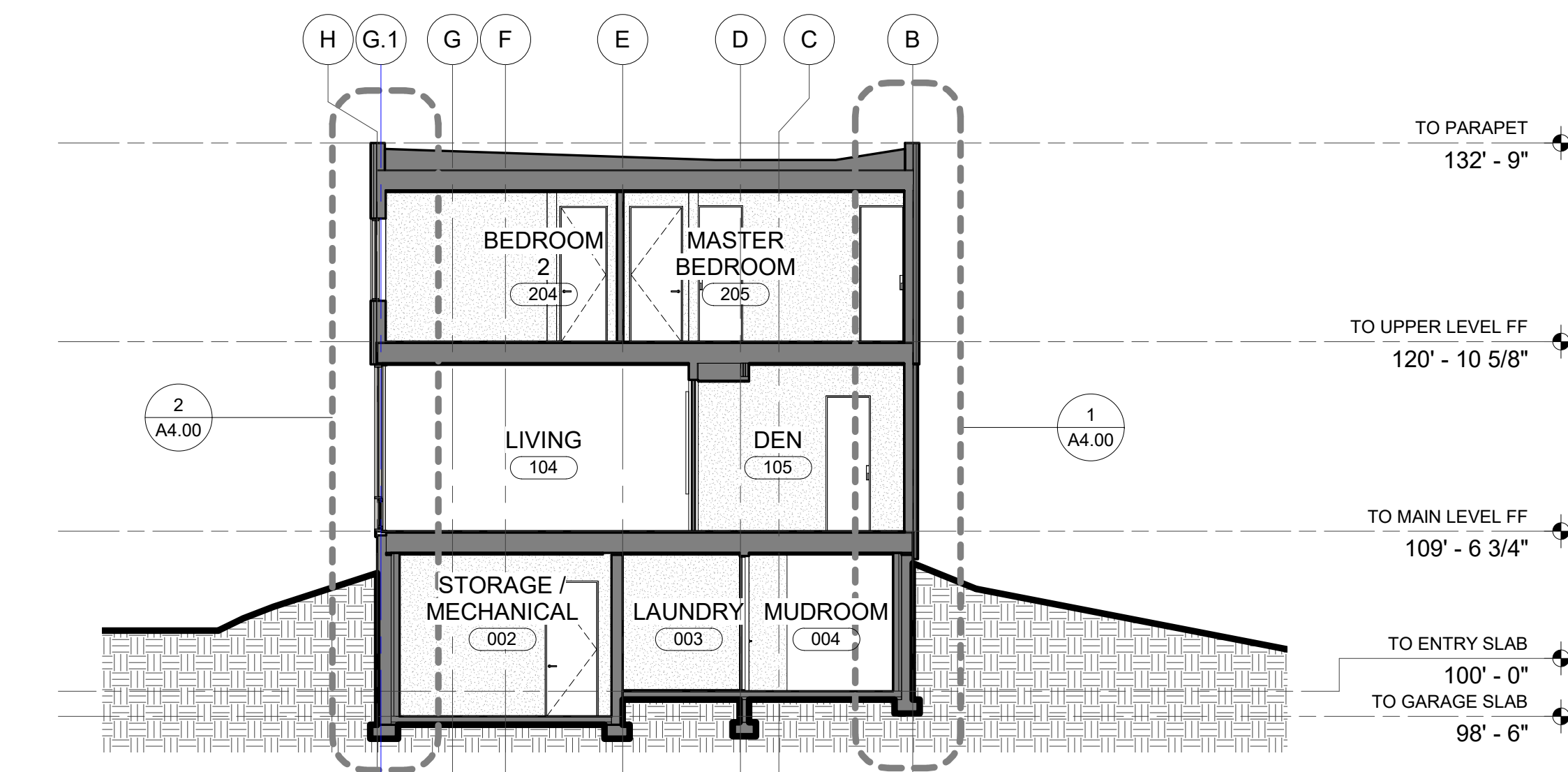




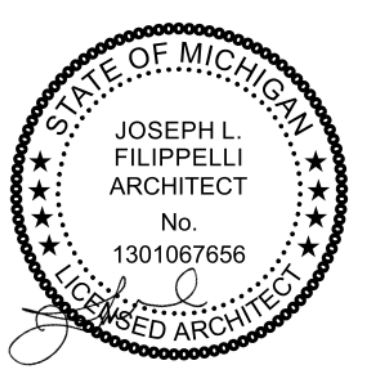
**3 SECTION AT GREAT ROOM E/W**  
 SCALE: 1/8" = 1'-0"



**2 SECTION AT KITCHEN N/S**  
 SCALE: 1/8" = 1'-0"



**1 SECTION AT LIVING N/S**  
 SCALE: 1/8" = 1'-0"

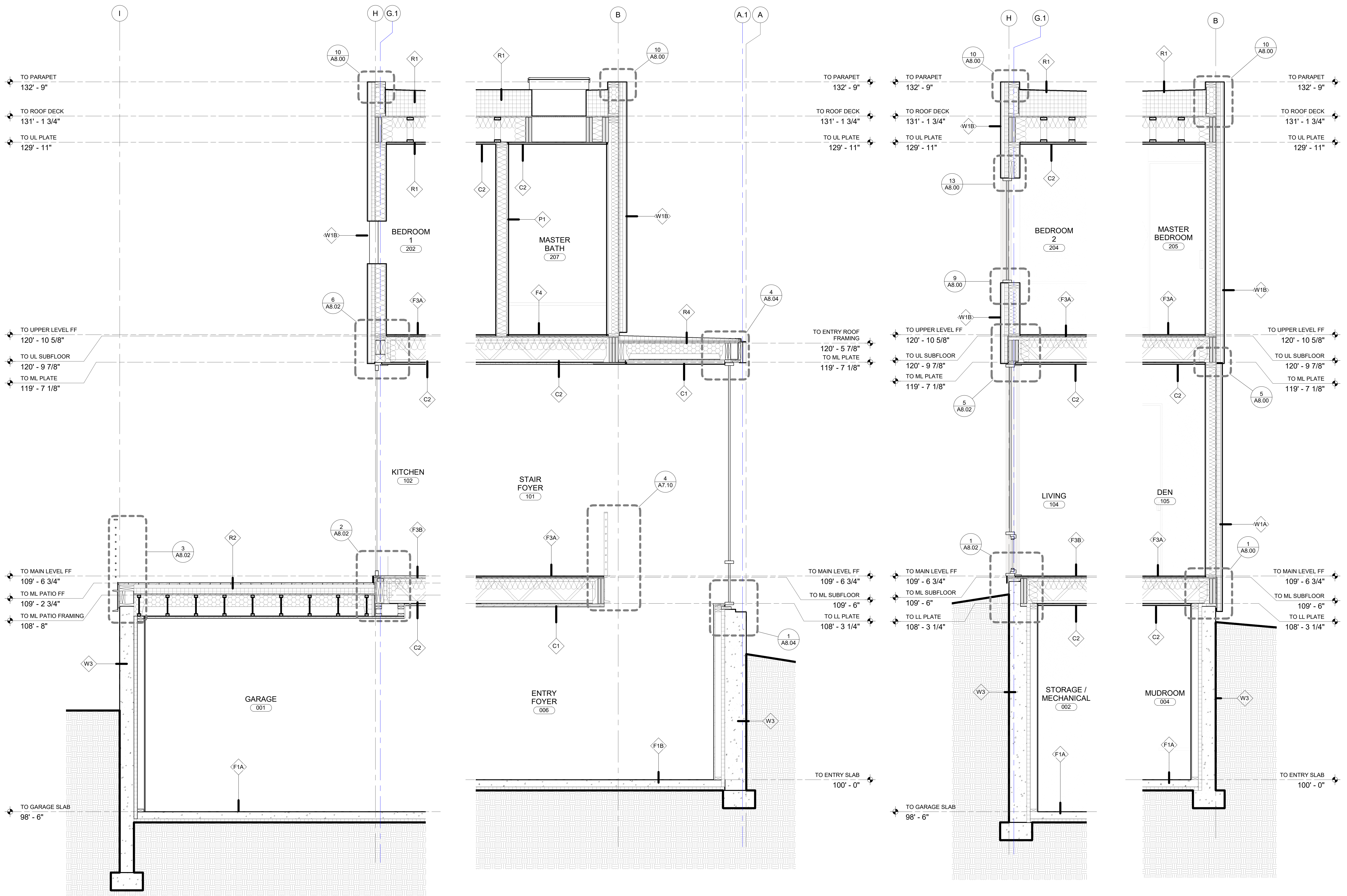


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BUILDING SECTIONS  
**A3.02**

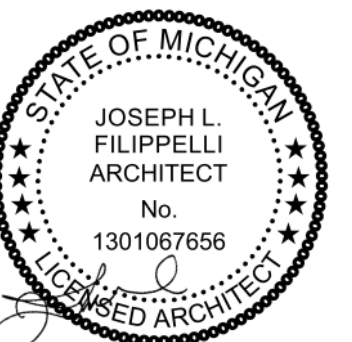


4 WALL SECTION AT KITCHEN N/S  
SCALE: 1/2" = 1'-0"

3 WALL SECTION AT ENTRY FOYER N/S  
SCALE: 1/2" = 1'-0"

2 WALL SECTION AT LIVING N/S  
SCALE: 1/2" = 1'-0"

1 WALL SECTION AT DEN N/S  
SCALE: 1/2" = 1'-0"



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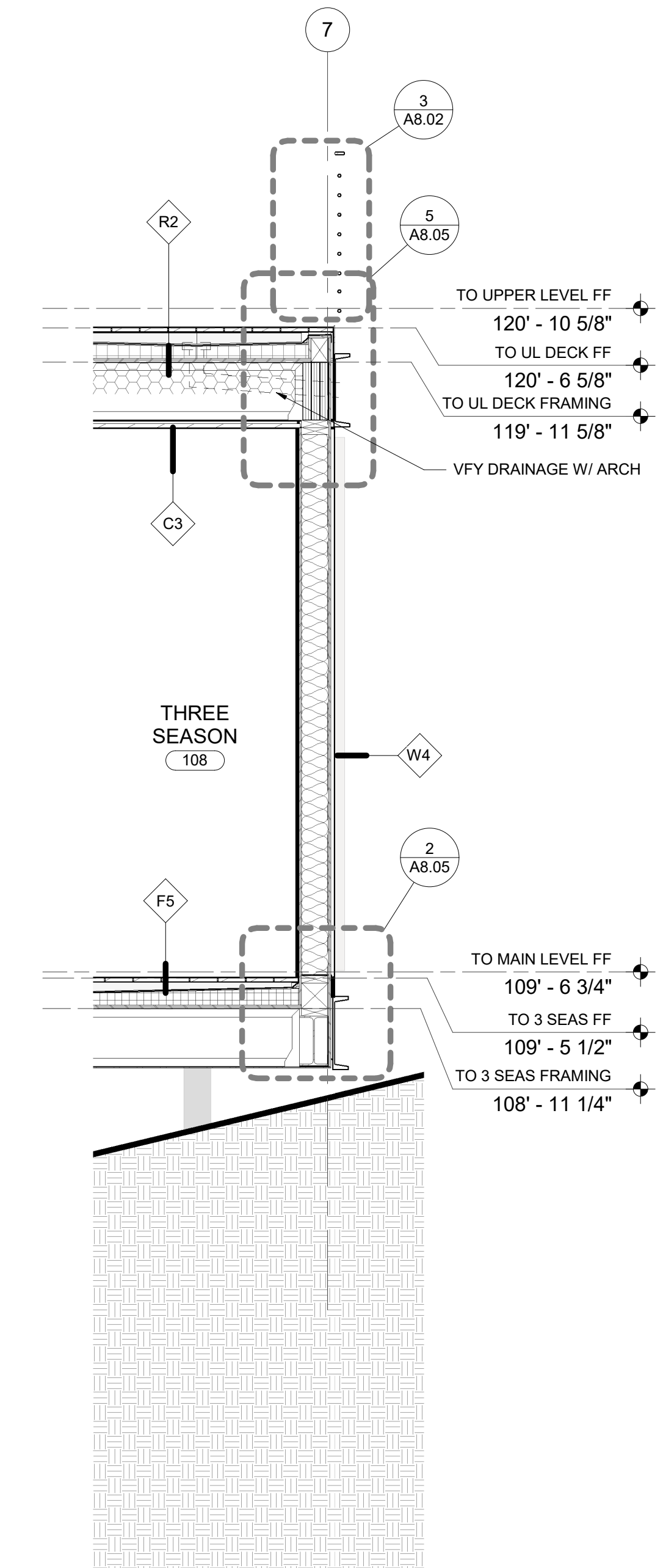
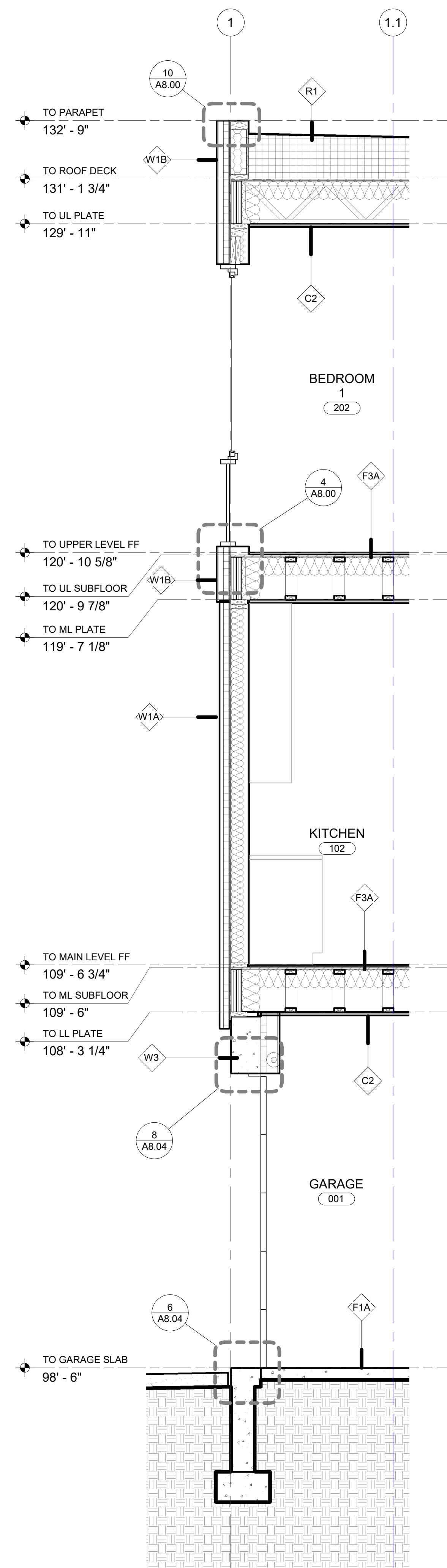
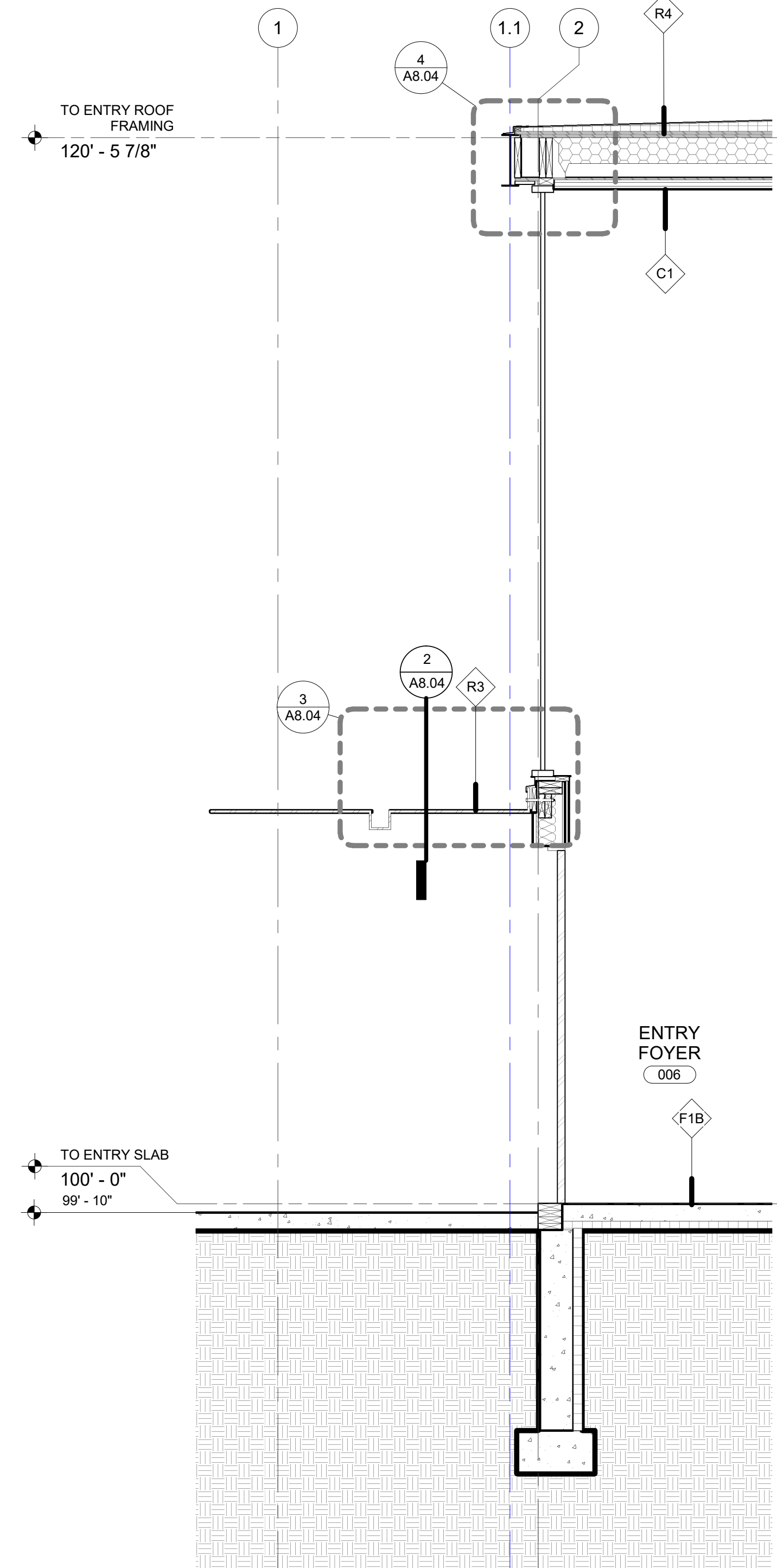
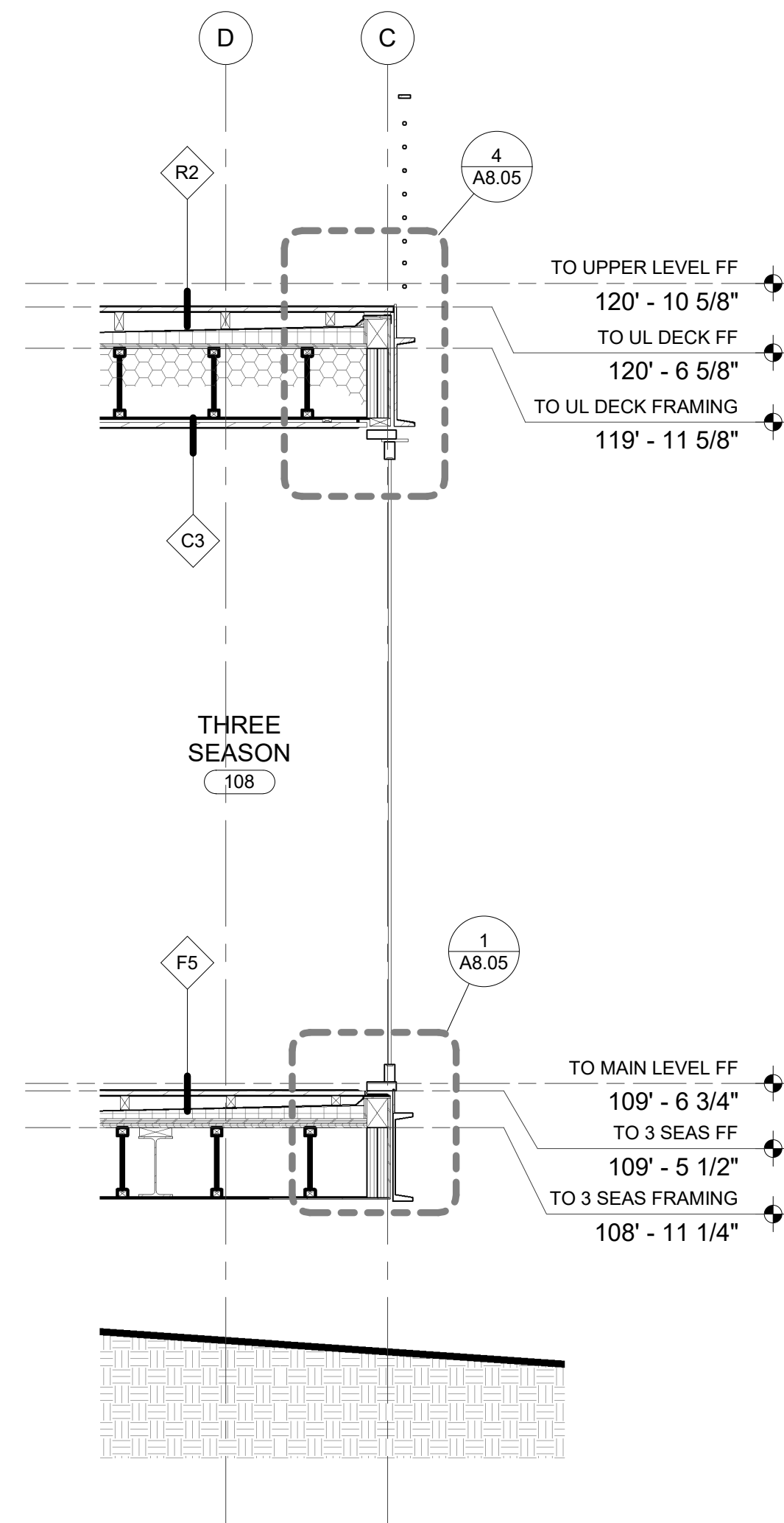
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WALL SECTIONS

**A4.00**



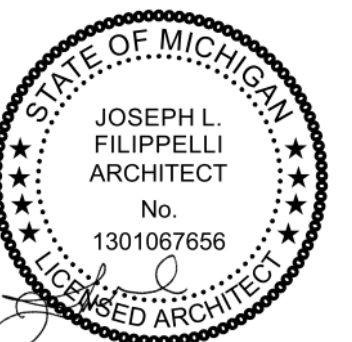


4 WALL SECTION AT THREE SEASON SLIDER  
SCALE: 1/2" = 1'-0"

3 WALL SECTION AT ENTRY  
SCALE: 1/2" = 1'-0"

2 WALL SECTION AT KITCHEN E/W  
SCALE: 1/2" = 1'-0"

1 WALL SECTION AT THREE SEASON E/W  
SCALE: 1/2" = 1'-0"



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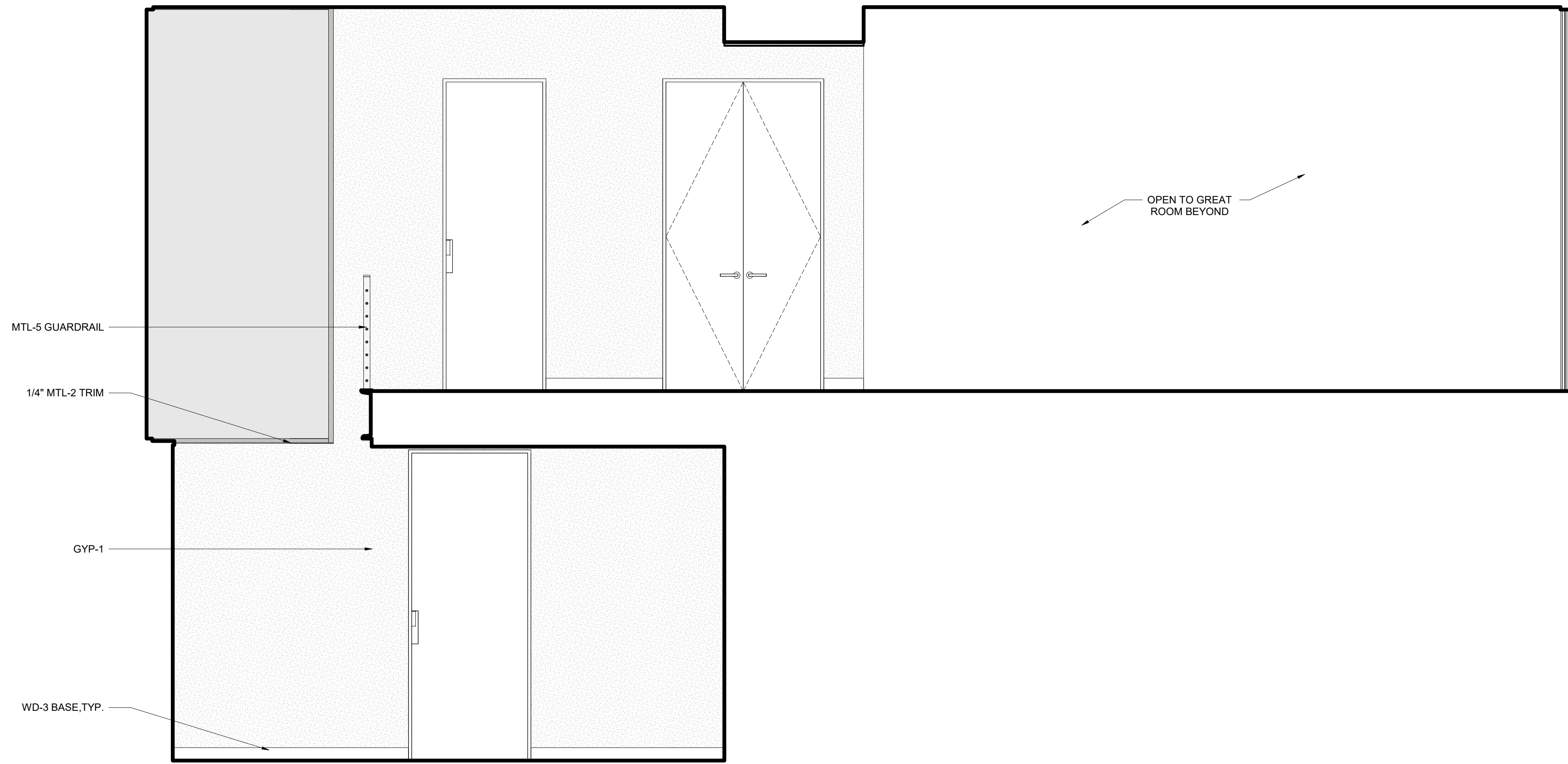
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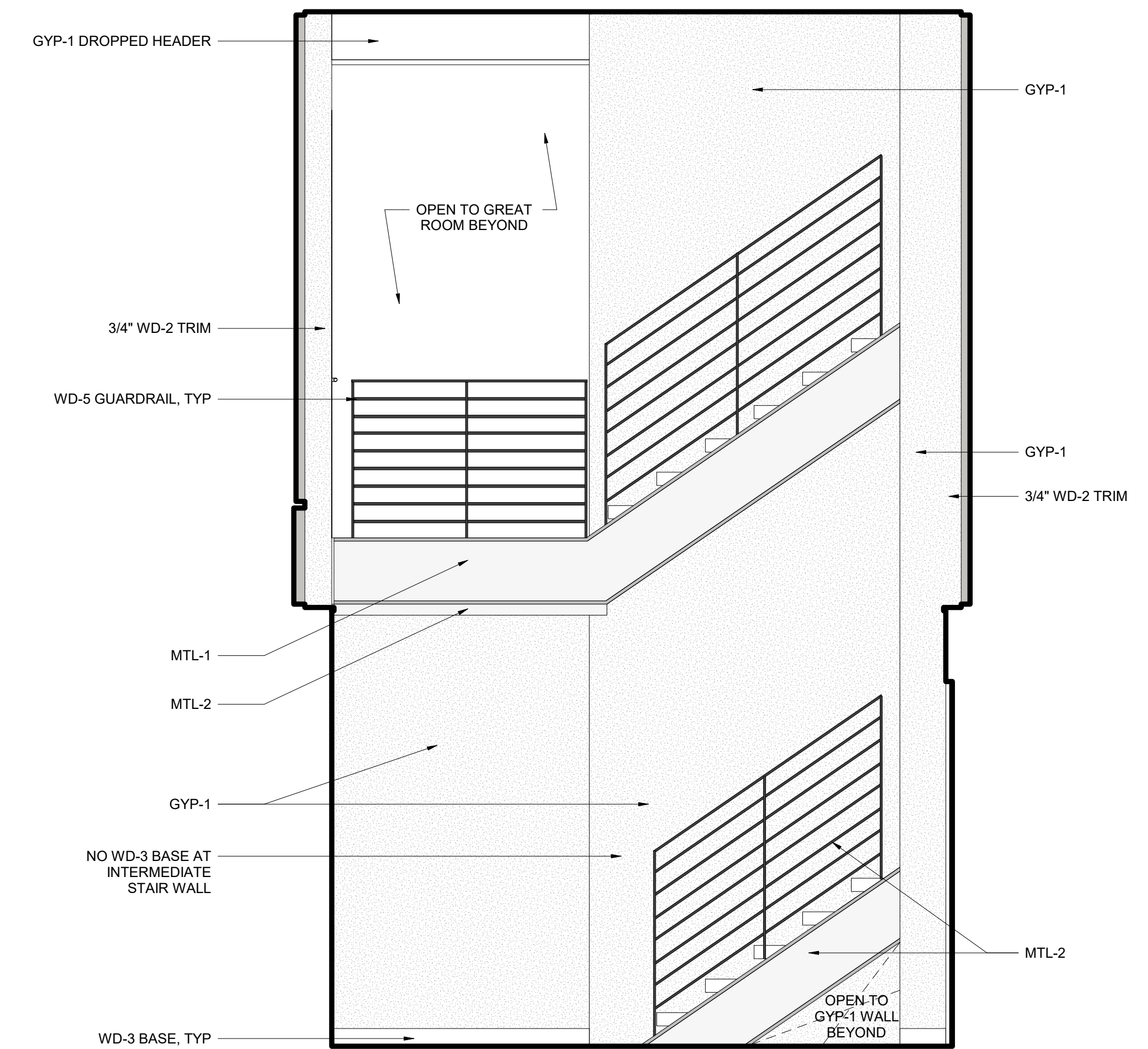
WALL SECTIONS

A4.01

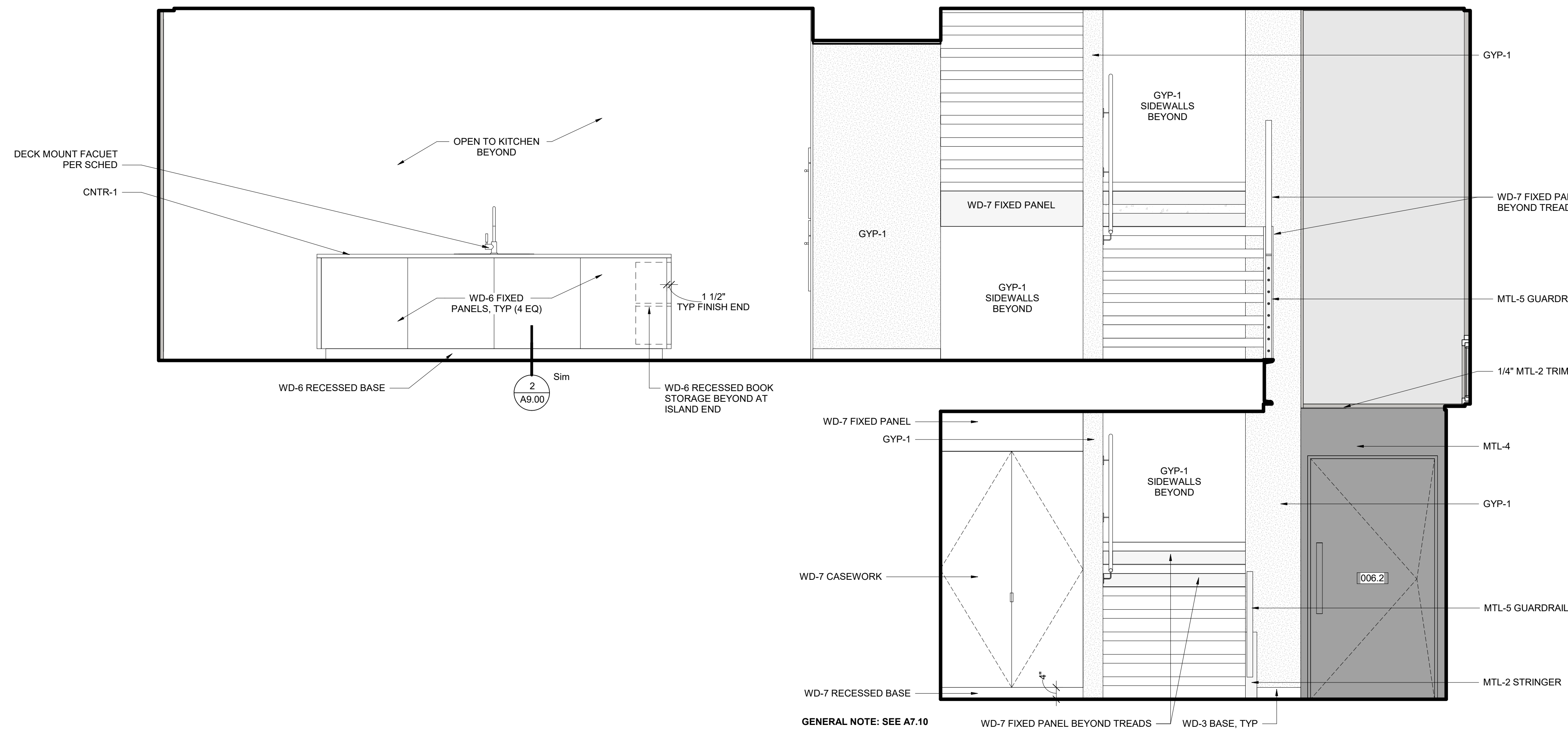




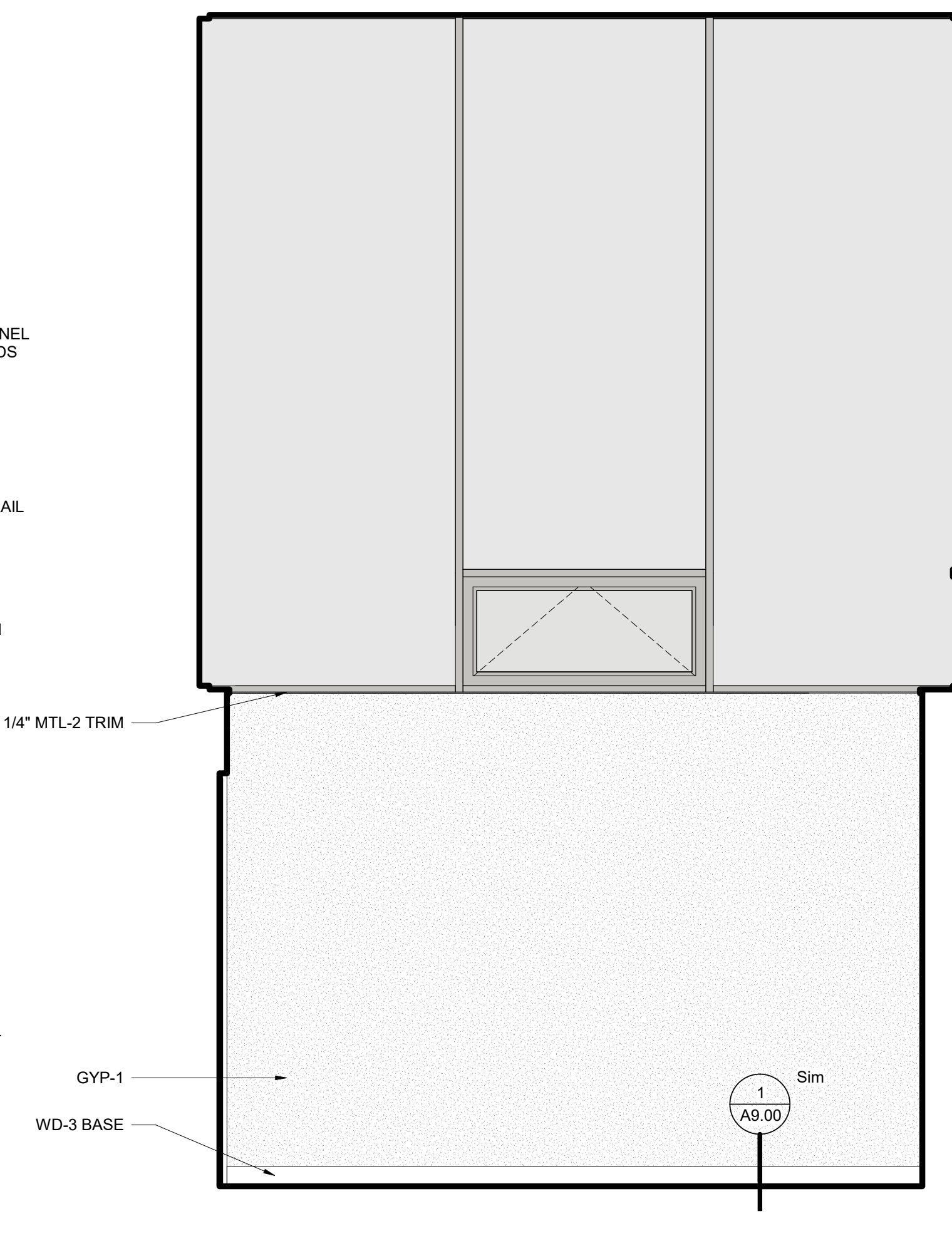
**4 ENTRY FOYER - EAST**  
 SCALE: 1/2" = 1'-0"



**3 ENTRY FOYER - SOUTH**  
 SCALE: 1/2" = 1'-0"

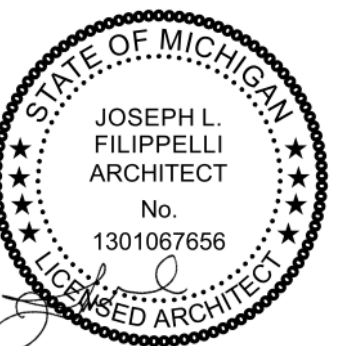


**2 ENTRY FOYER - WEST**  
 SCALE: 1/2" = 1'-0"



**1 ENTRY FOYER - NORTH**  
 SCALE: 1/2" = 1'-0"

GENERAL NOTE: SEE A7.10 FOR STAIR, HANDRAIL, AND GUARDRAIL DETAILS



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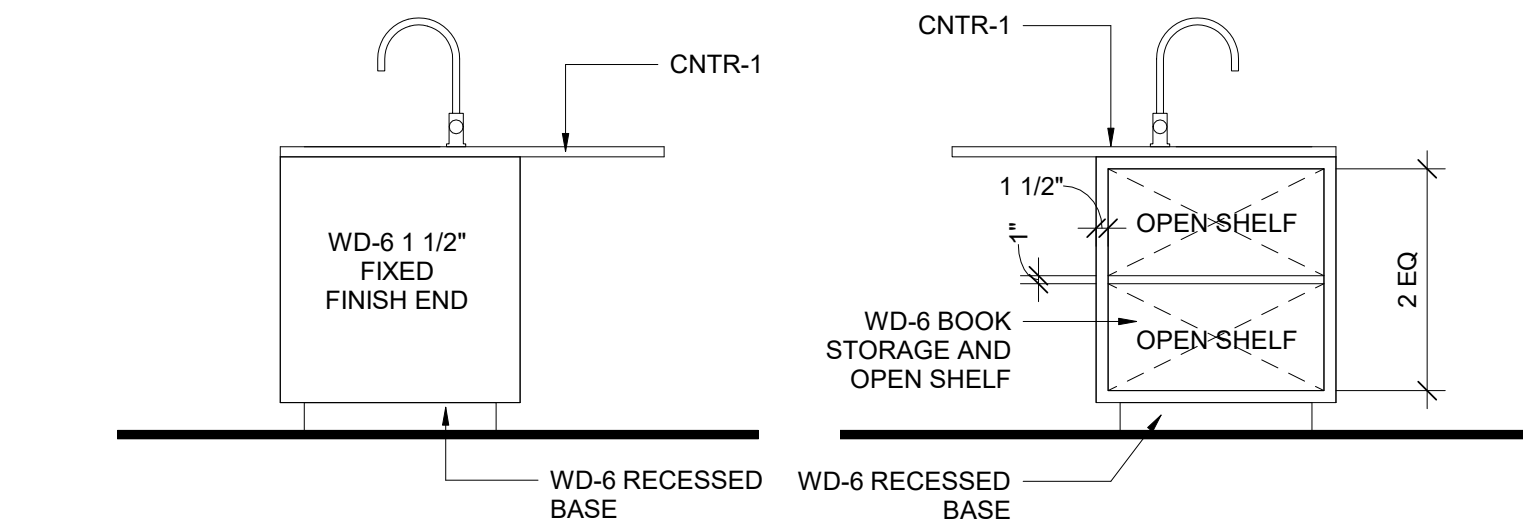
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INTERIOR ELEVATIONS

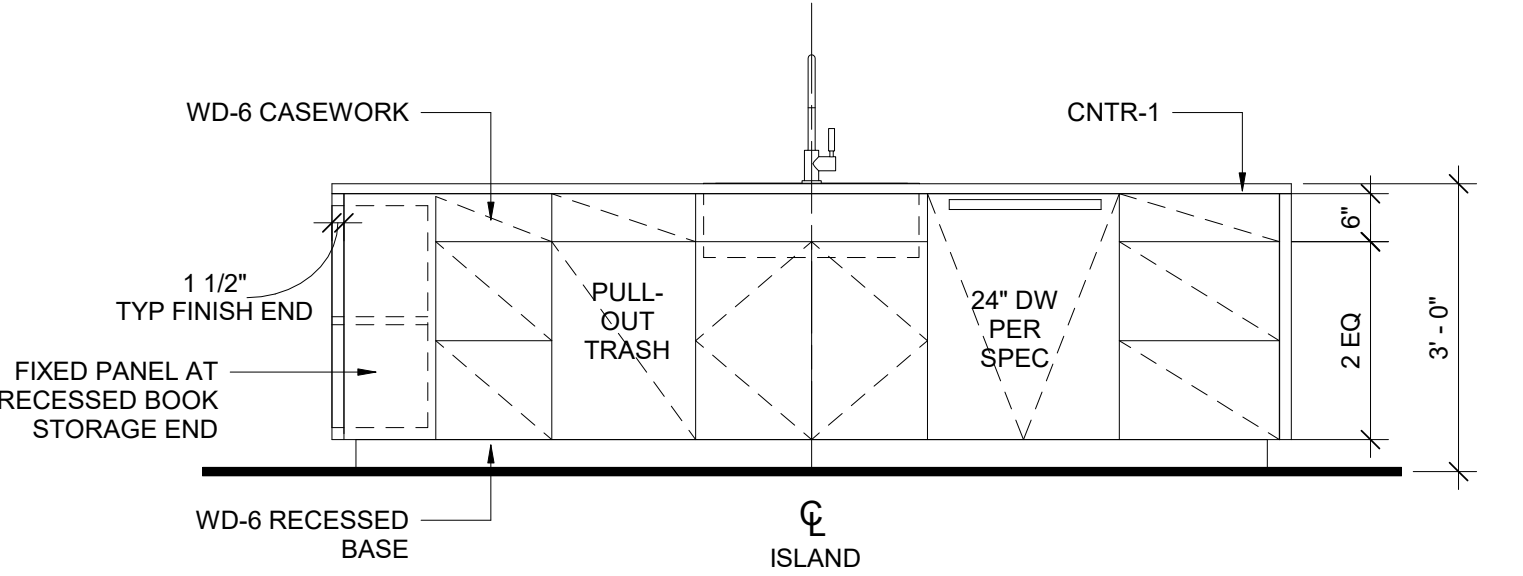
**A5.00**



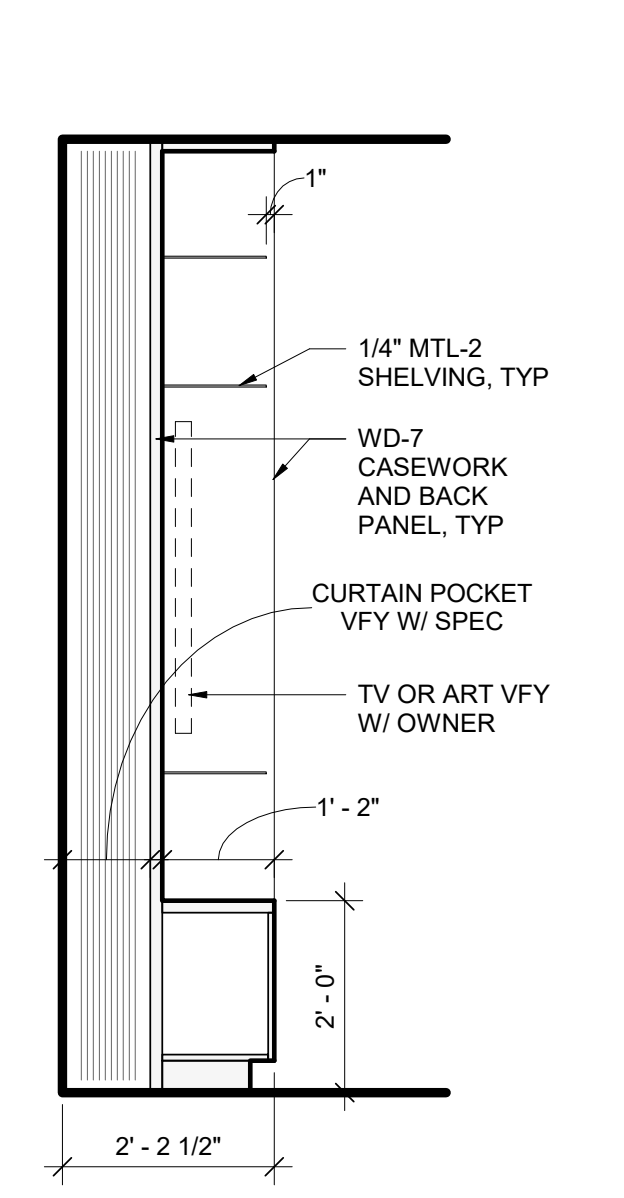


**9 KITCHEN ISLAND - S**  
SCALE: 1/2" = 1'-0"

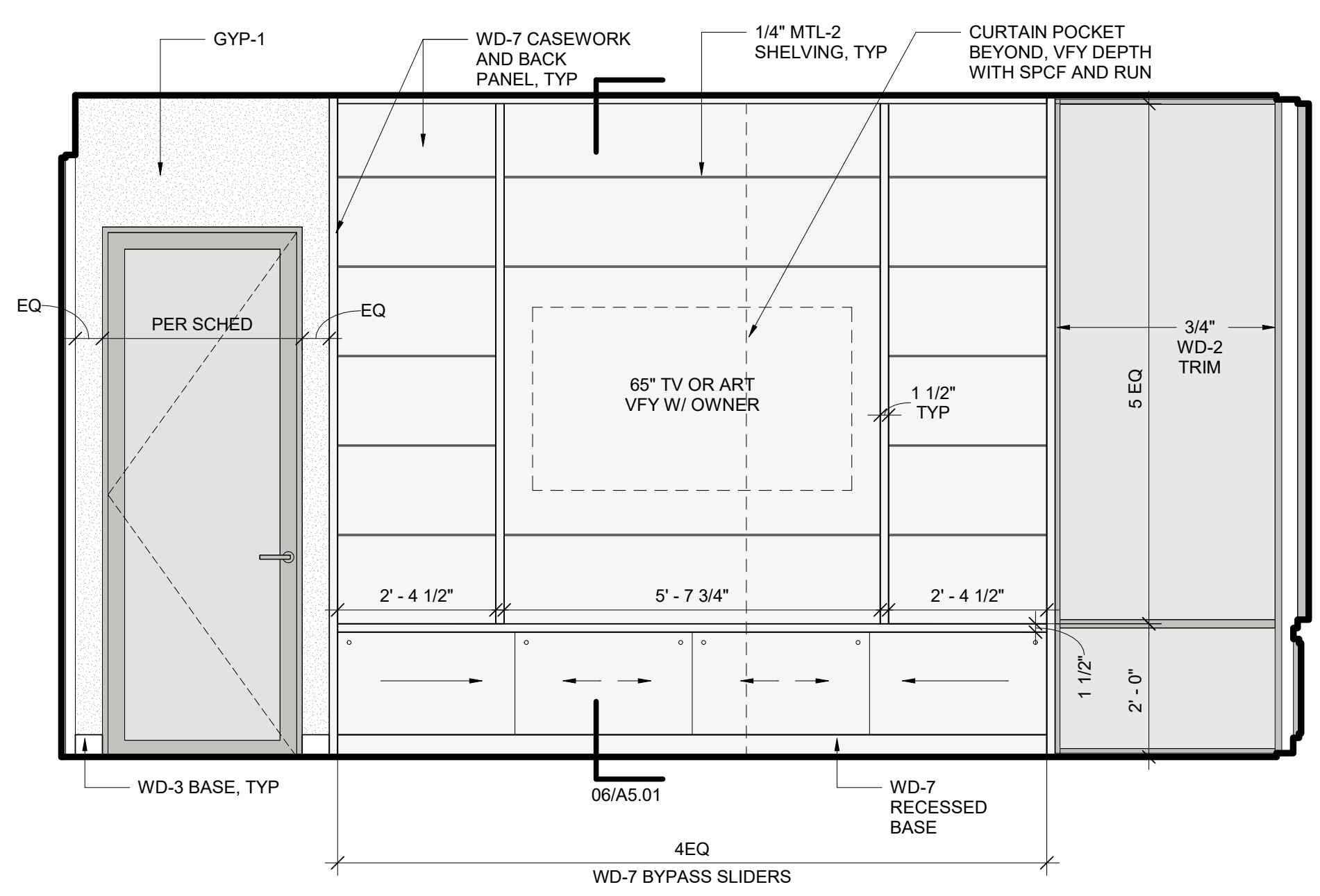
**8 KITCHEN ISLAND - N**  
SCALE: 1/2" = 1'-0"



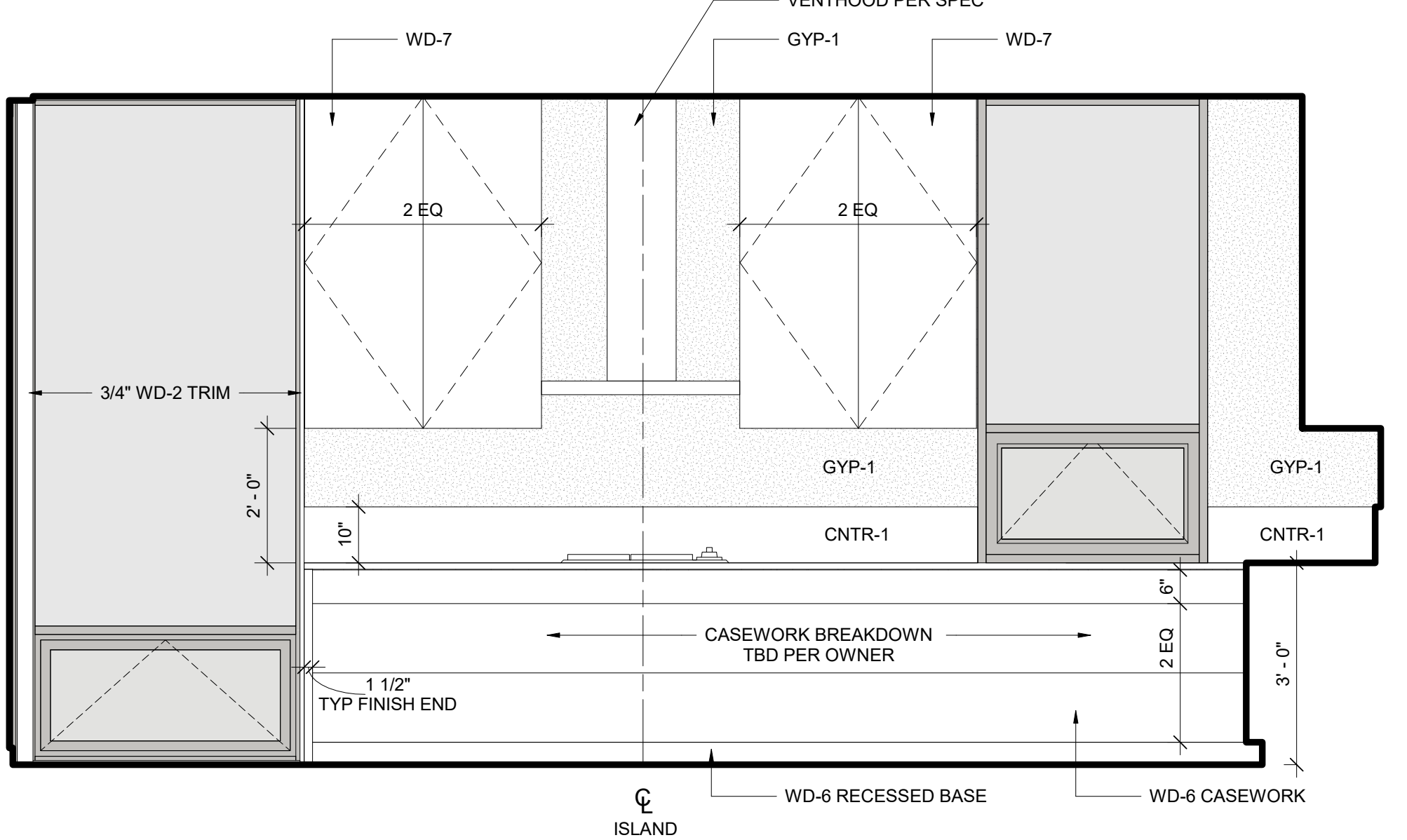
**7 KITCHEN ISLAND - WEST**  
SCALE: 1/2" = 1'-0"



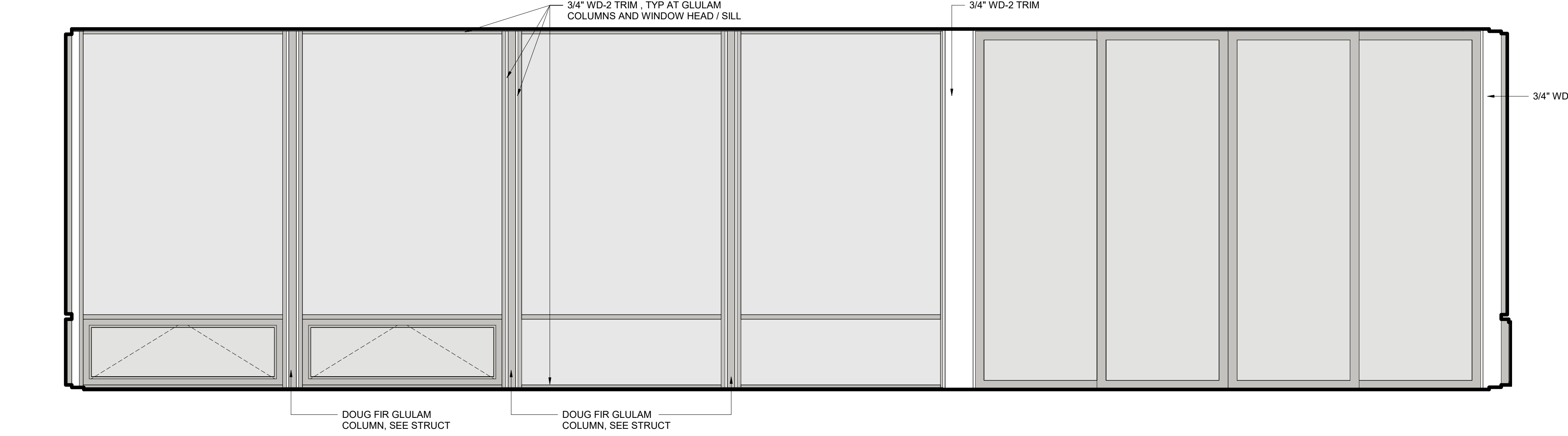
**6 SECTION AT LIVING EAST CASEWORK**  
SCALE: 1/2" = 1'-0"



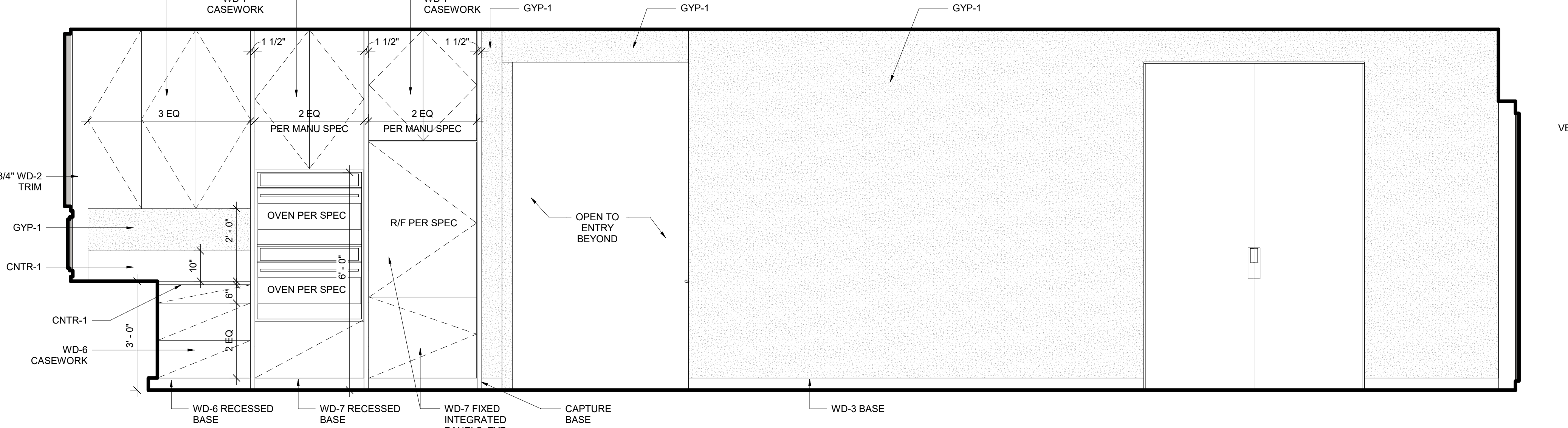
**5 LIVING - EAST**  
SCALE: 1/2" = 1'-0"



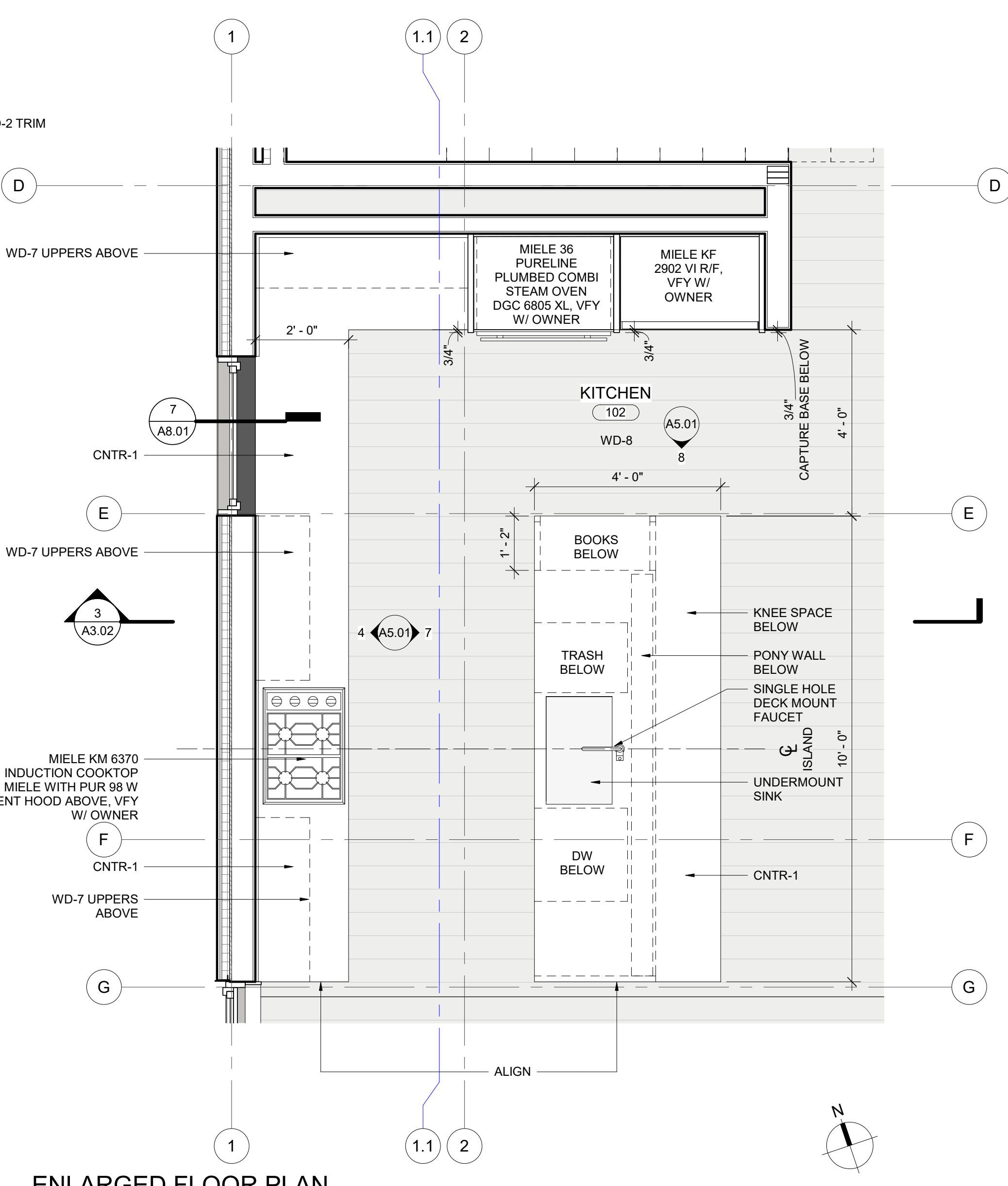
**4 KITCHEN WEST**  
SCALE: 1/2" = 1'-0"



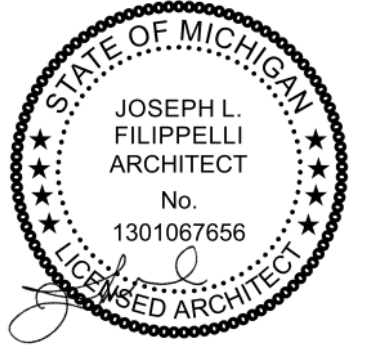
**3 GREAT ROOM - SOUTH**  
SCALE: 1/2" = 1'-0"



**2 GREAT ROOM - NORTH**  
SCALE: 1/2" = 1'-0"



**1 ENLARGED FLOOR PLAN - KITCHEN**  
SCALE: 1/2" = 1'-0"



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MB  
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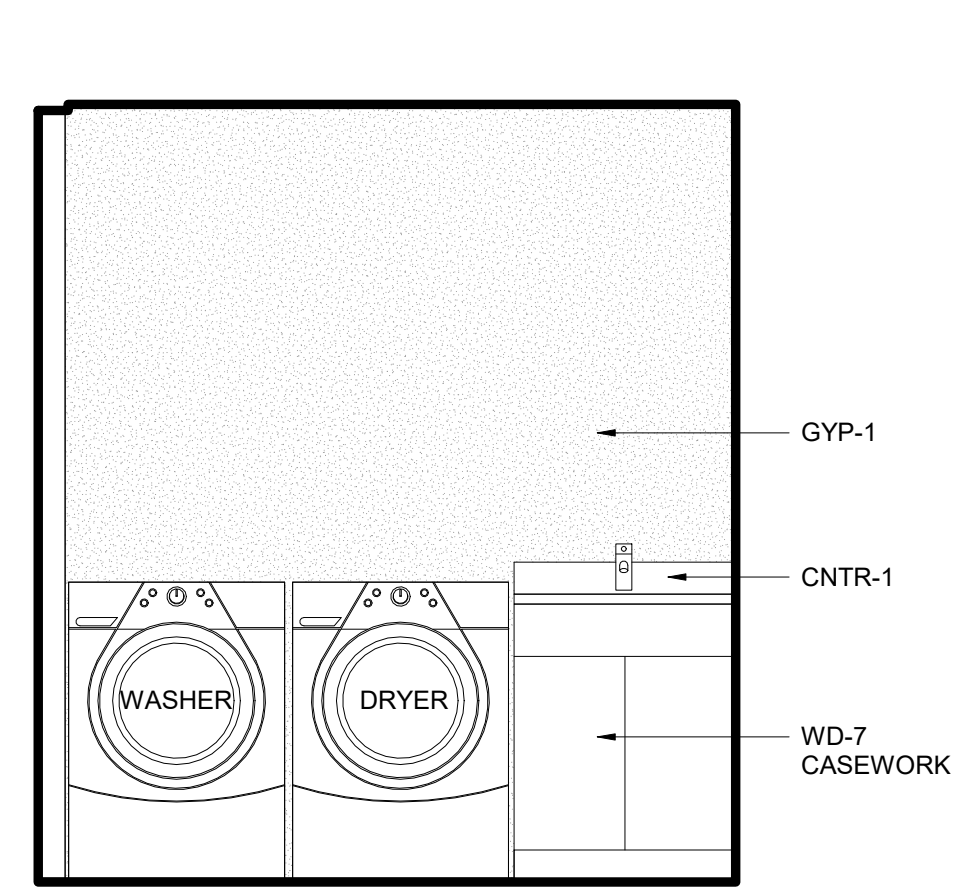
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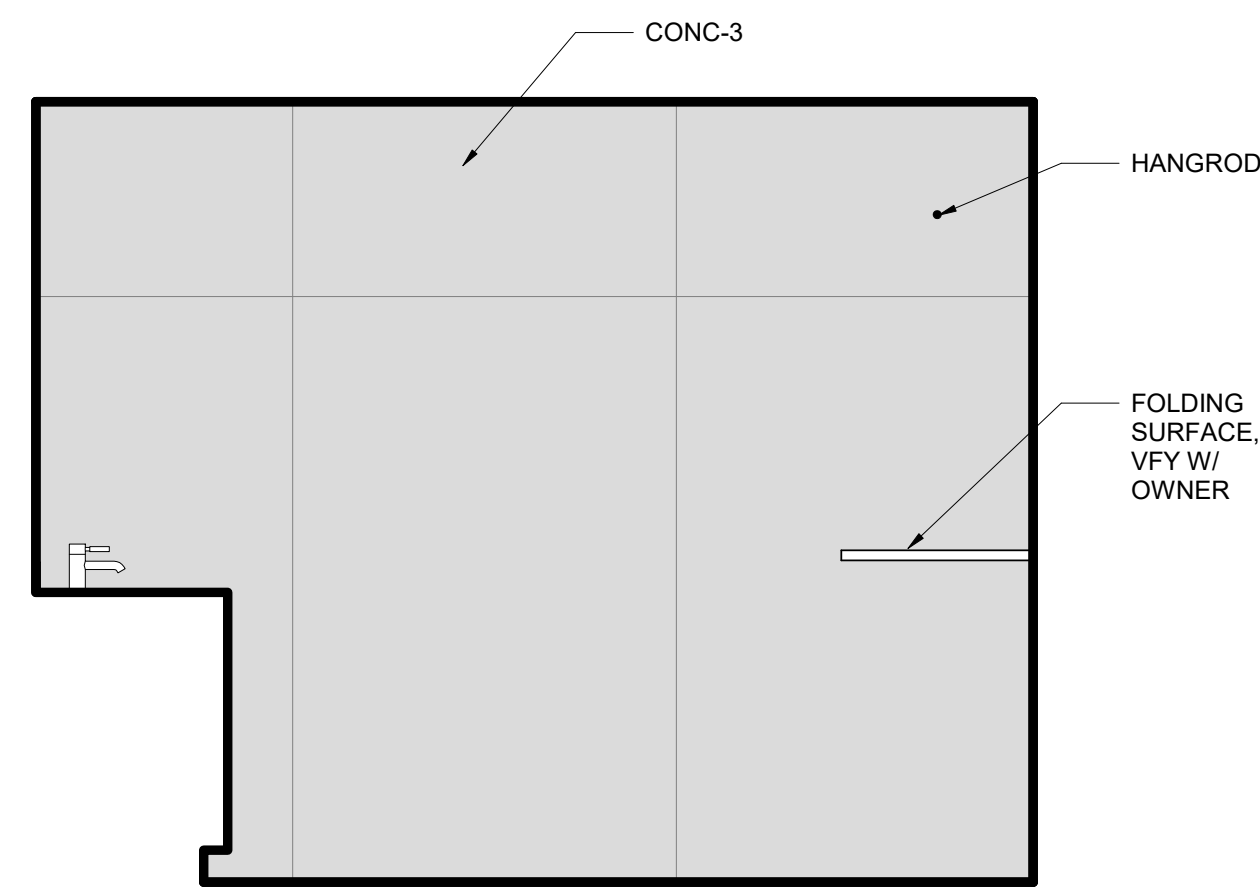
INTERIOR ELEVATIONS

**A5.01**

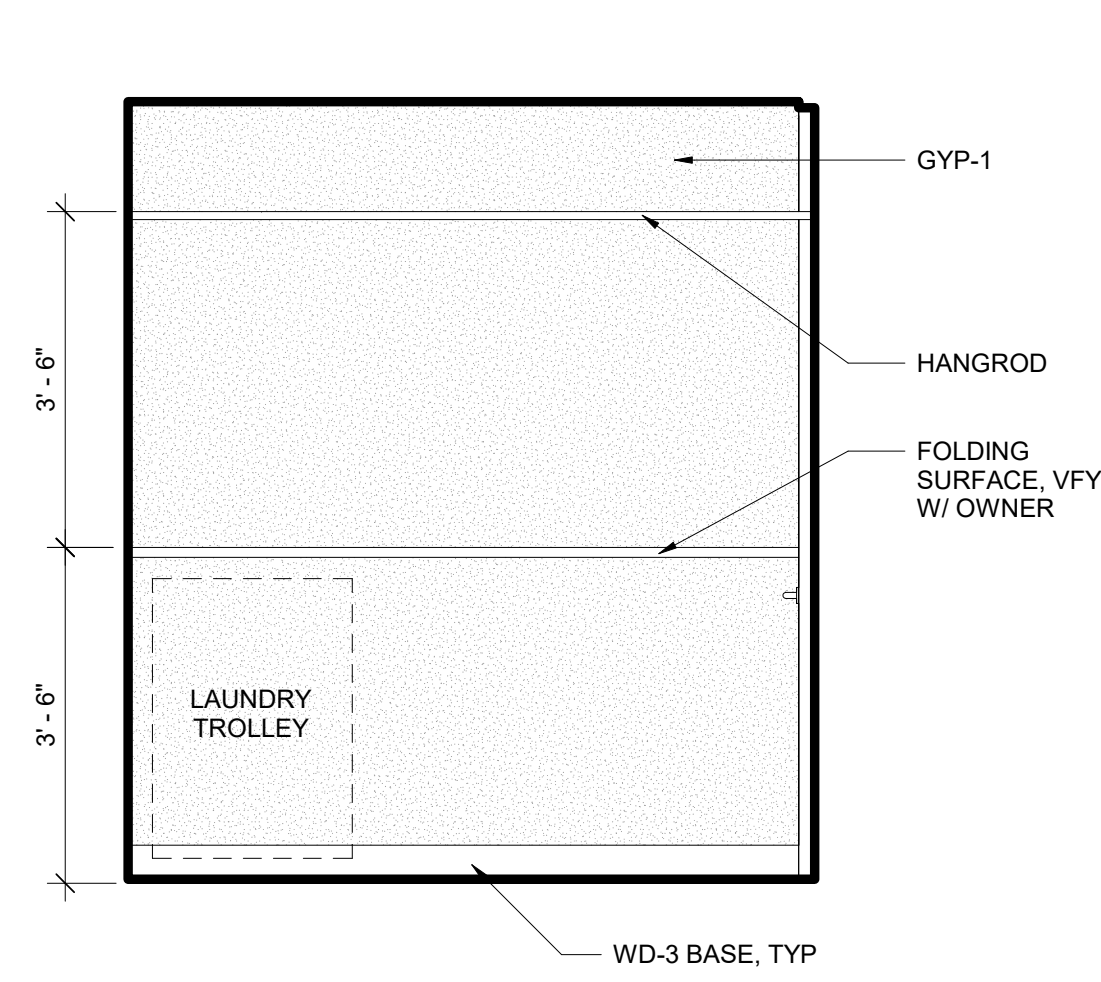




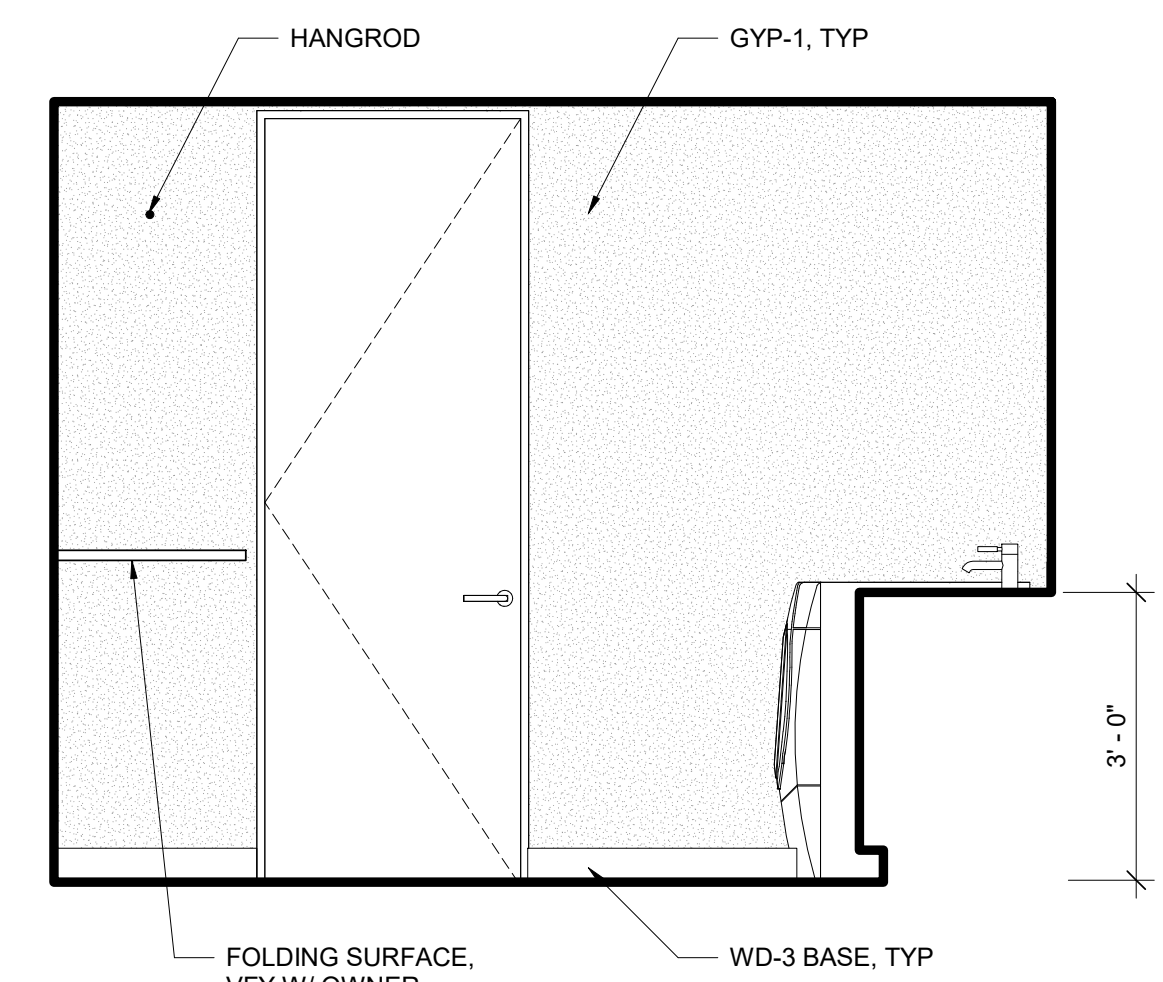
8 LAUNDRY - EAST  
 SCALE: 1/2" = 1'-0"



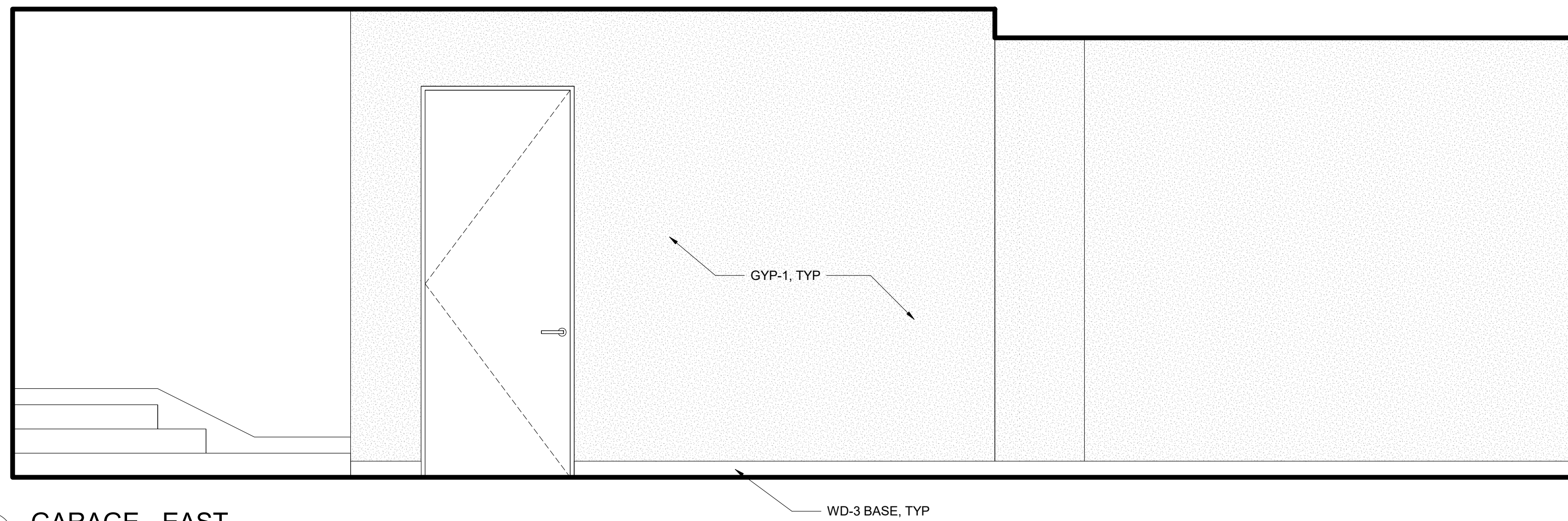
7 LAUNDRY - SOUTH  
 SCALE: 1/2" = 1'-0"



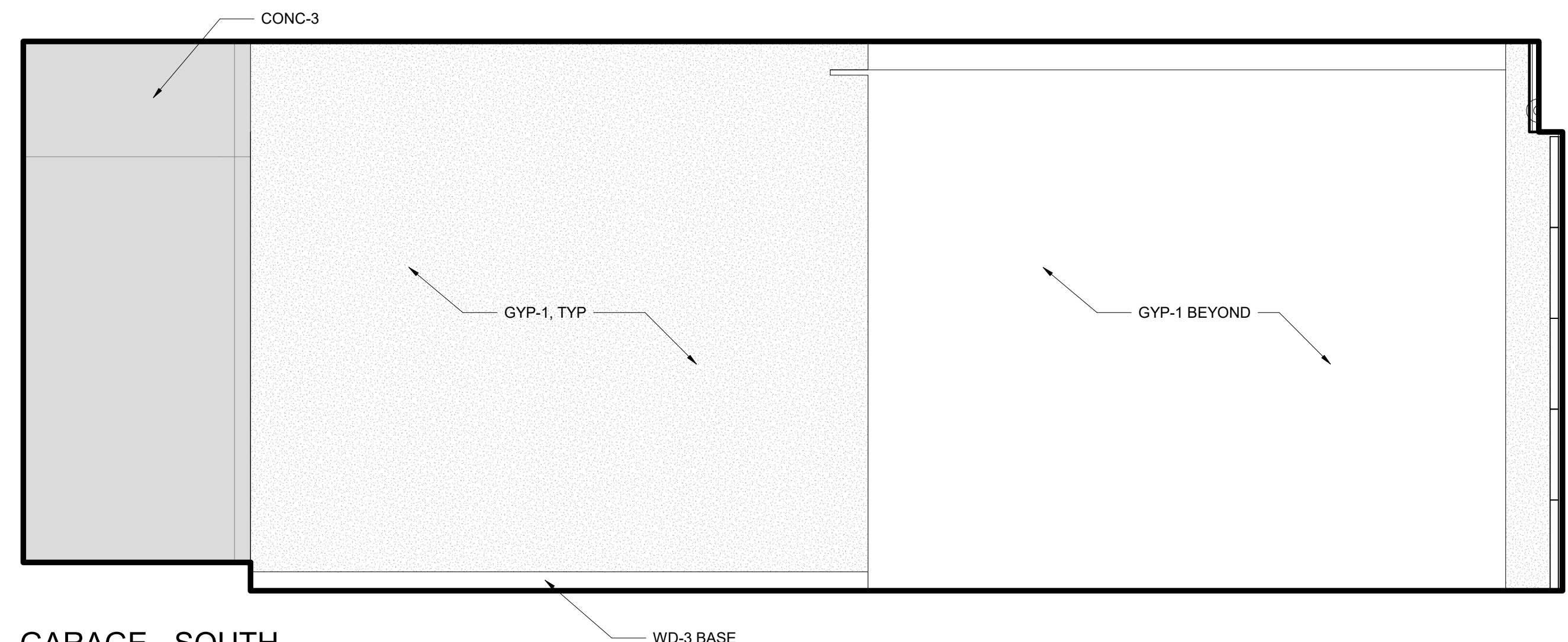
6 LAUNDRY - WEST  
 SCALE: 1/2" = 1'-0"



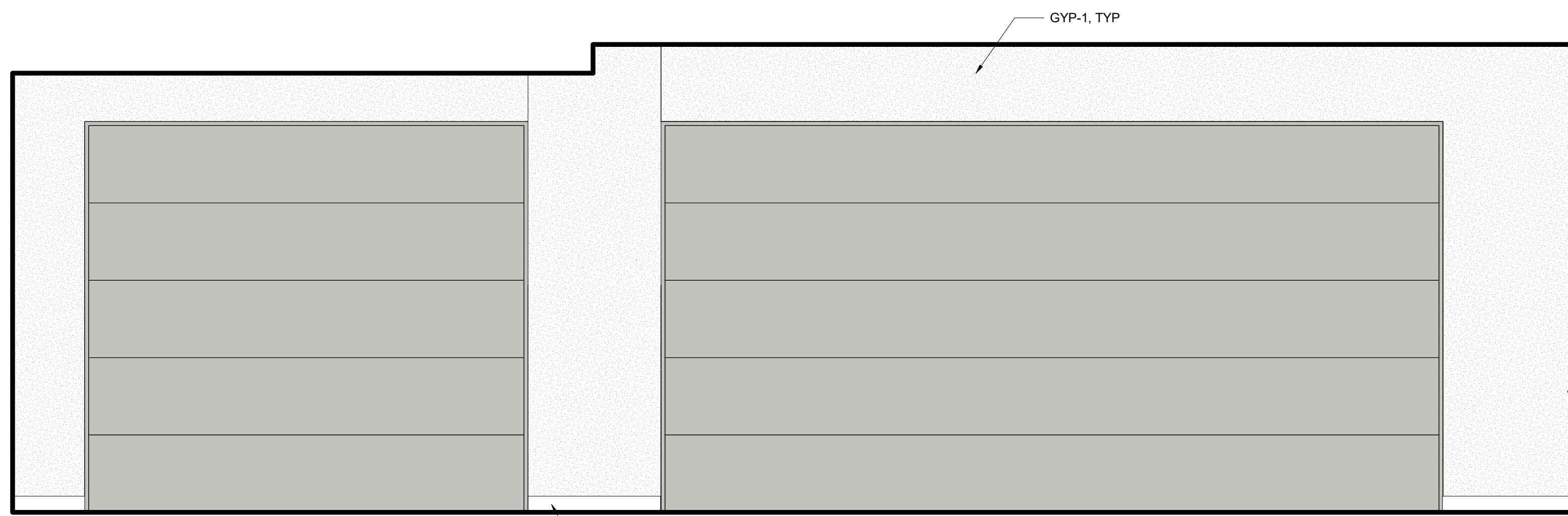
5 LAUNDRY - NORTH  
 SCALE: 1/2" = 1'-0"



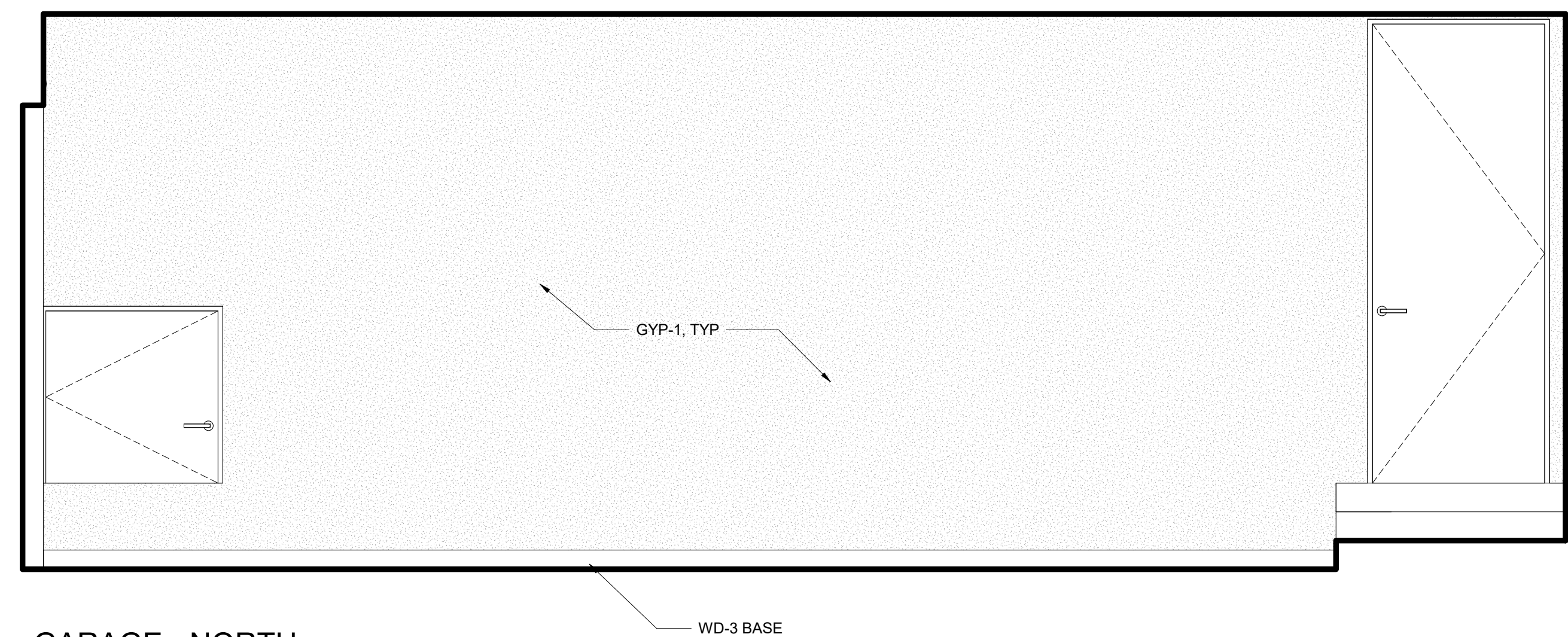
4 GARAGE - EAST  
 SCALE: 1/2" = 1'-0"



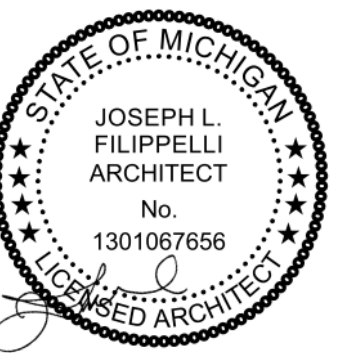
3 GARAGE - SOUTH  
 SCALE: 1/2" = 1'-0"



2 GARAGE - WEST  
 SCALE: 1/2" = 1'-0"



1 GARAGE - NORTH  
 SCALE: 1/2" = 1'-0"



principal architect JLF  
 drawn by JLF  
 MB  
 job no. 20.012  
 date 05.20.2022

revisions:

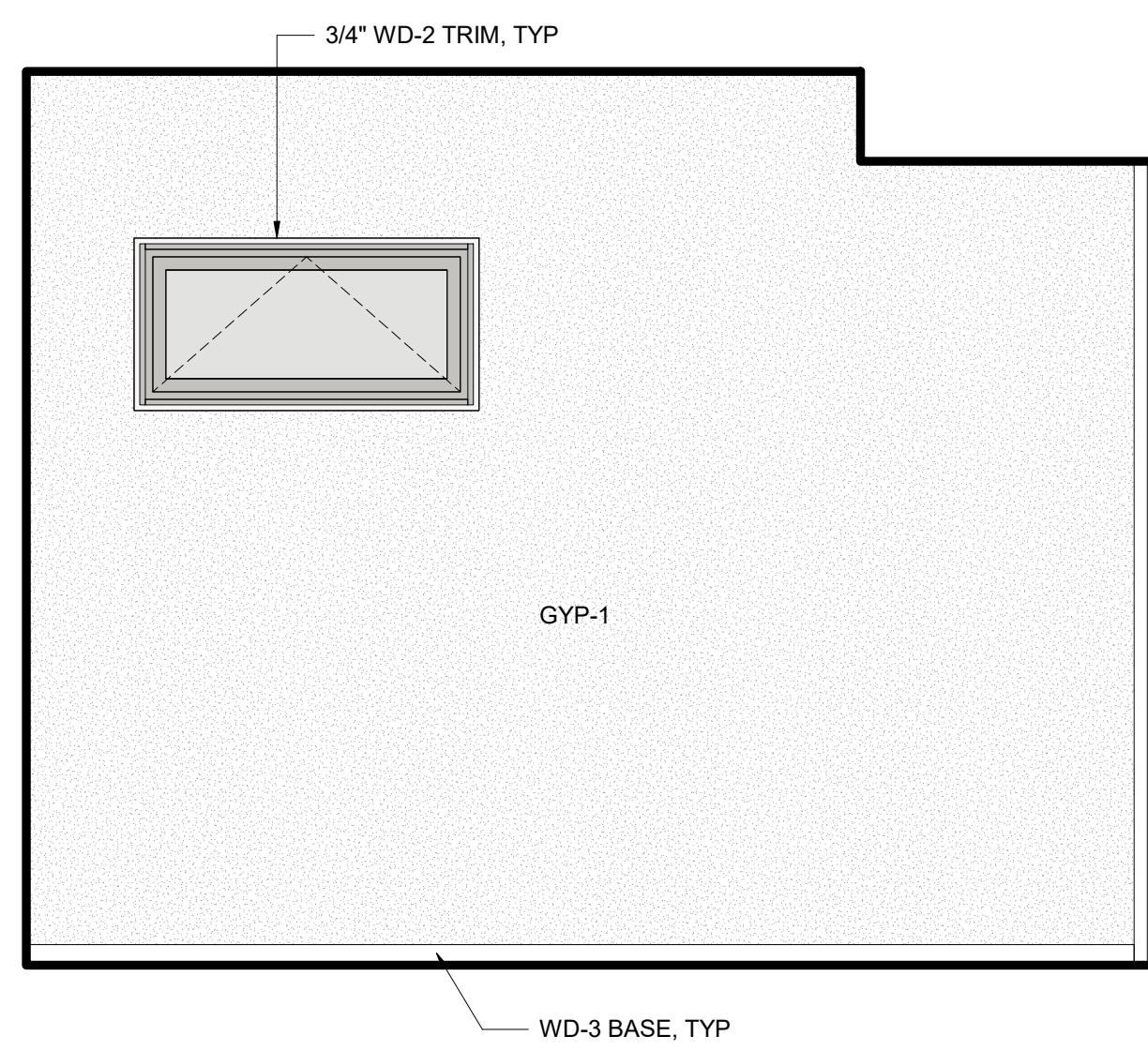
no.	date	by

CONSTRUCTION DOCUMENTS  
 05.20.2022

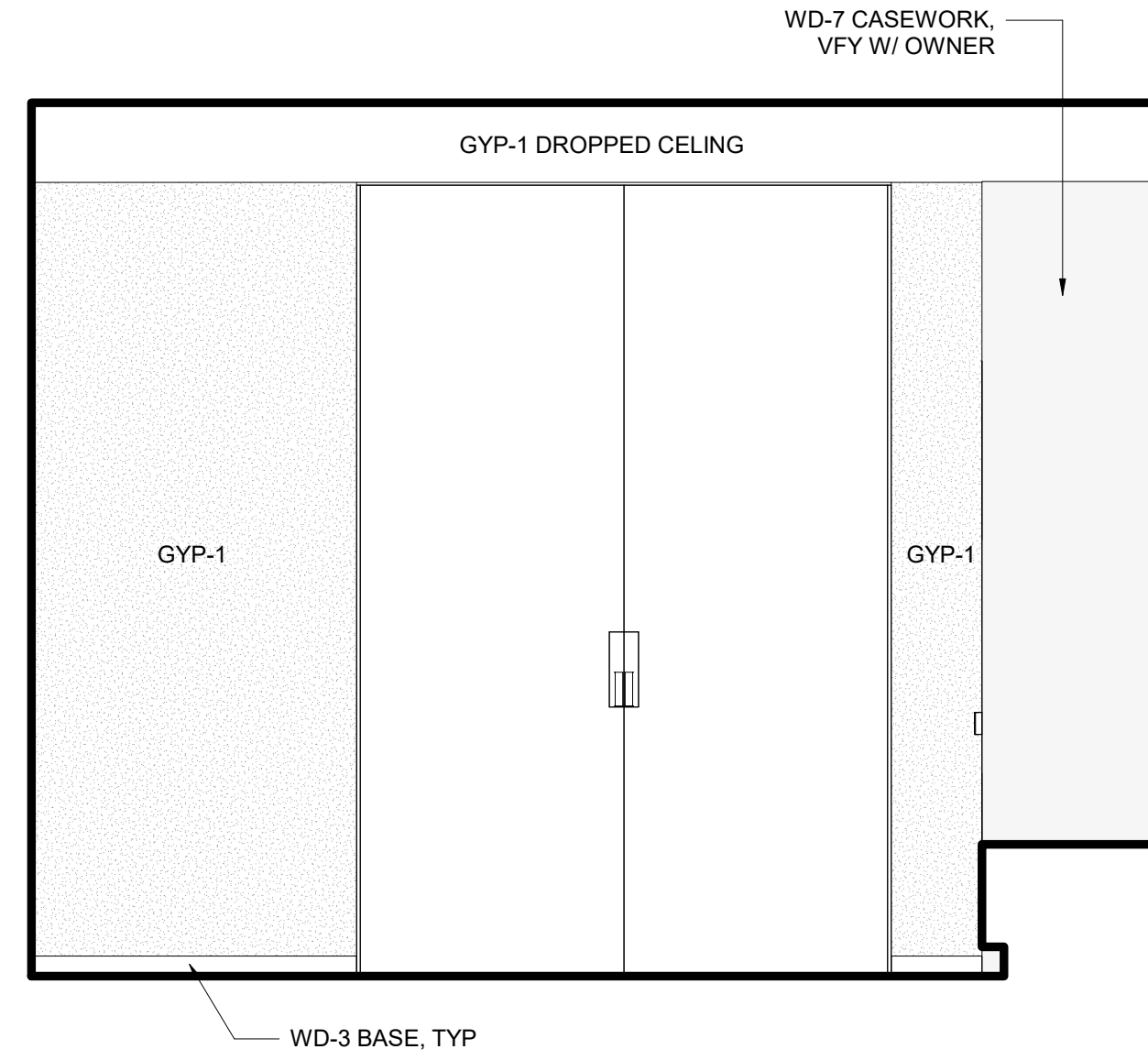
INTERIOR ELEVATIONS

A5.02

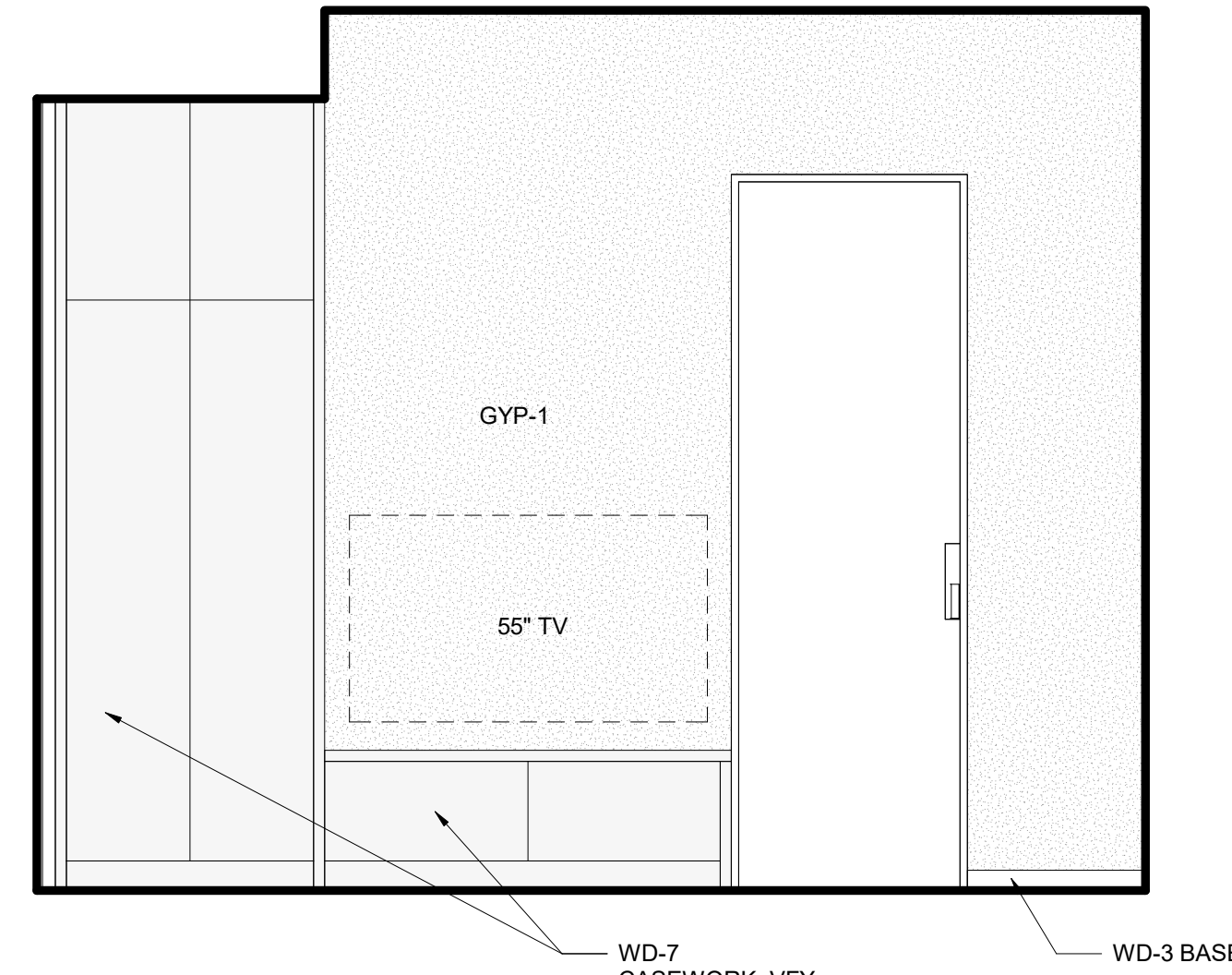




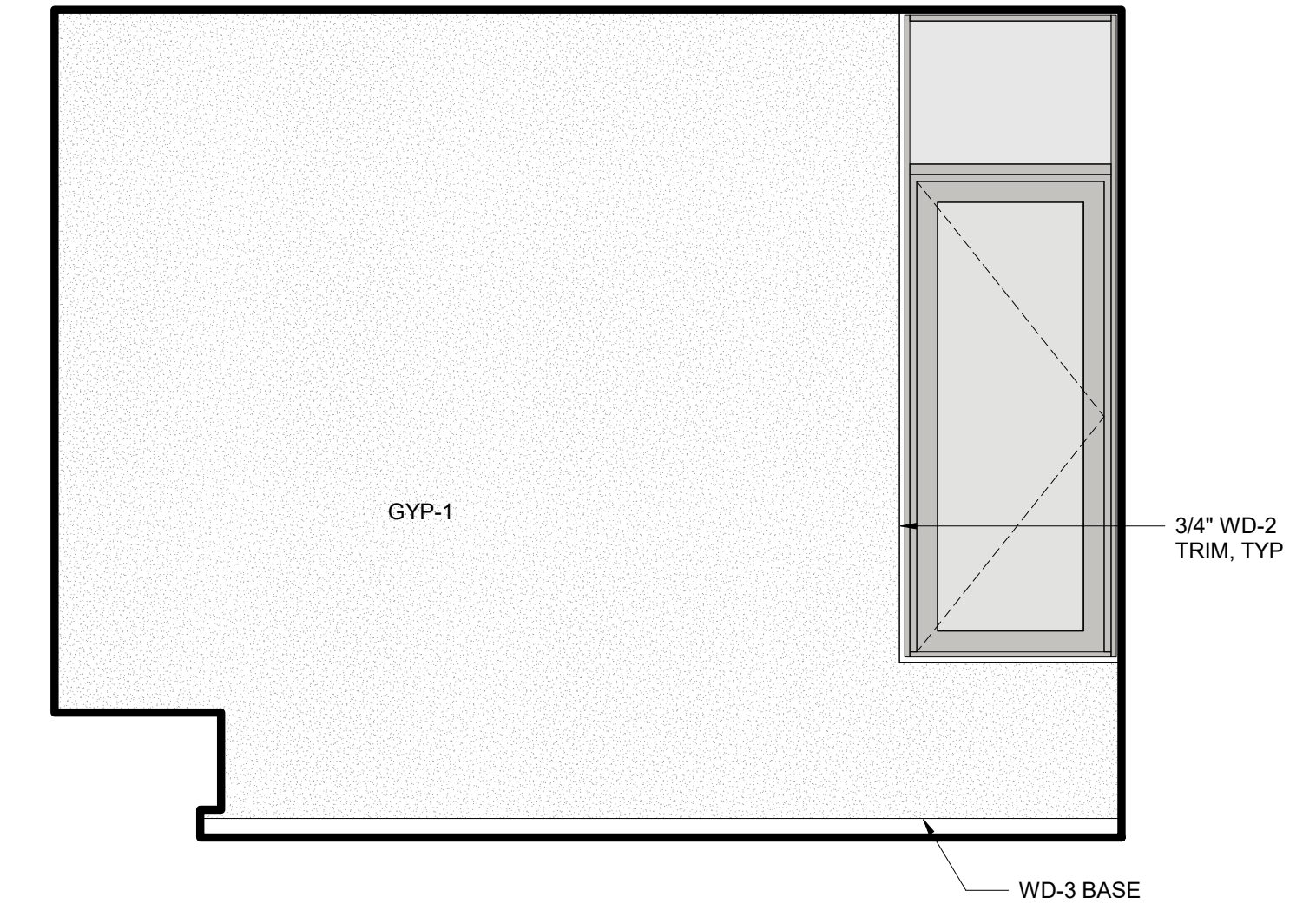
13 DEN - EAST  
SCALE: 1/2" = 1'-0"



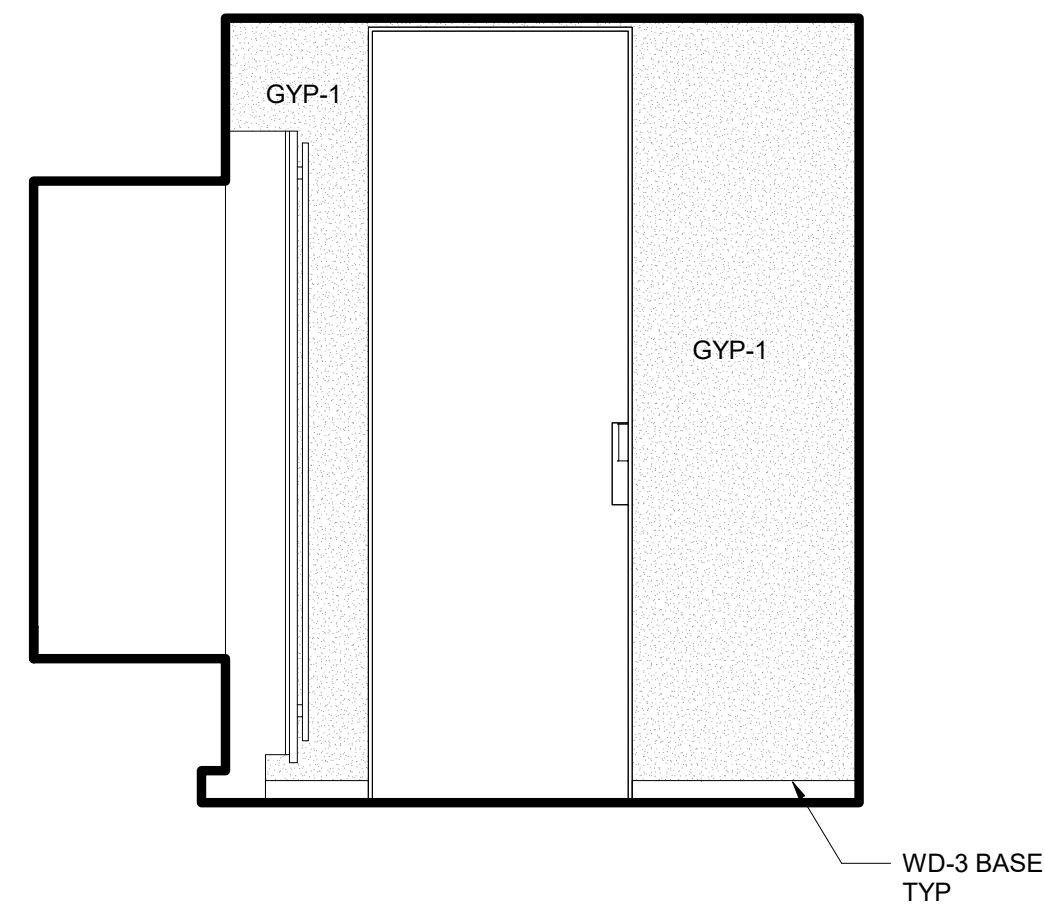
12 DEN - SOUTH  
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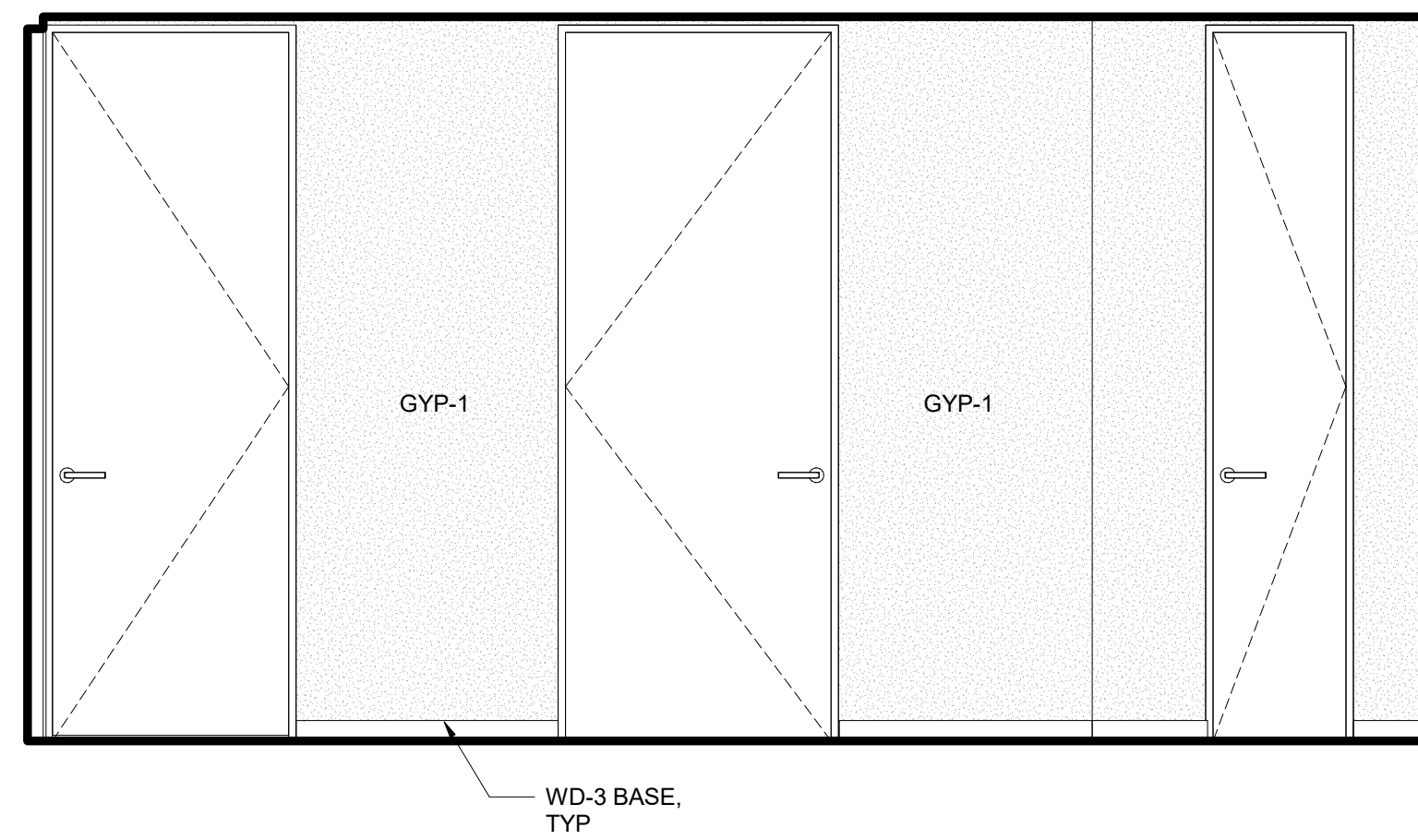
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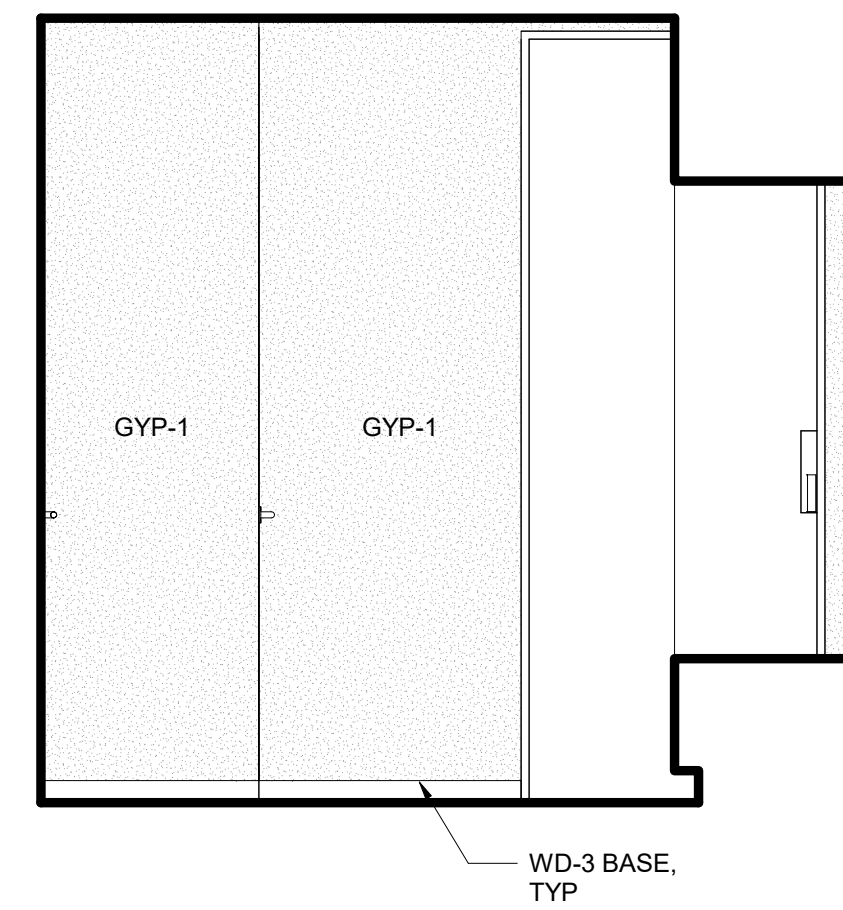
10 DEN - NORTH  
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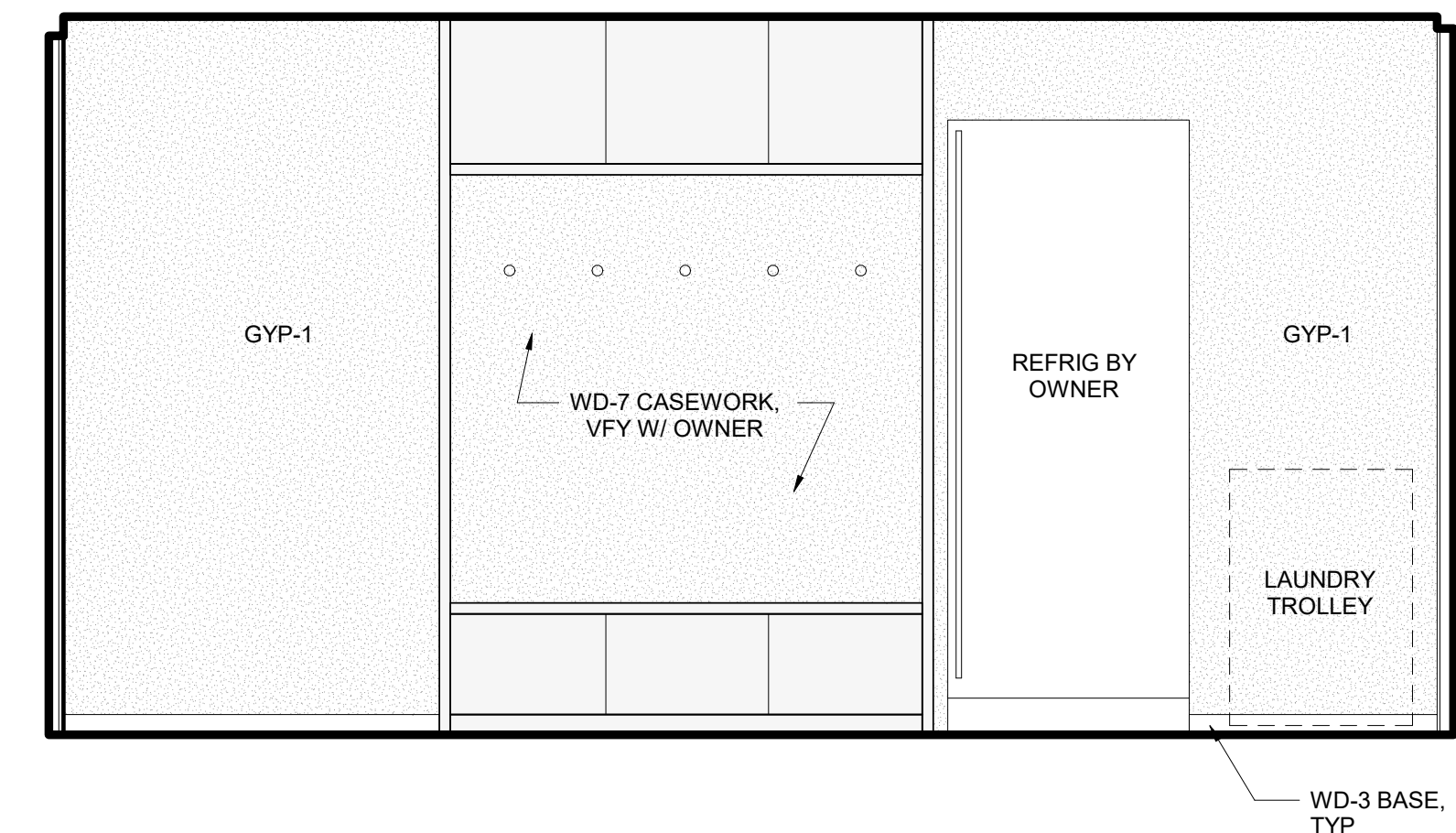
9 MUDROOM - EAST  
SCALE: 1/2" = 1'-0"



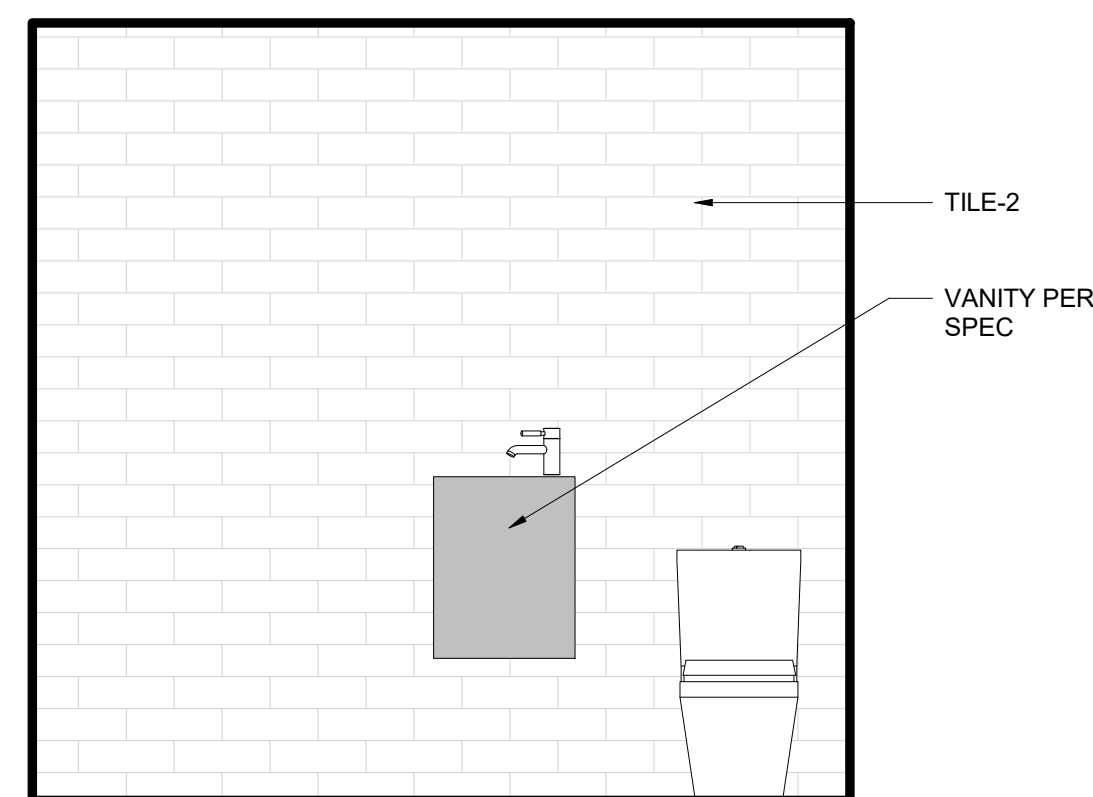
8 MUDROOM - SOUTH  
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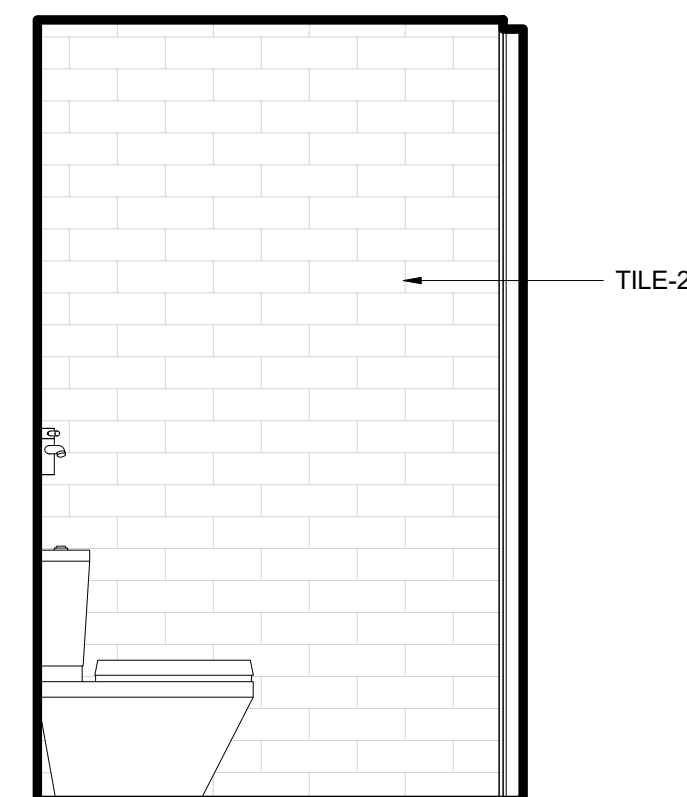
7 MUDROOM - WEST  
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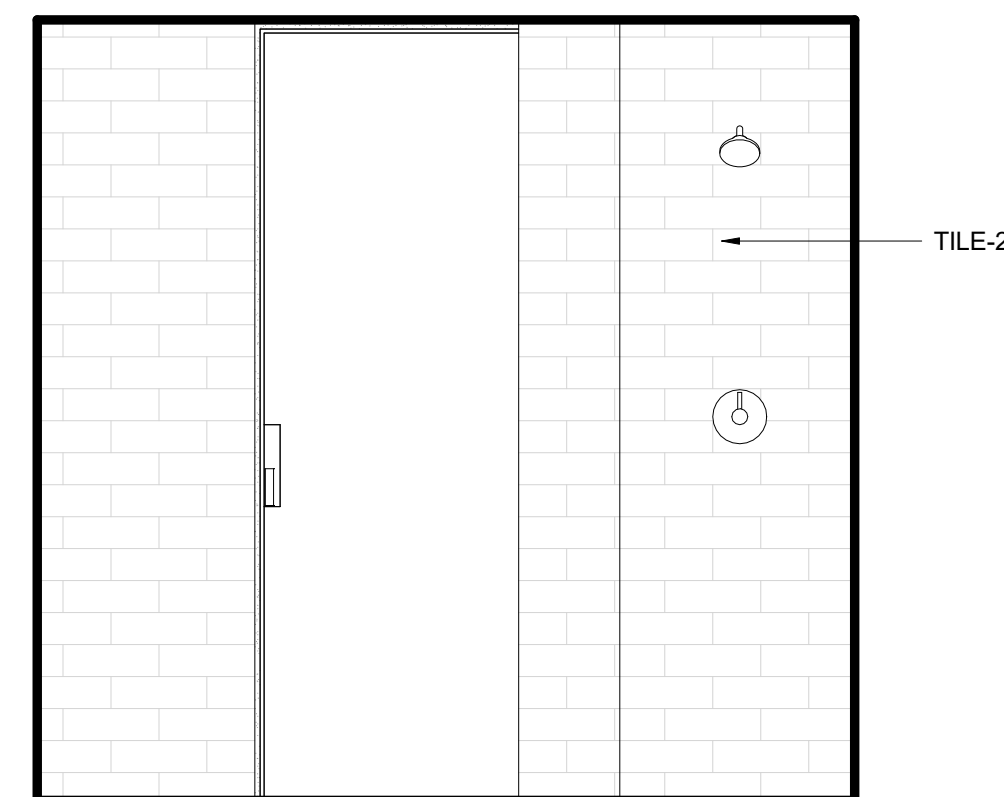
6 MUDROOM - NORTH  
SCALE: 1/2" = 1'-0"



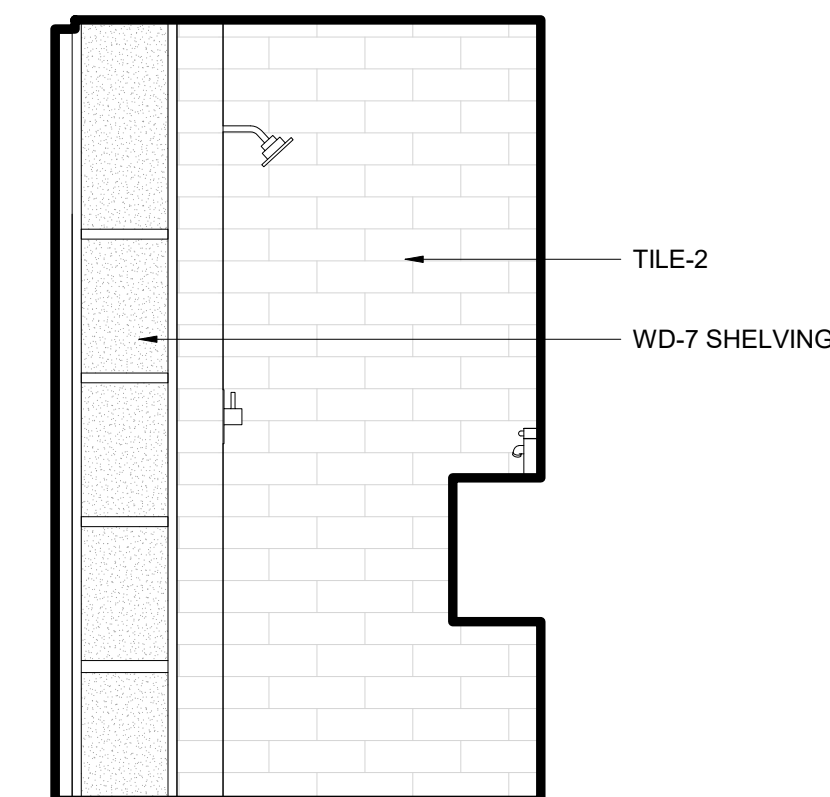
5 BATH 1 - EAST  
SCALE: 1/2" = 1'-0"



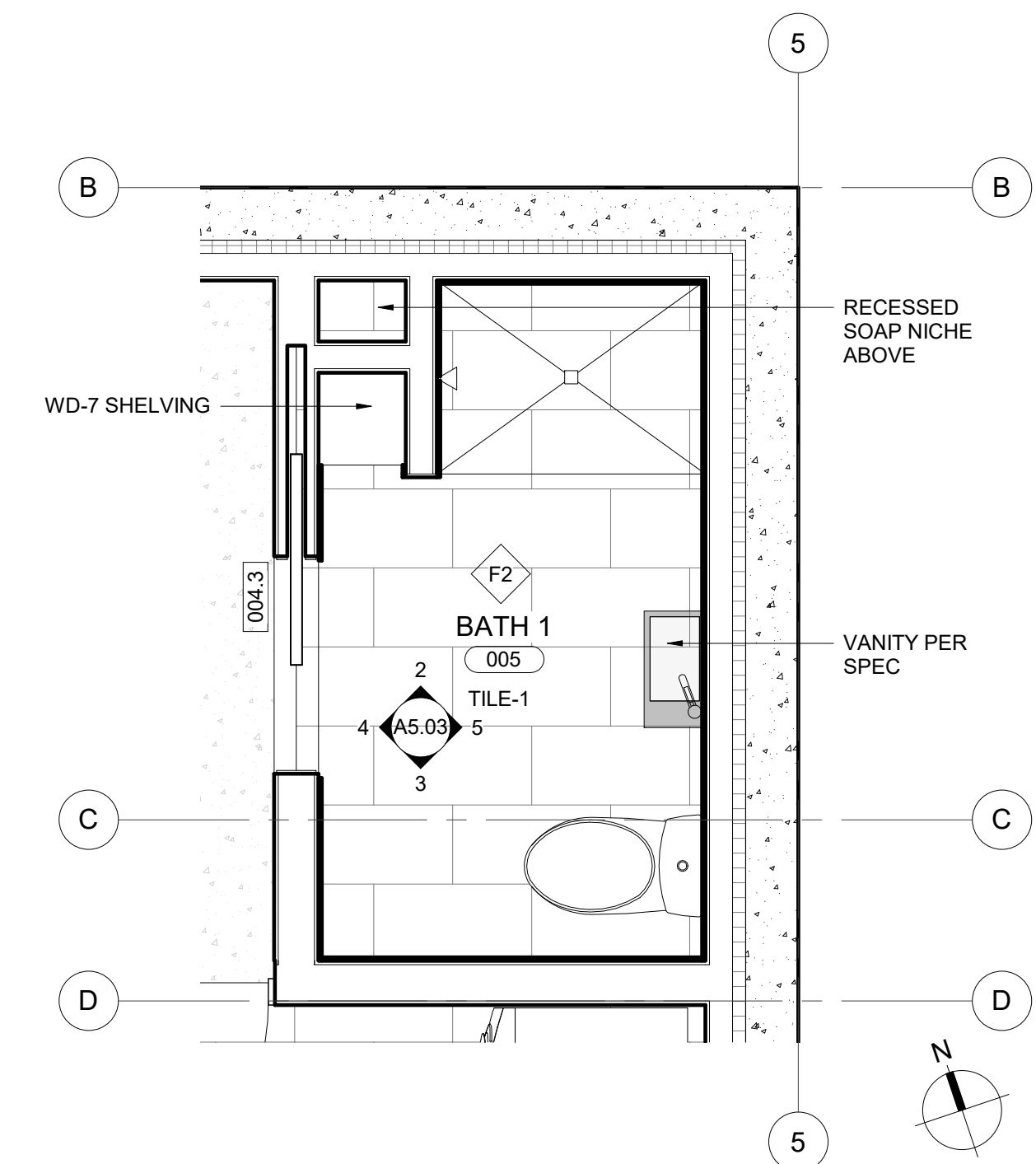
3 BATH 1 - SOUTH  
SCALE: 1/2" = 1'-0"



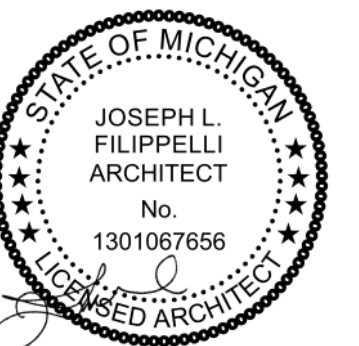
4 BATH 1 - WEST  
SCALE: 1/2" = 1'-0"



2 BATH 1 - NORTH  
SCALE: 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - BATH 1  
SCALE: 1/2" = 1'-0"



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

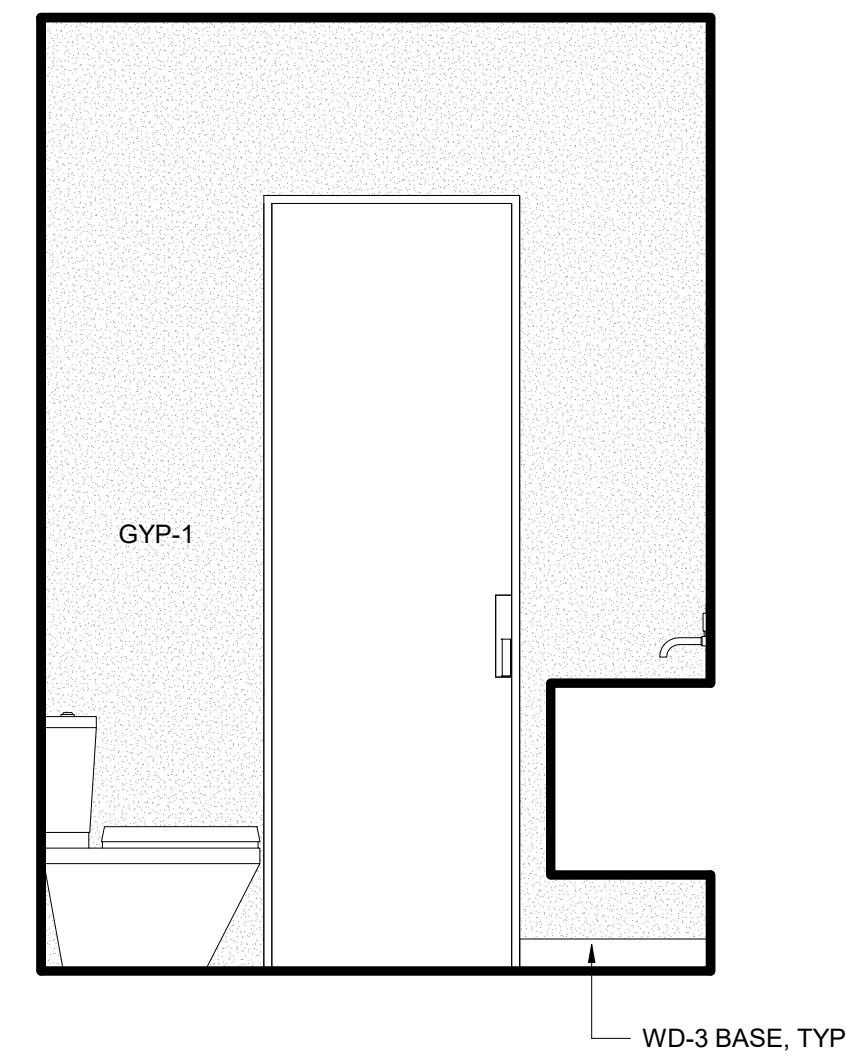
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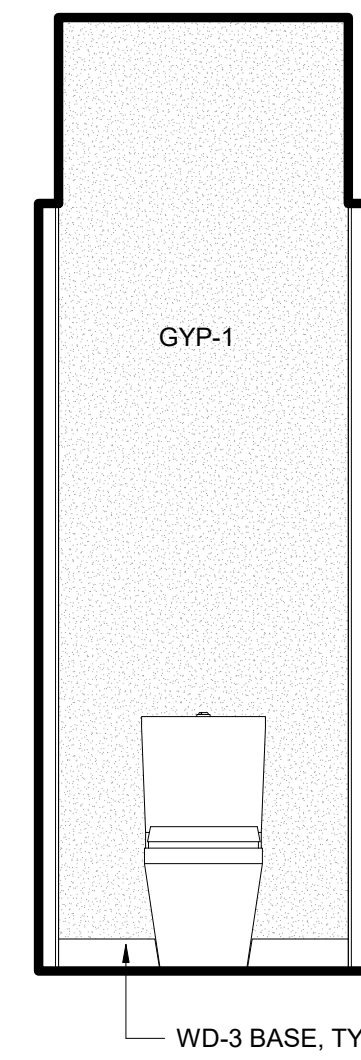
INTERIOR ELEVATIONS

**A5.03**

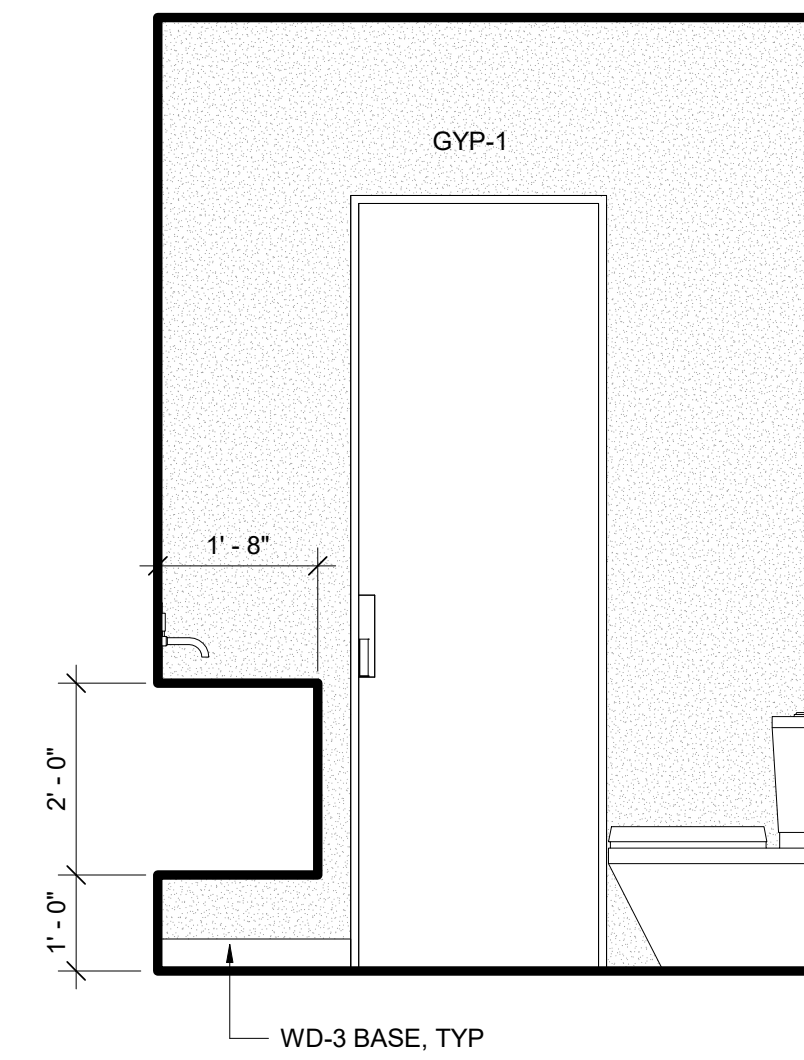




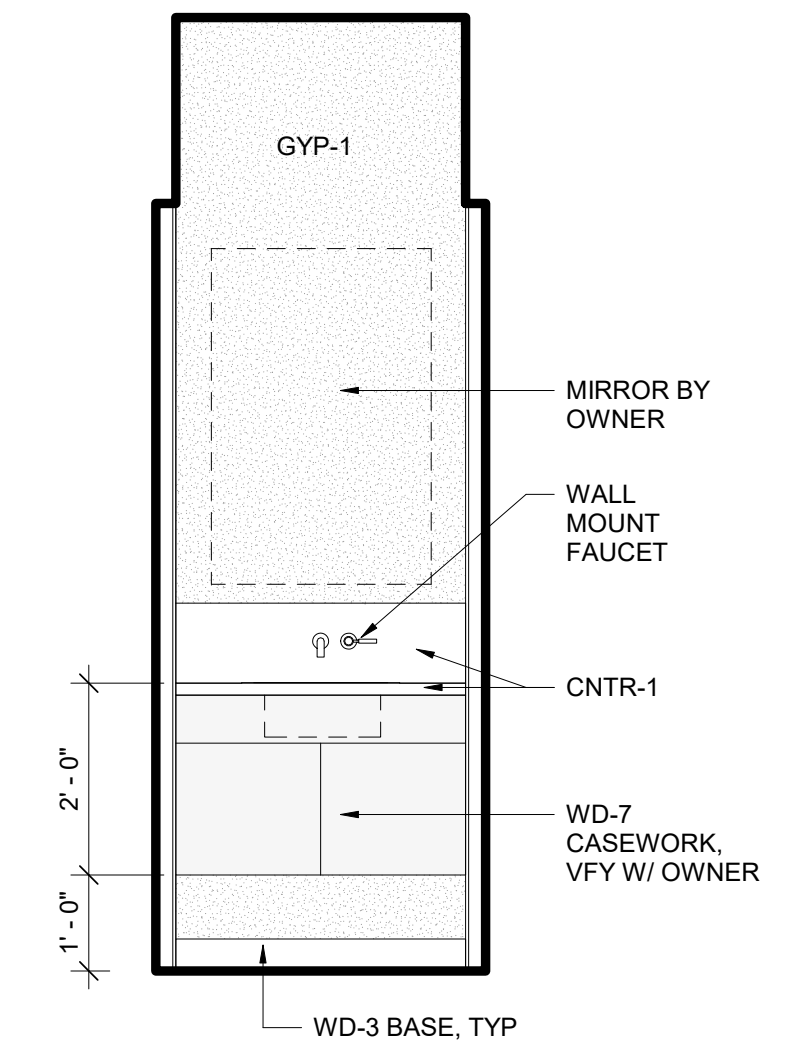
**11 POWDER - WEST**  
SCALE: 1/2" = 1'-0"



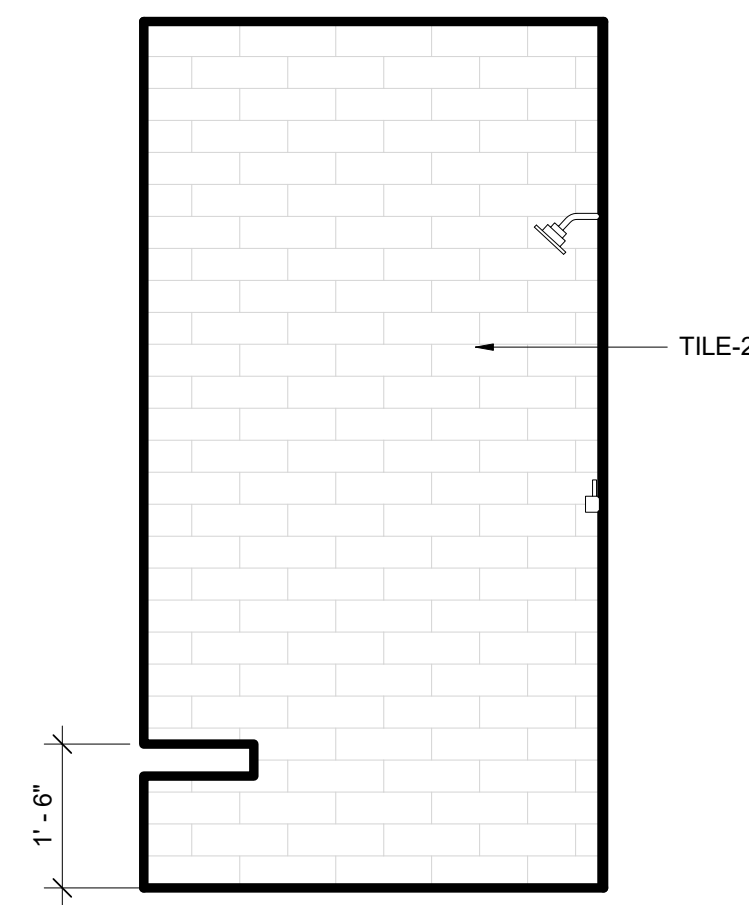
**10 POWDER - SOUTH**  
SCALE: 1/2" = 1'-0"



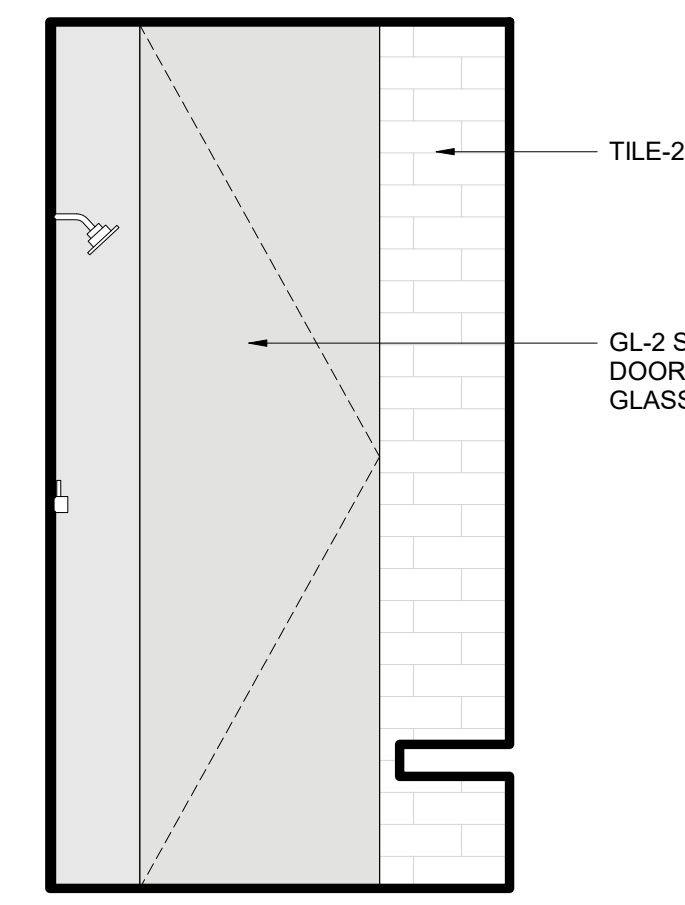
**9 POWDER - EAST**  
SCALE: 1/2" = 1'-0"



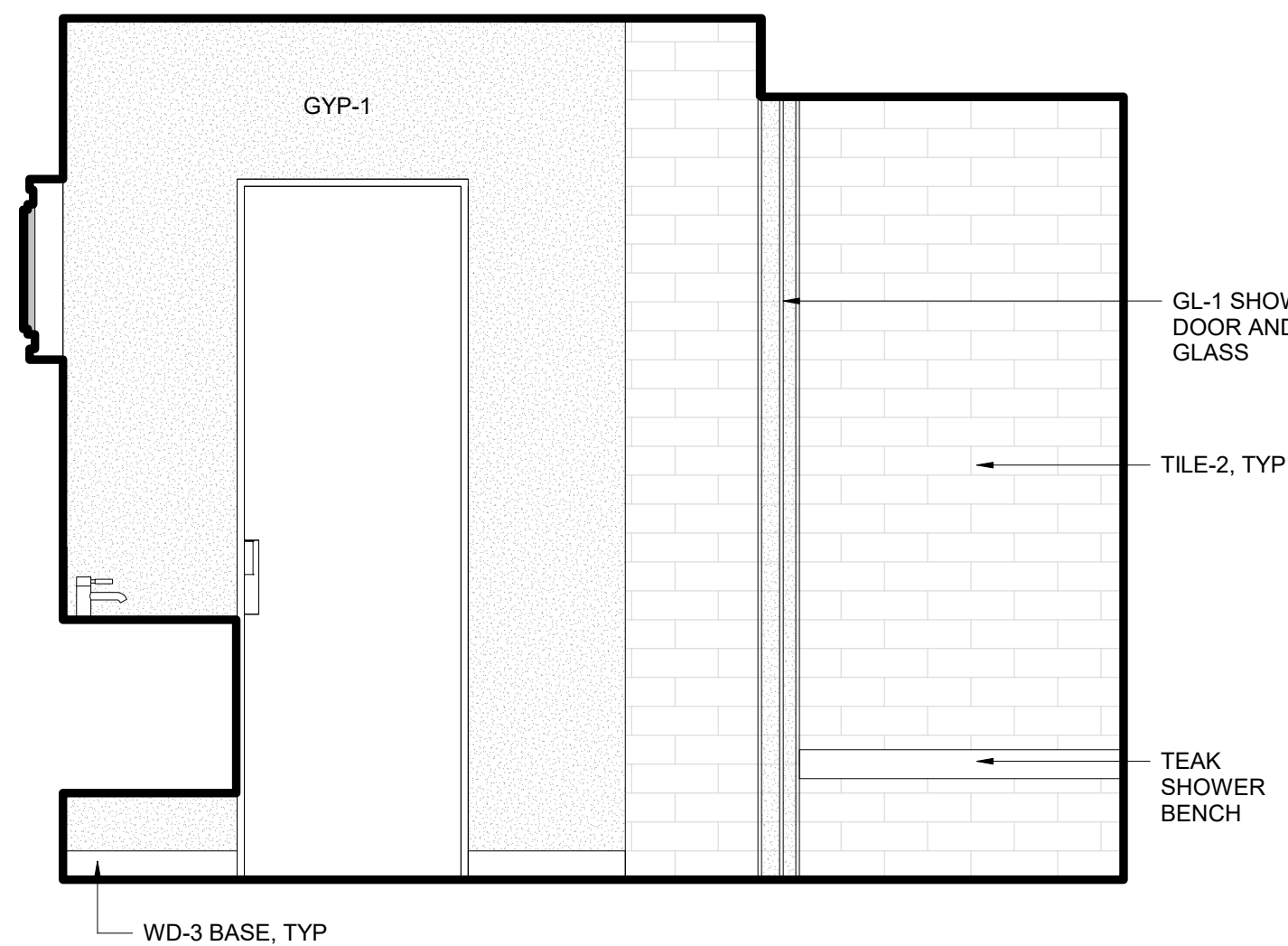
**8 POWDER - NORTH**  
SCALE: 1/2" = 1'-0"



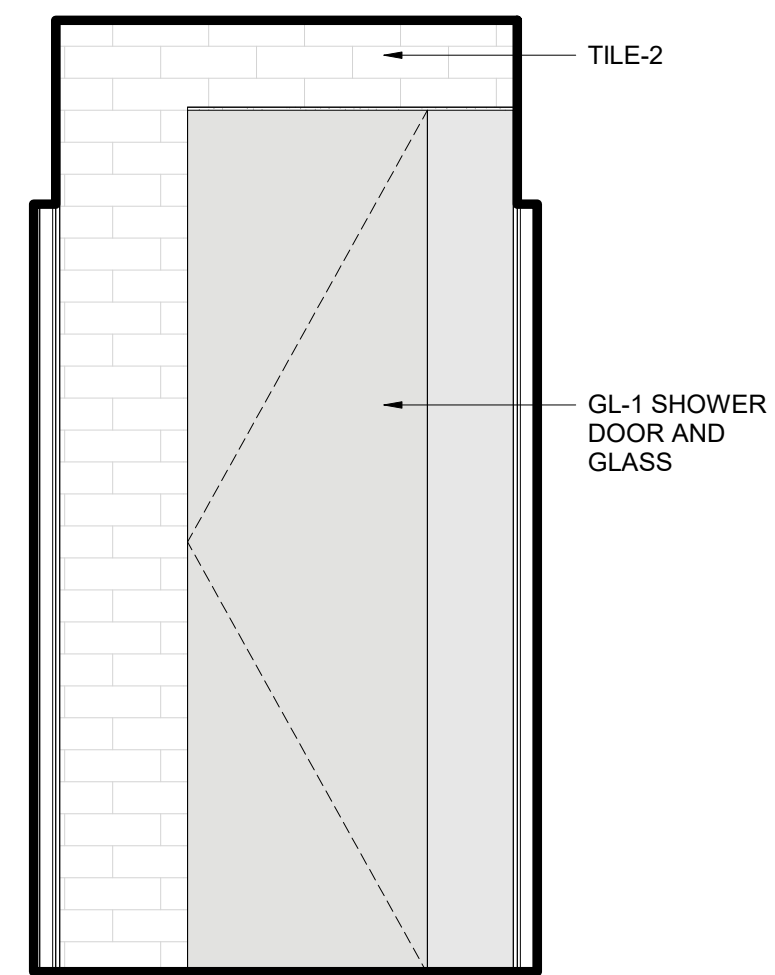
**7 BATH 2 - SHOWER SOUTH**  
SCALE: 1/2" = 1'-0"



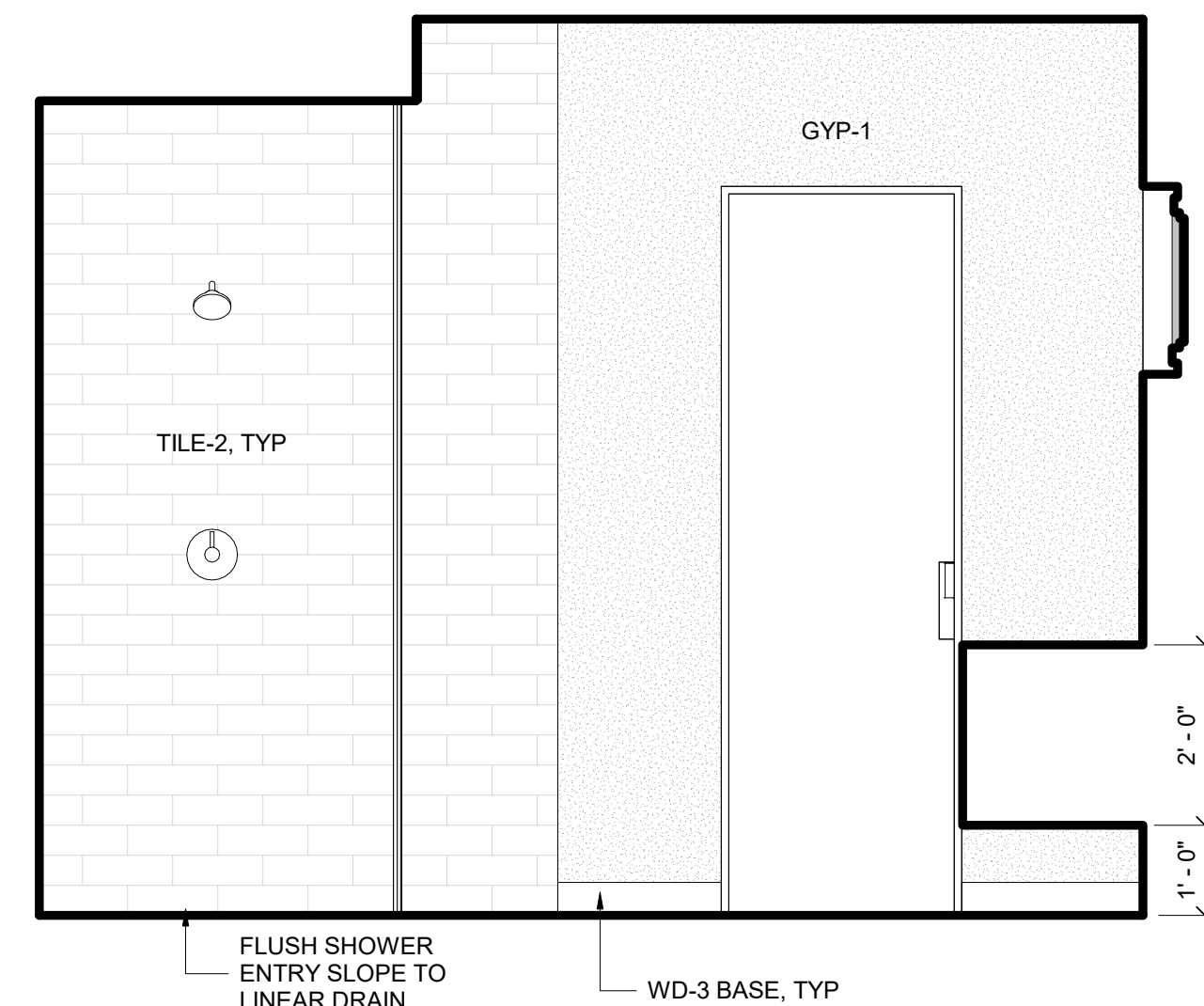
**6 BATH 2 SHOWER - NORTH**  
SCALE: 1/2" = 1'-0"



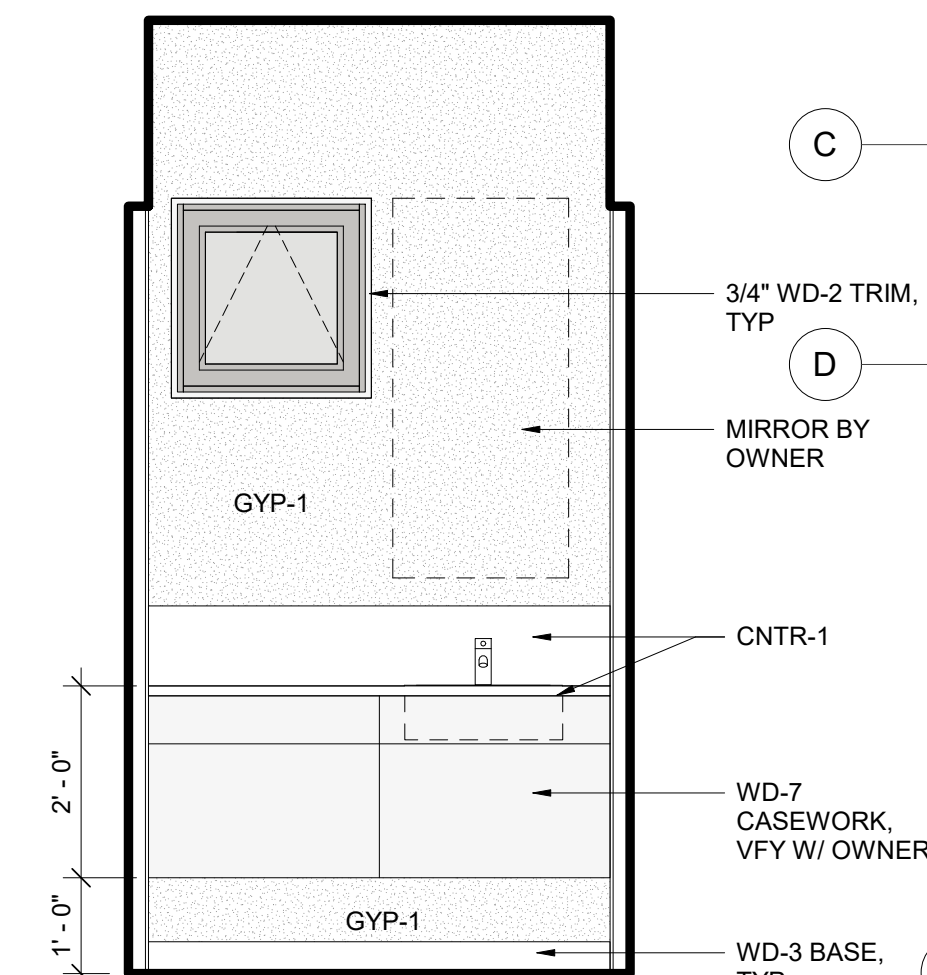
**5 BATH 2 - EAST**  
SCALE: 1/2" = 1'-0"



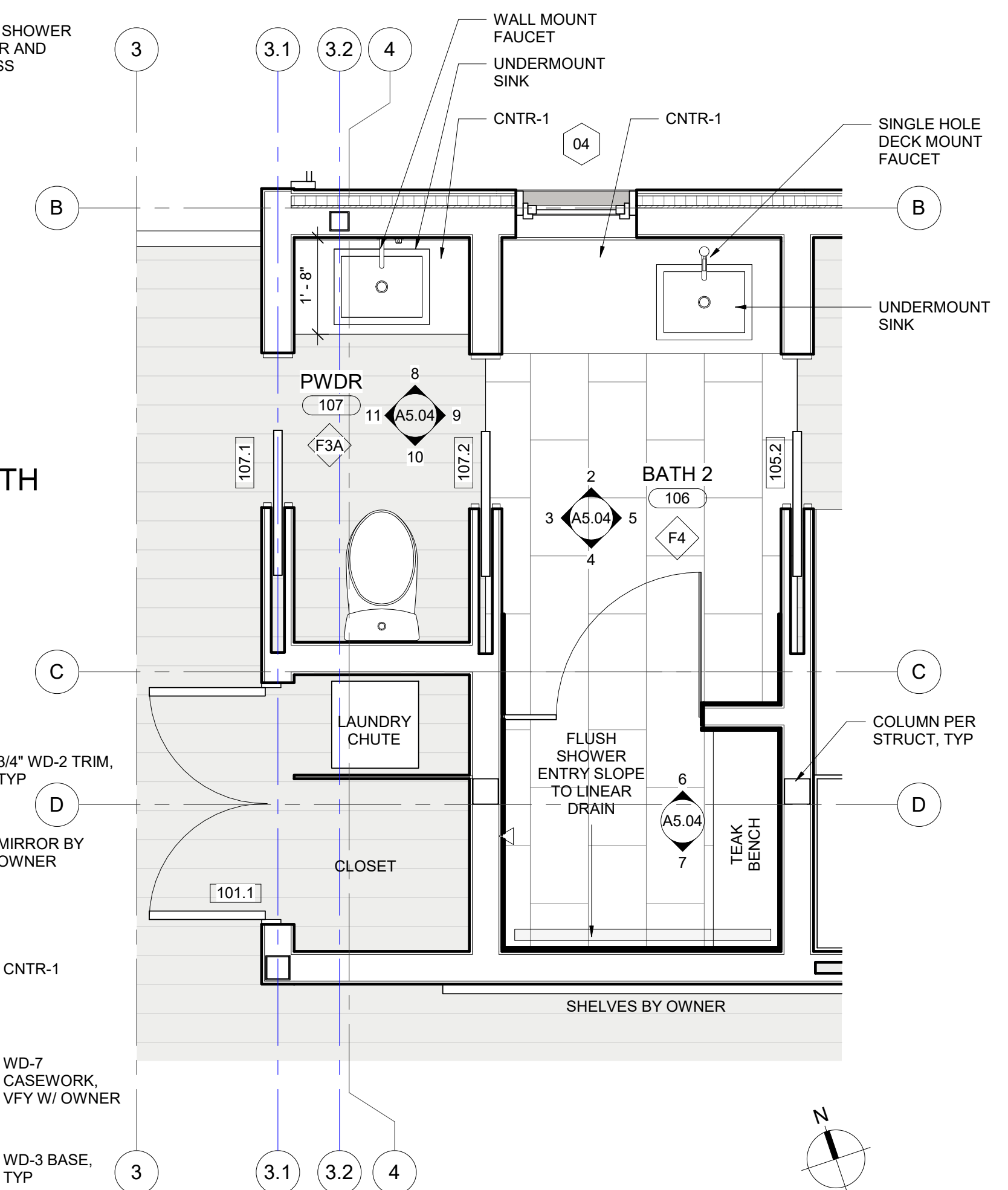
**4 BATH 2 - SOUTH**  
SCALE: 1/2" = 1'-0"



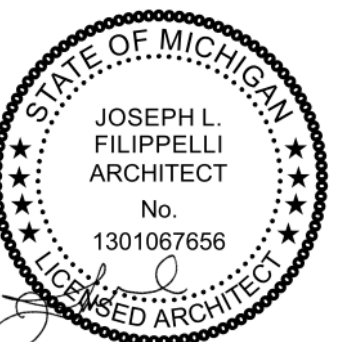
**3 BATH 2 - WEST**  
SCALE: 1/2" = 1'-0"



**2 BATH 2 - NORTH**  
SCALE: 1/2" = 1'-0"



**1 ENLARGED FLOOR PLAN - BATH 2 / POWDER / CLOSET**  
SCALE: 1/2" = 1'-0"



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

no. date by

CONSTRUCTION DOCUMENTS  
05.20.2022

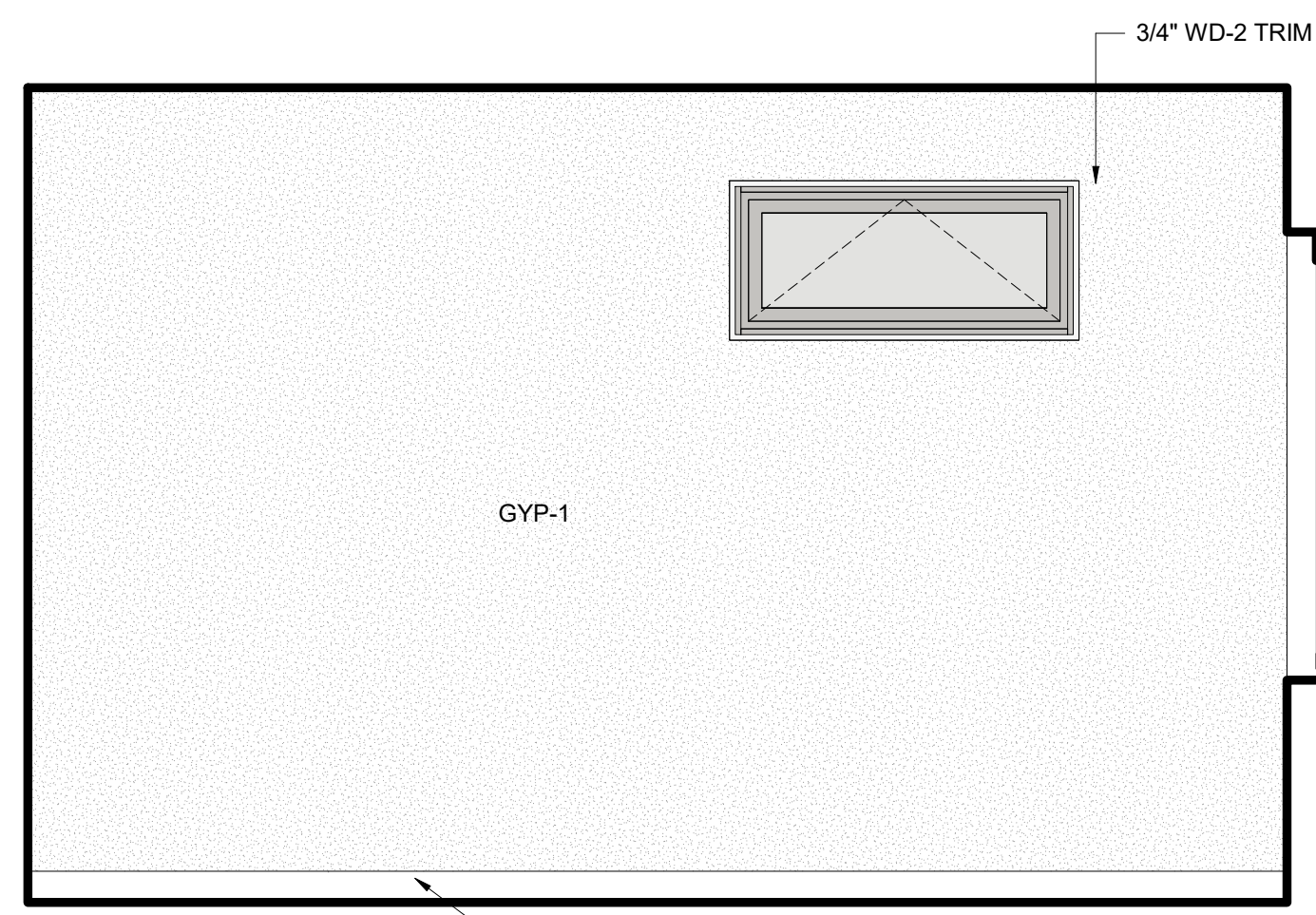
INTERIOR ELEVATIONS

**A5.04**

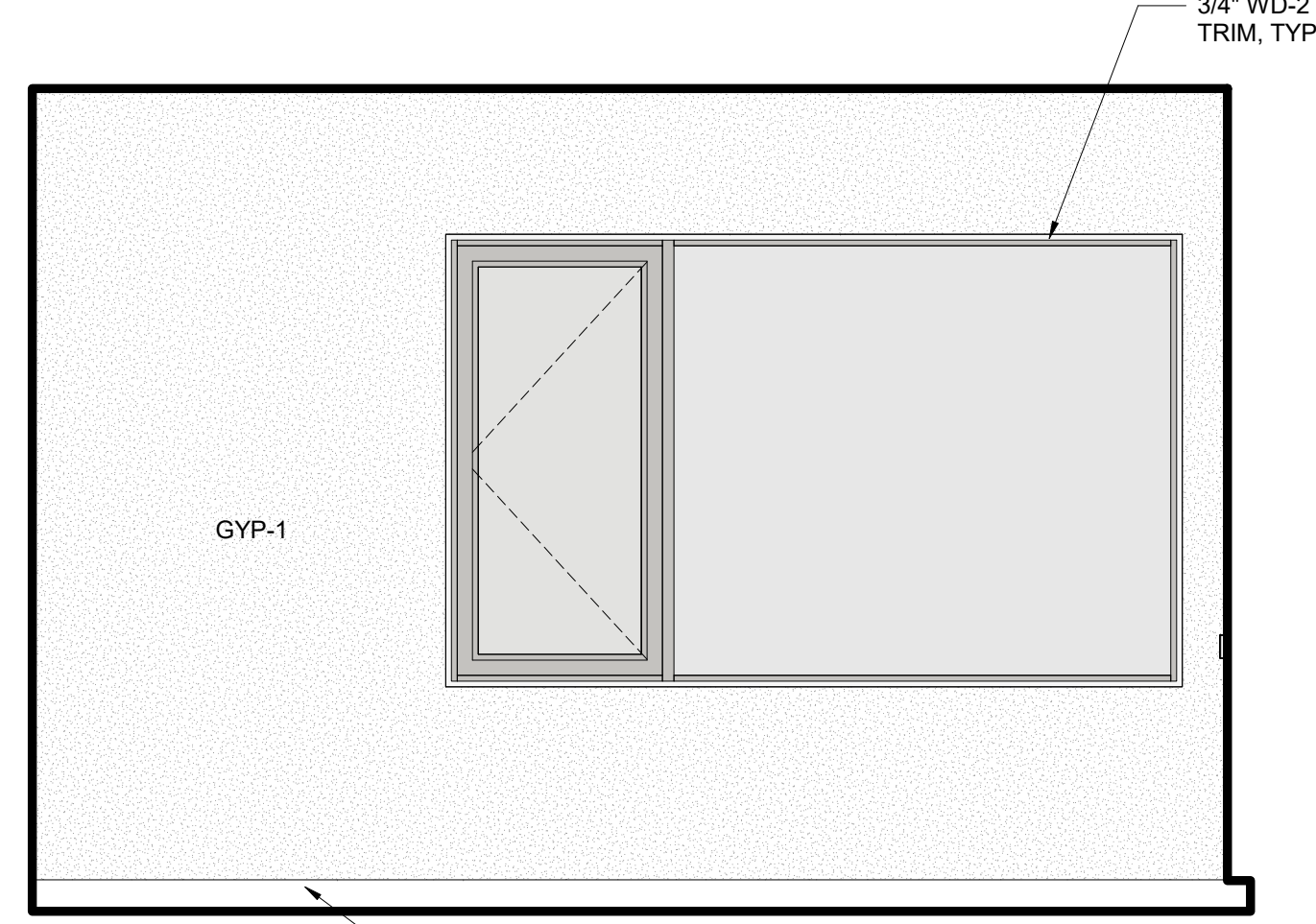




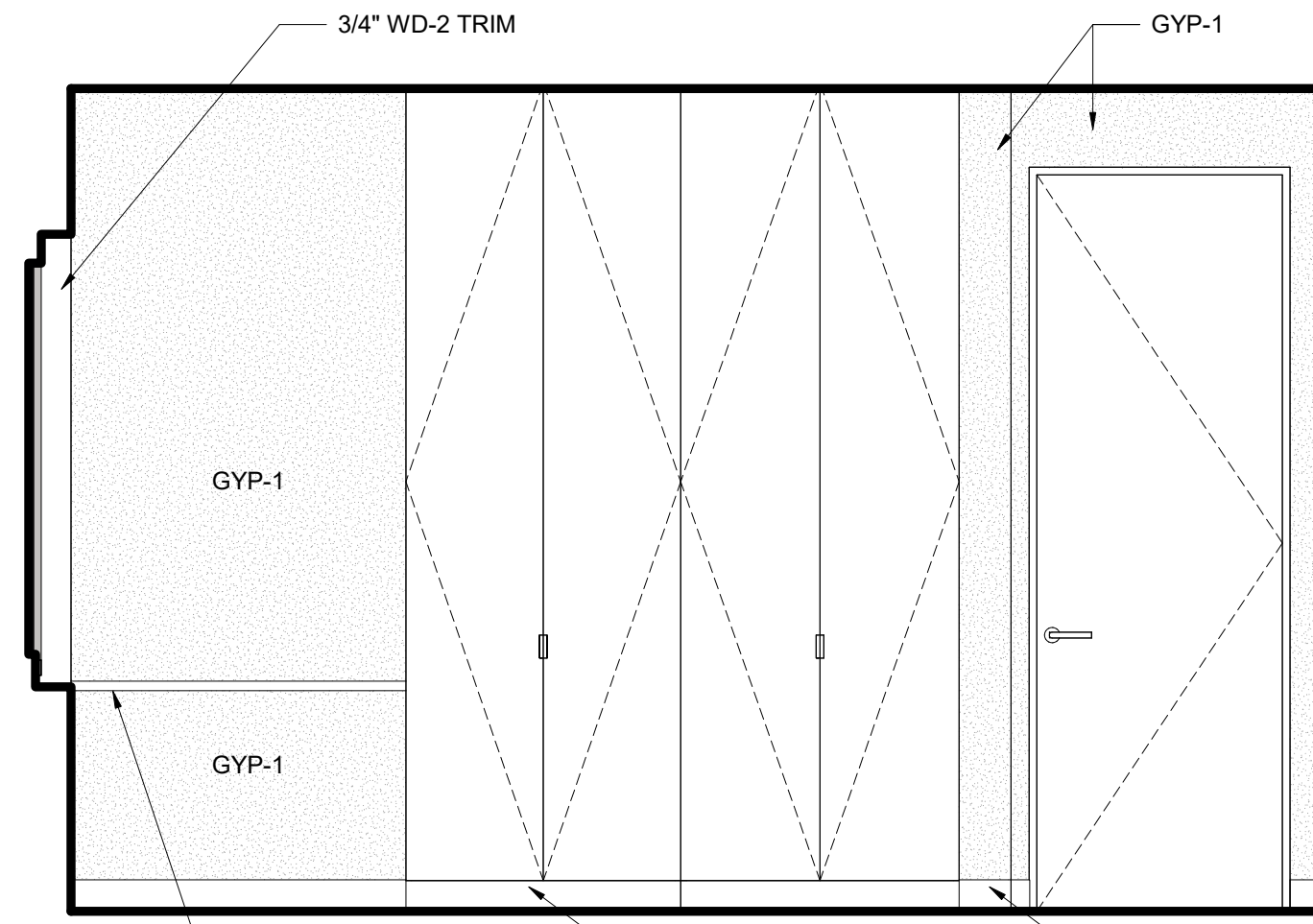




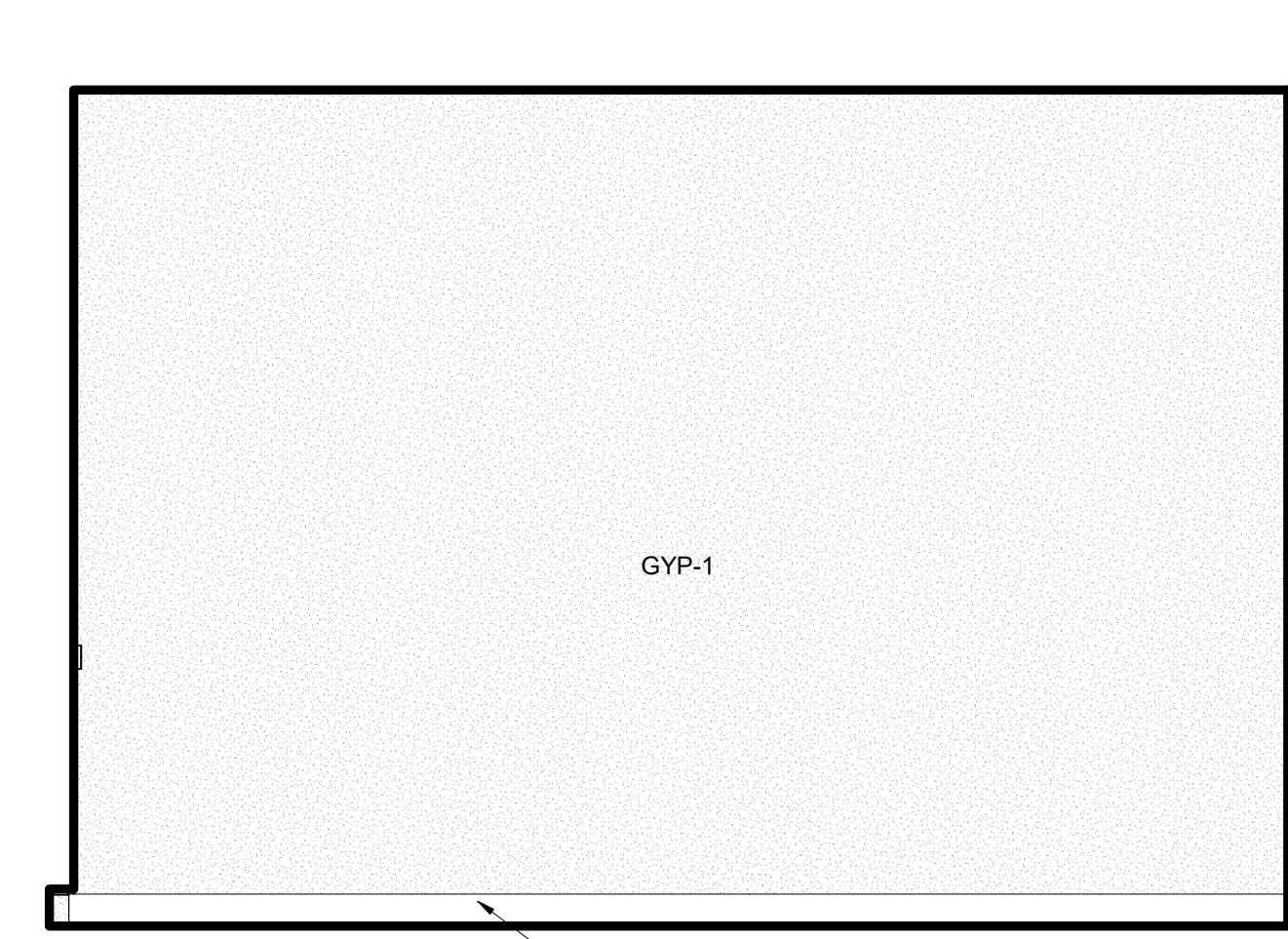
17 **BEDROOM 2 - EAST**  
SCALE: 1/2" = 1'-0"



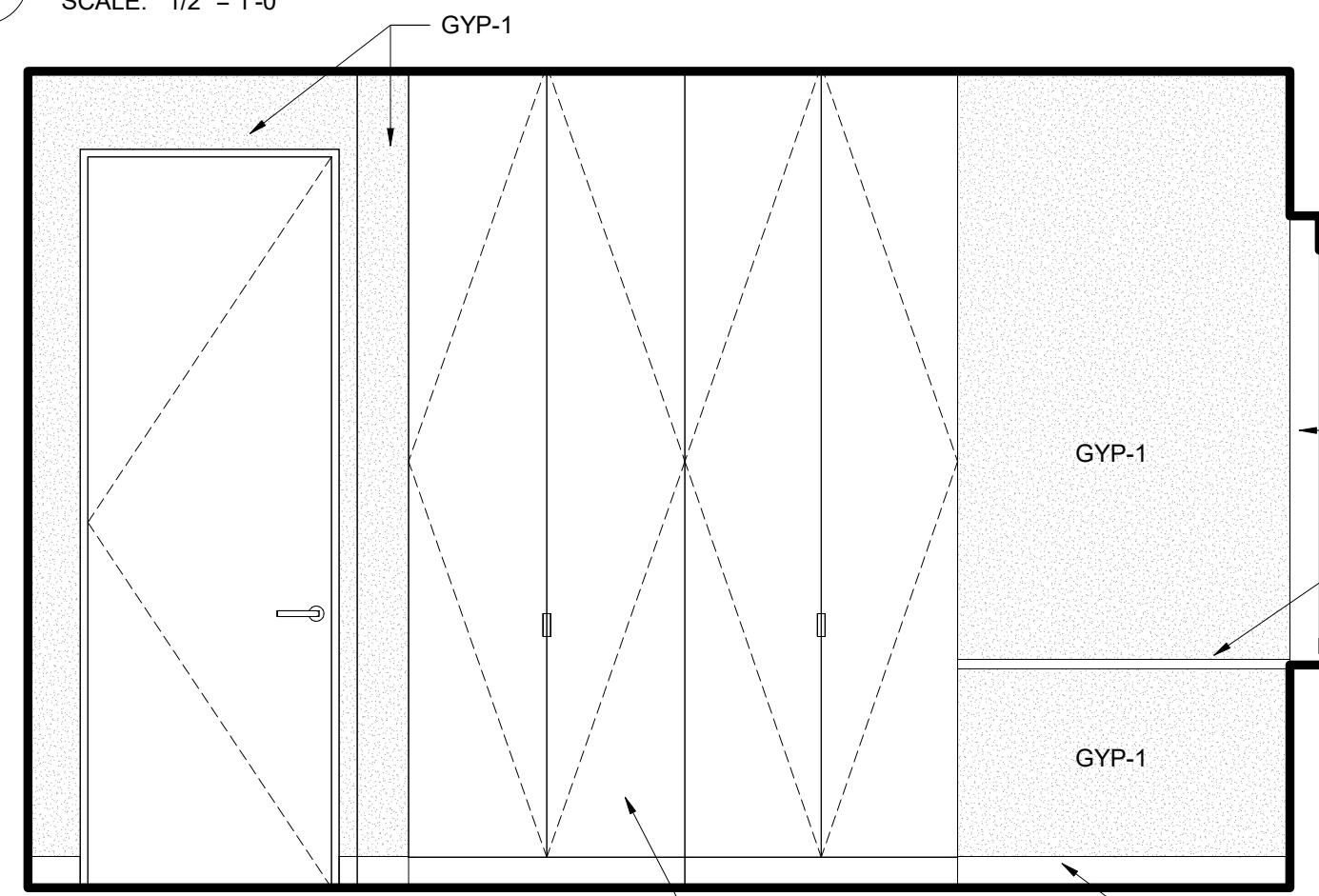
16 **BEDROOM 2 - SOUTH**  
SCALE: 1/2" = 1'-0"



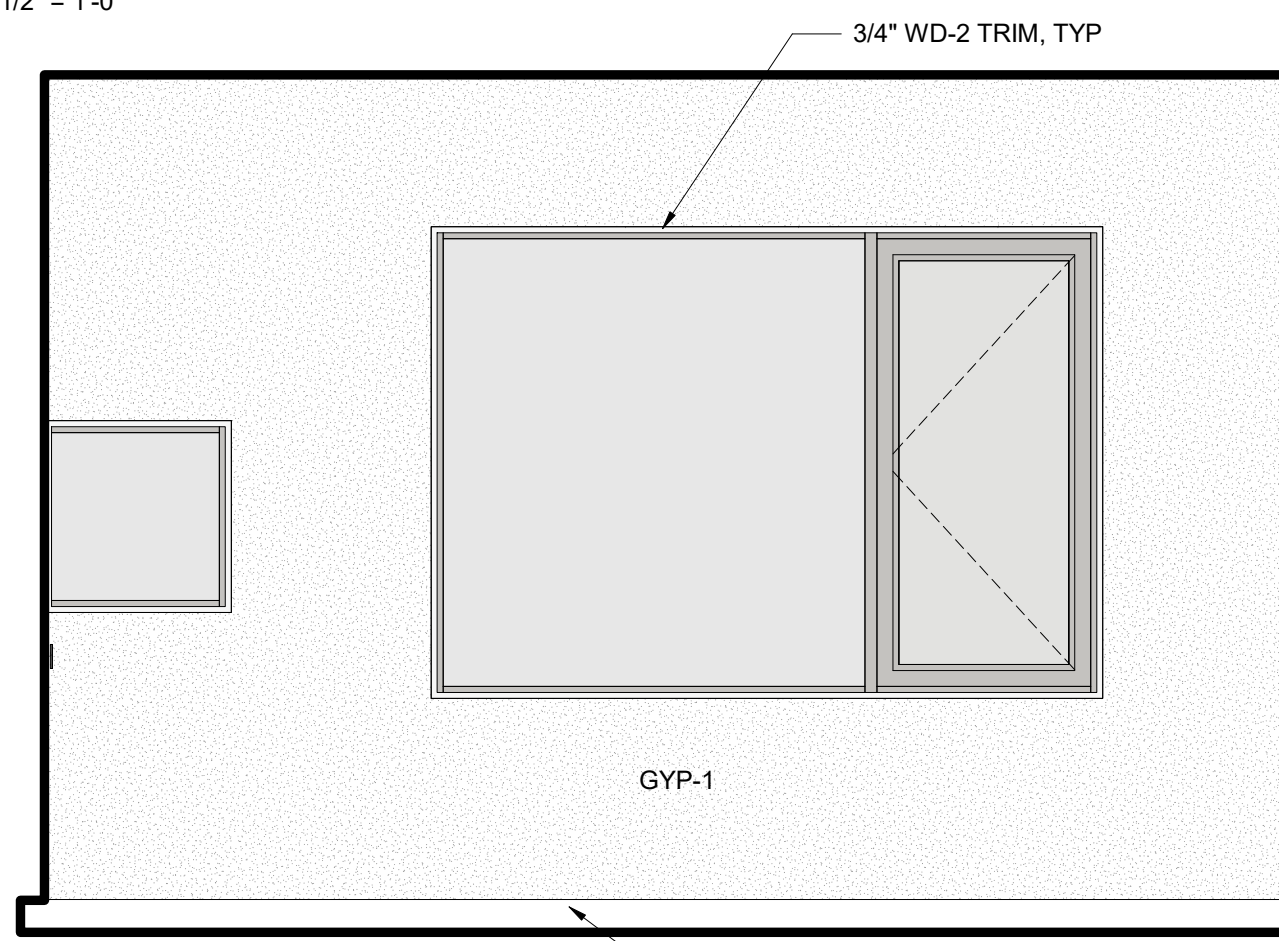
15 **BEDROOM 2 - WEST**  
SCALE: 1/2" = 1'-0"



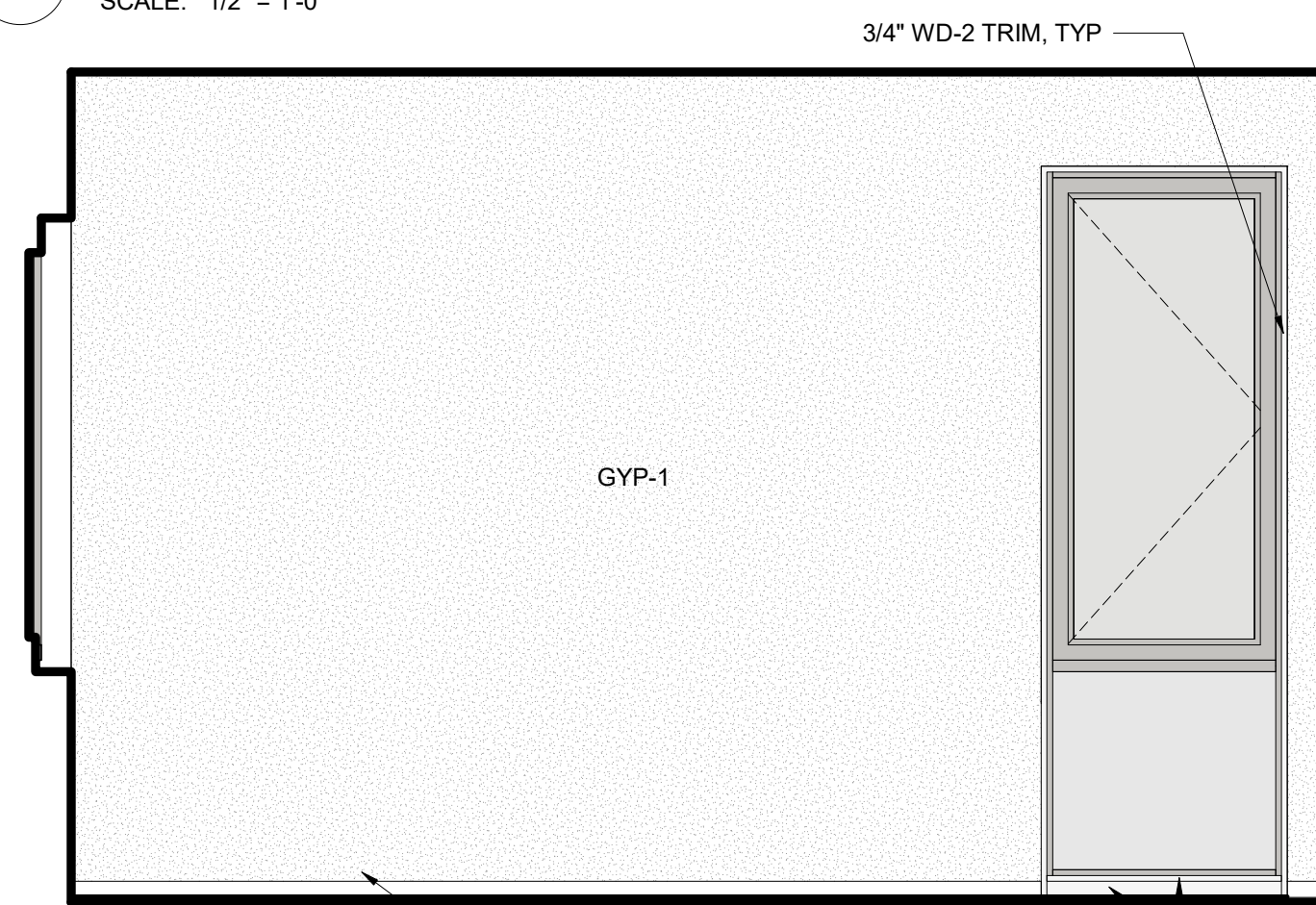
14 **BEDROOM 2 - NORTH**  
SCALE: 1/2" = 1'-0"



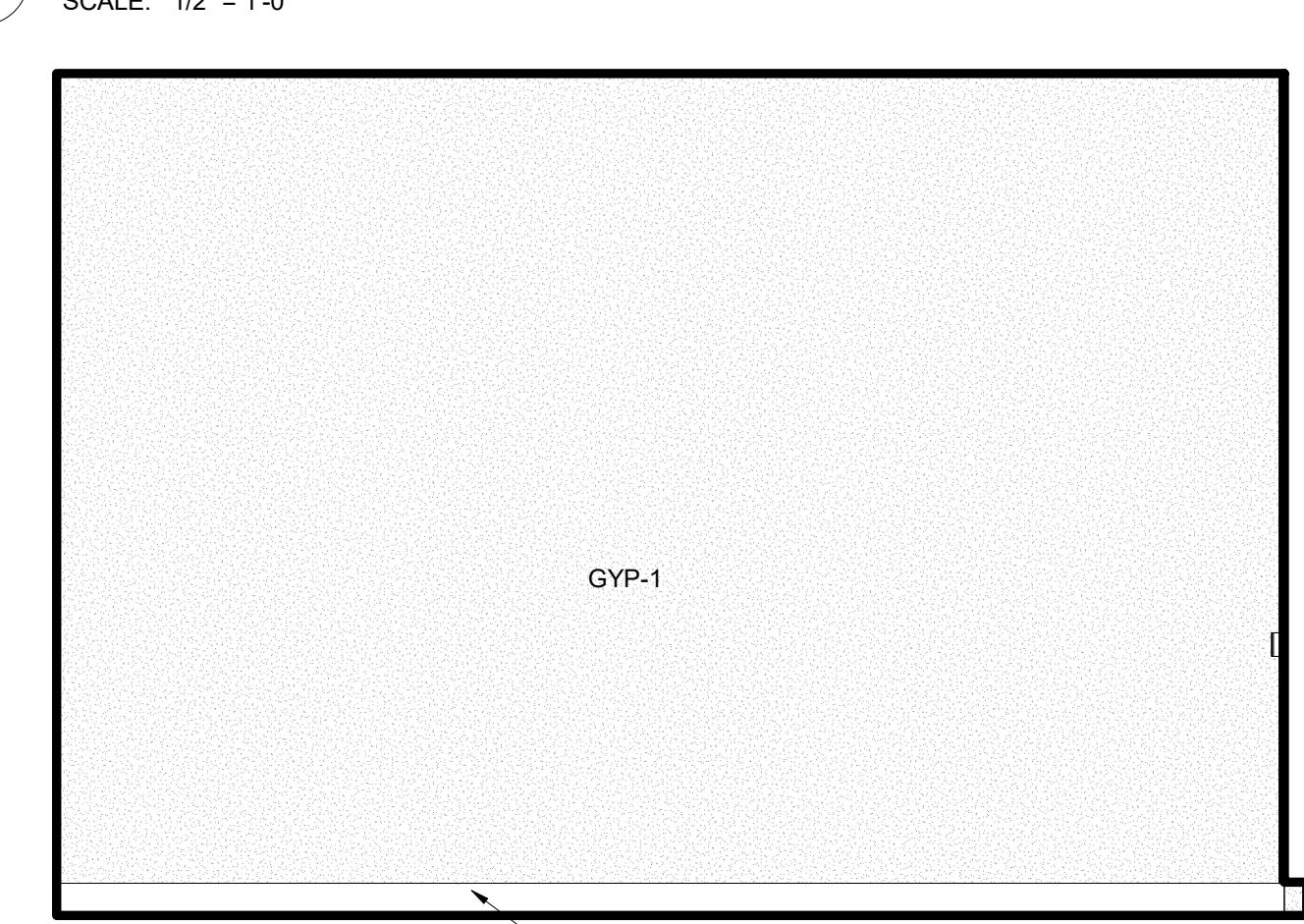
10 **BEDROOM 1 - EAST**  
SCALE: 1/2" = 1'-0"



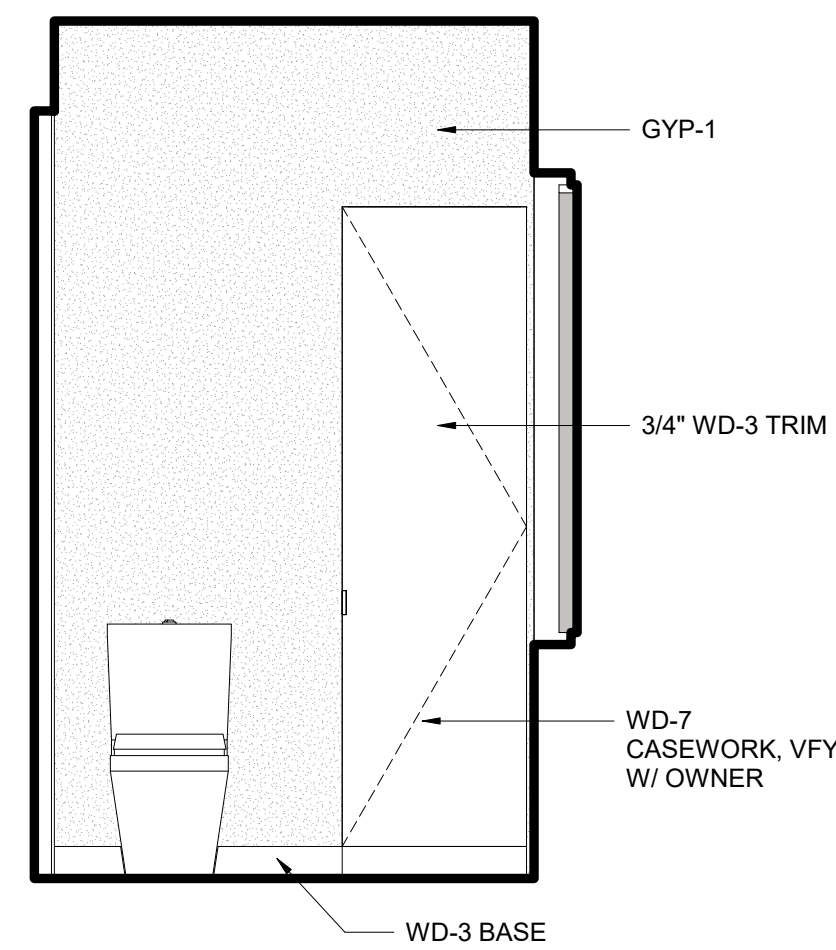
13 **BEDROOM 1 - SOUTH**  
SCALE: 1/2" = 1'-0"



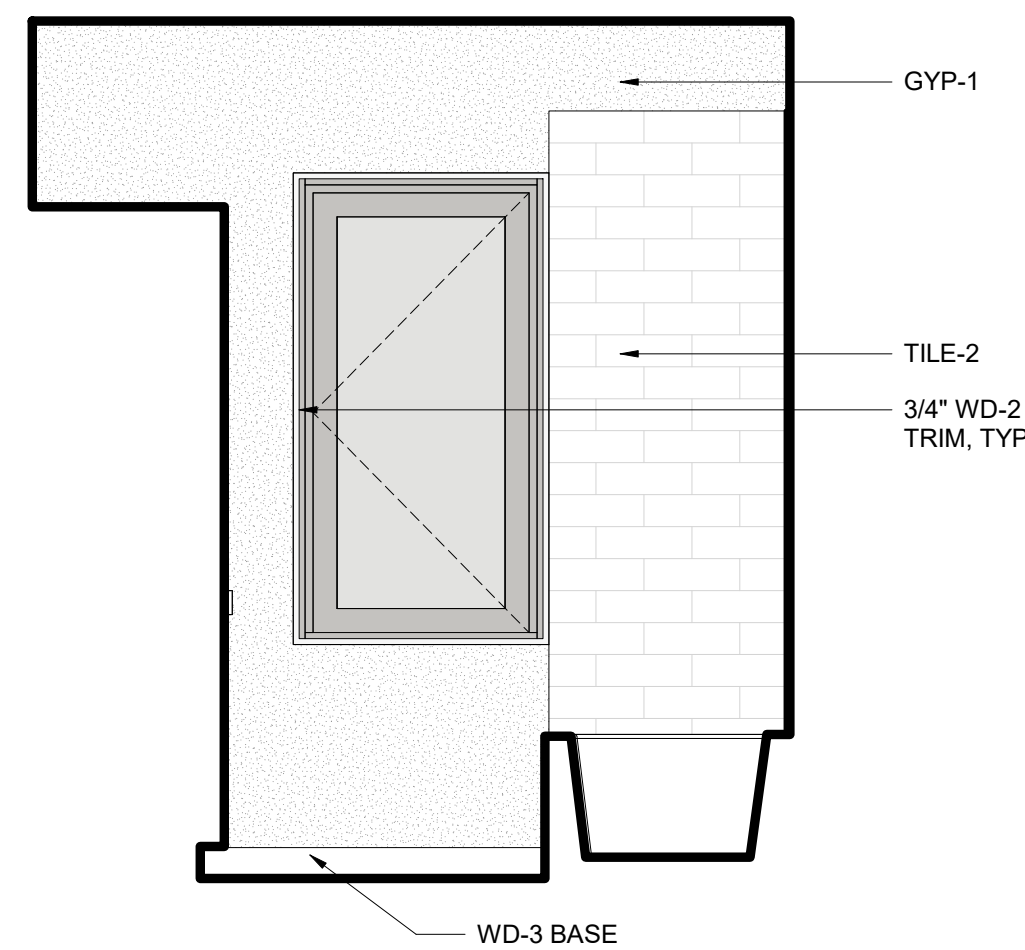
12 **BEDROOM 1 - WEST**  
SCALE: 1/2" = 1'-0"



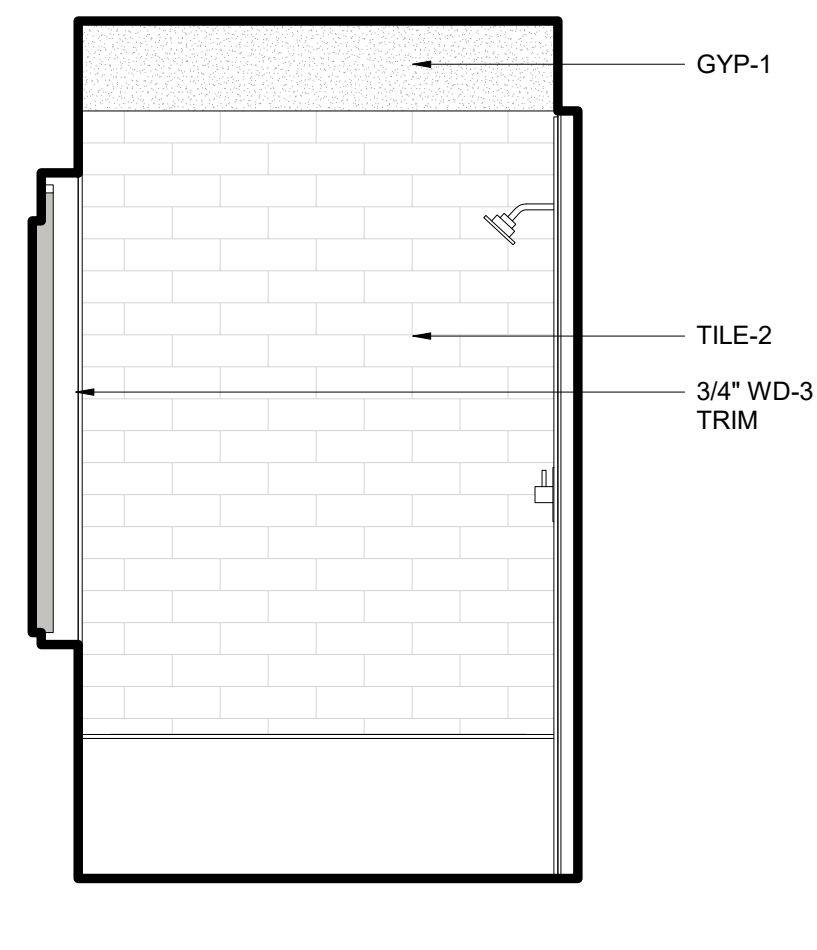
11 **BEDROOM 1 - NORTH**  
SCALE: 1/2" = 1'-0"



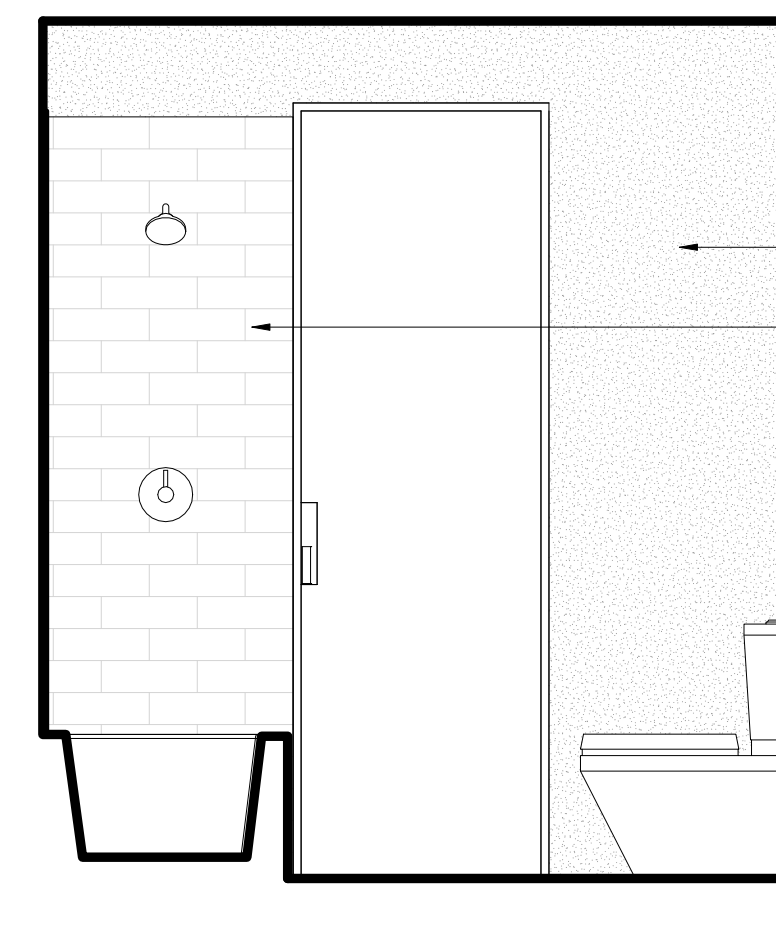
4 **BATH 3 - TUB EAST**  
SCALE: 1/2" = 1'-0"



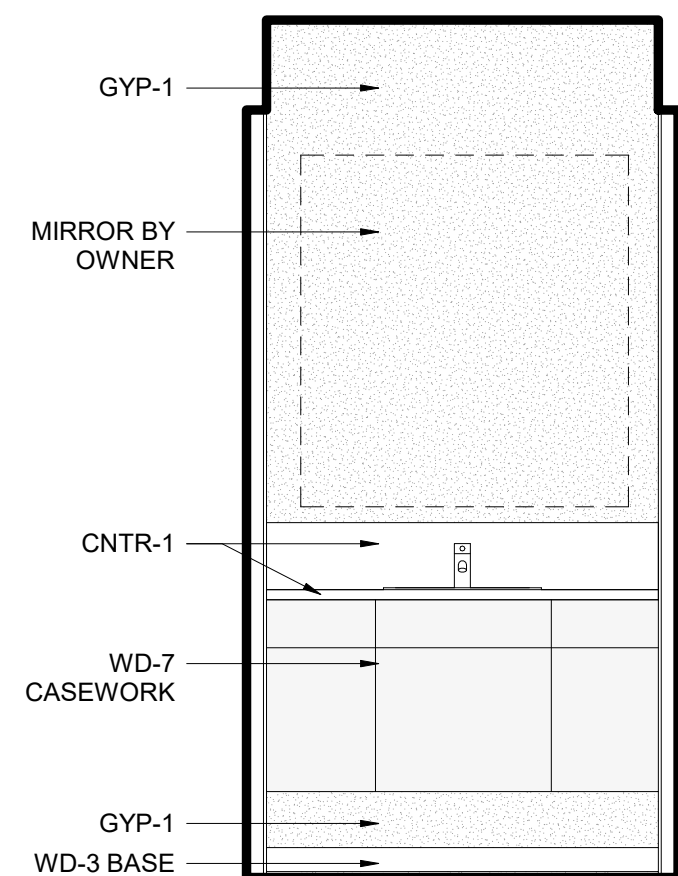
8 **BATH 3 - TUB SOUTH**  
SCALE: 1/2" = 1'-0"



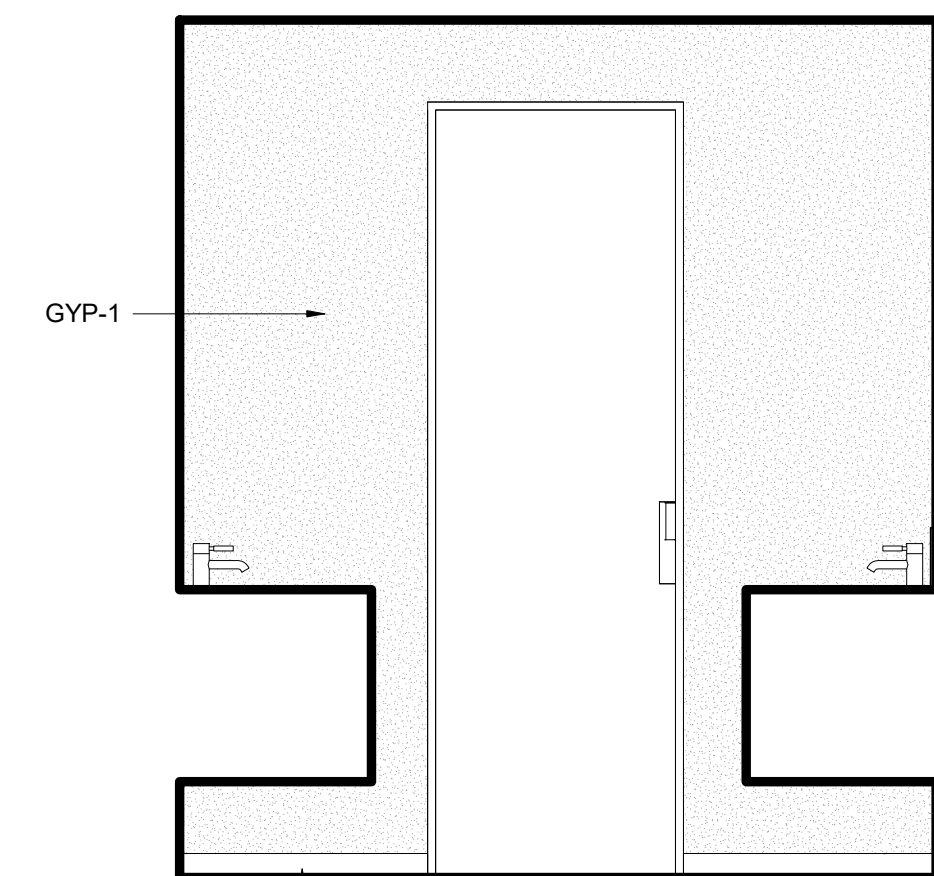
9 **BATH 3 - TUB WEST**  
SCALE: 1/2" = 1'-0"



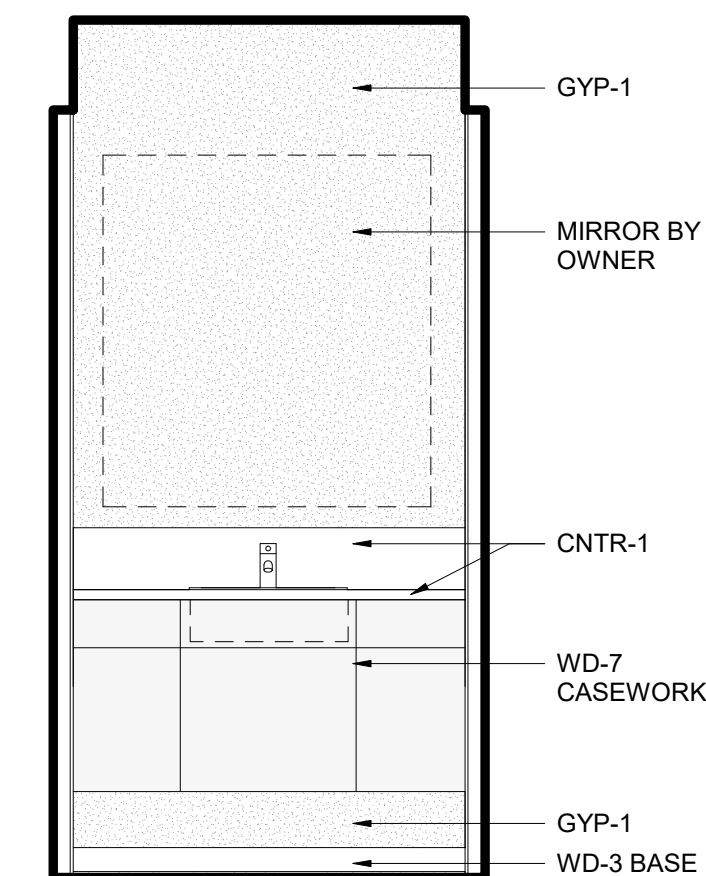
6 **BATH 3 - TUB NORTH**  
SCALE: 1/2" = 1'-0"



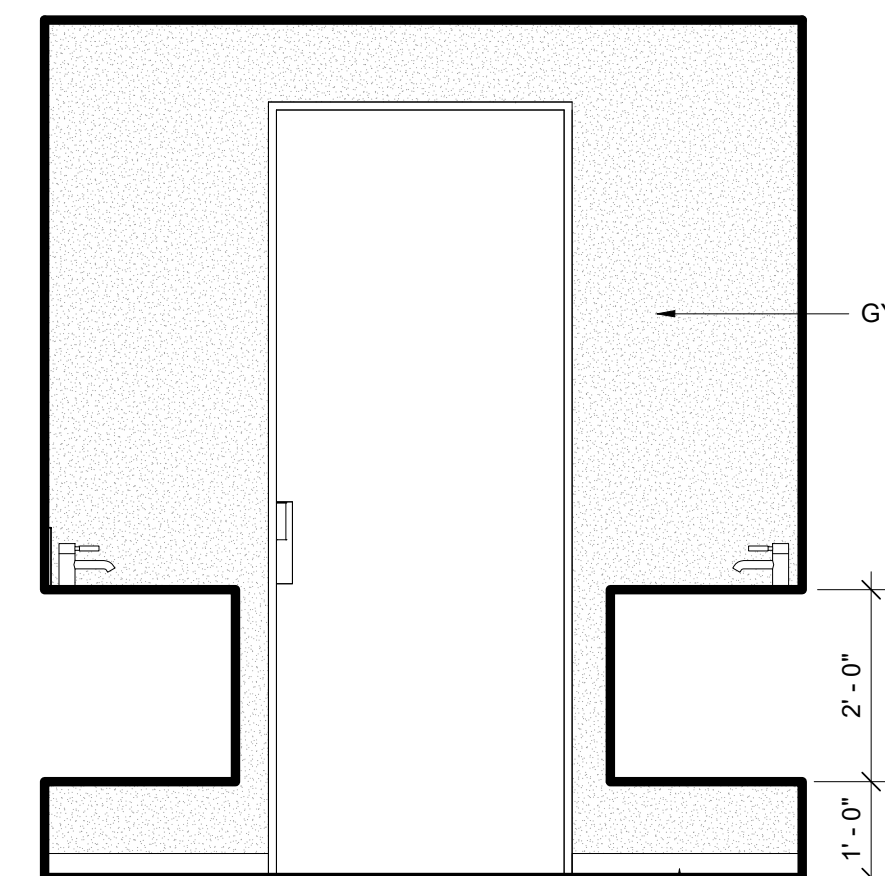
5 **BATH 3 - EAST**  
SCALE: 1/2" = 1'-0"



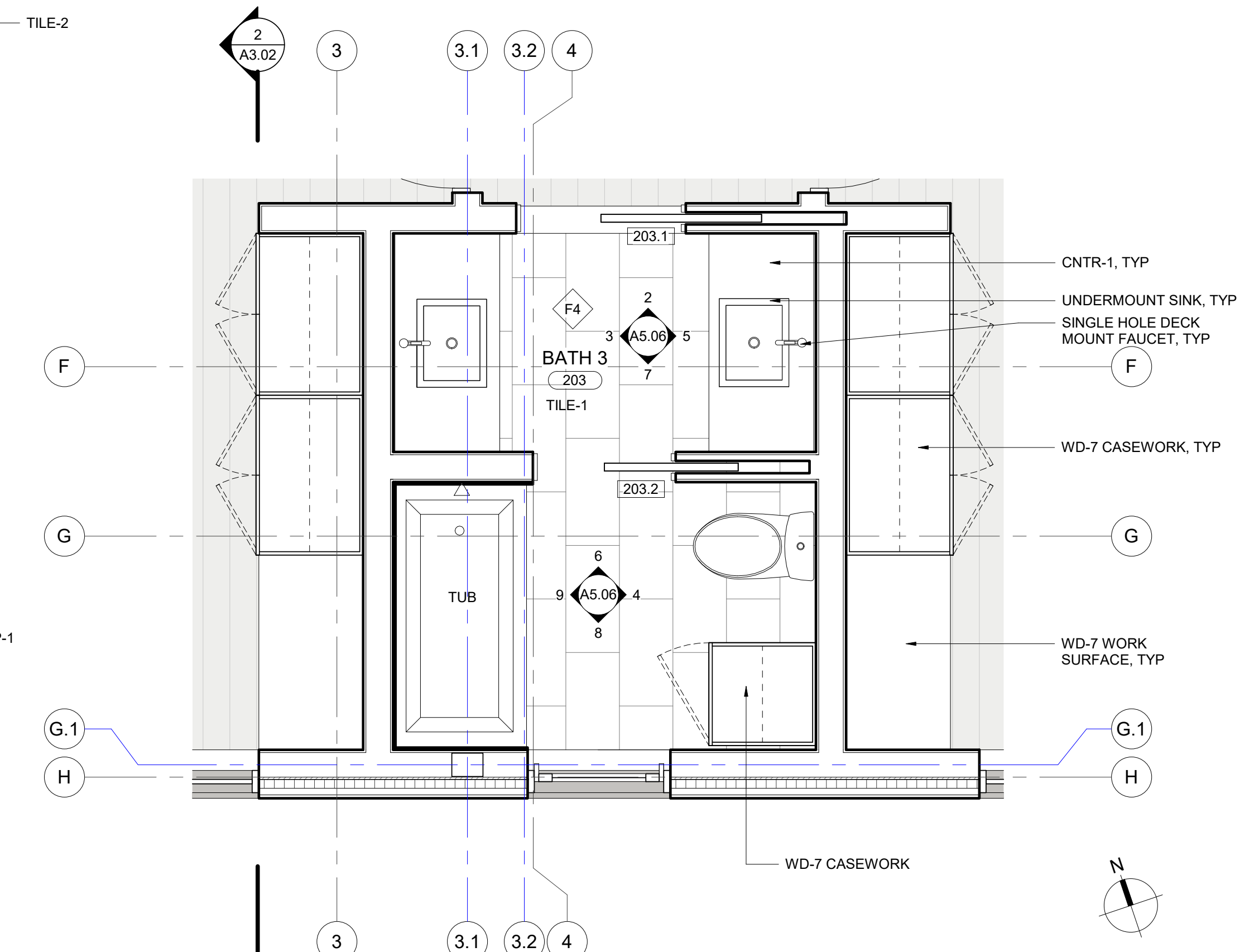
7 **BATH 3 - SOUTH**  
SCALE: 1/2" = 1'-0"



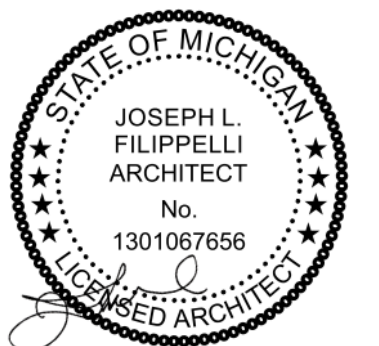
3 **BATH 3 - WEST**  
SCALE: 1/2" = 1'-0"



2 **BATH 3 - NORTH**  
SCALE: 1/2" = 1'-0"



1 **ENLARGED FLOOR PLAN - BATH 3**  
SCALE: 1/2" = 1'-0"



principal architect: JLF  
drawn by: MB  
job no.: 20\_012  
date: 05.20.2022

revisions:

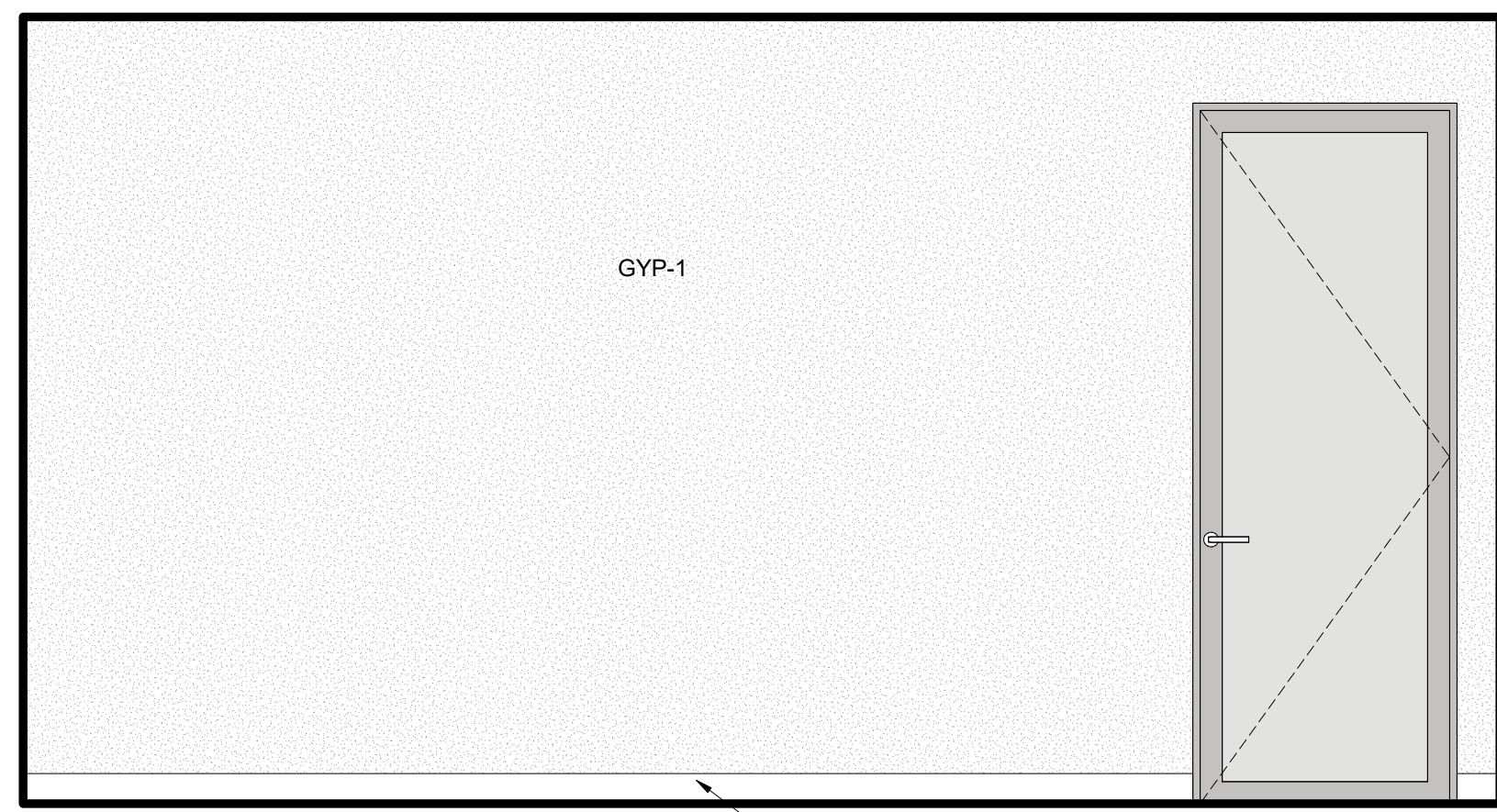
no. date by

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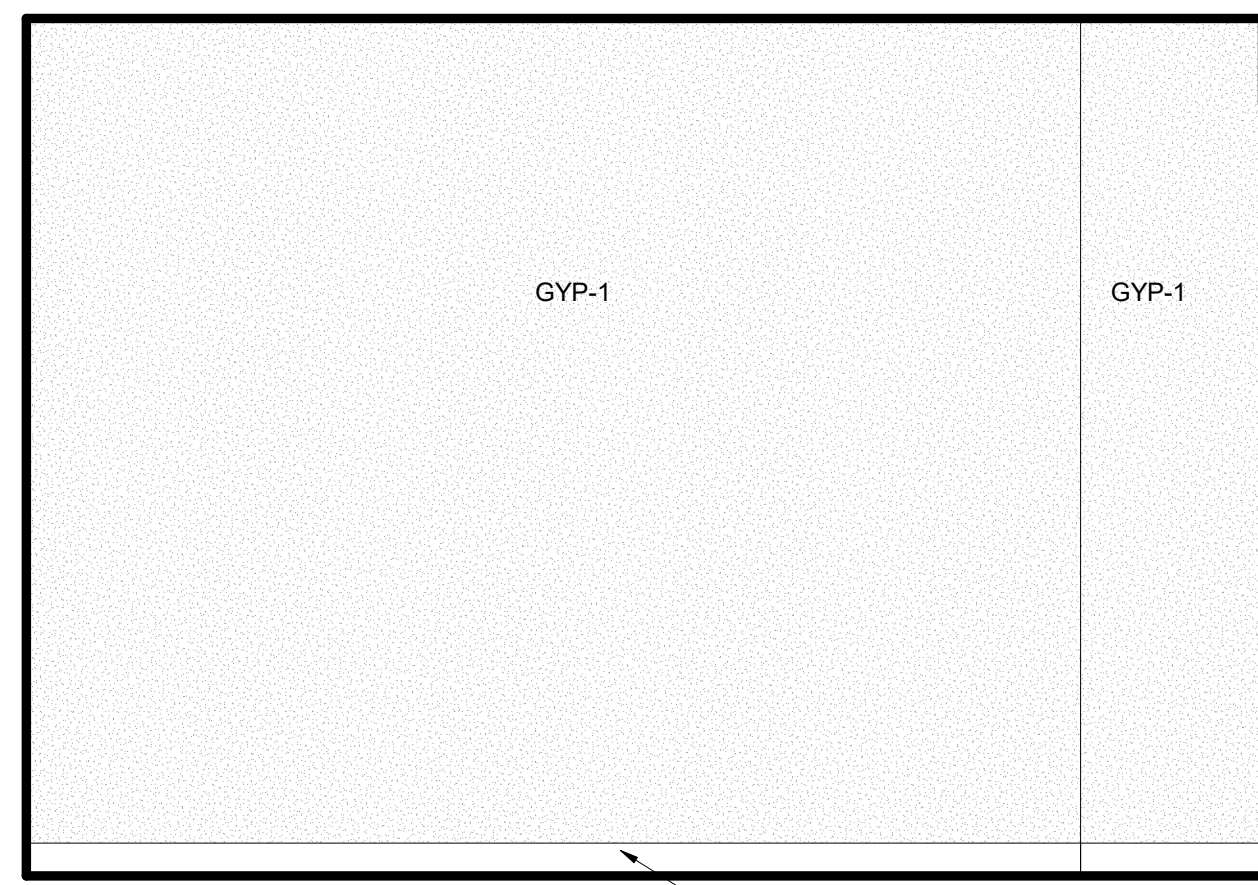
INTERIOR ELEVATIONS

**A5.06**

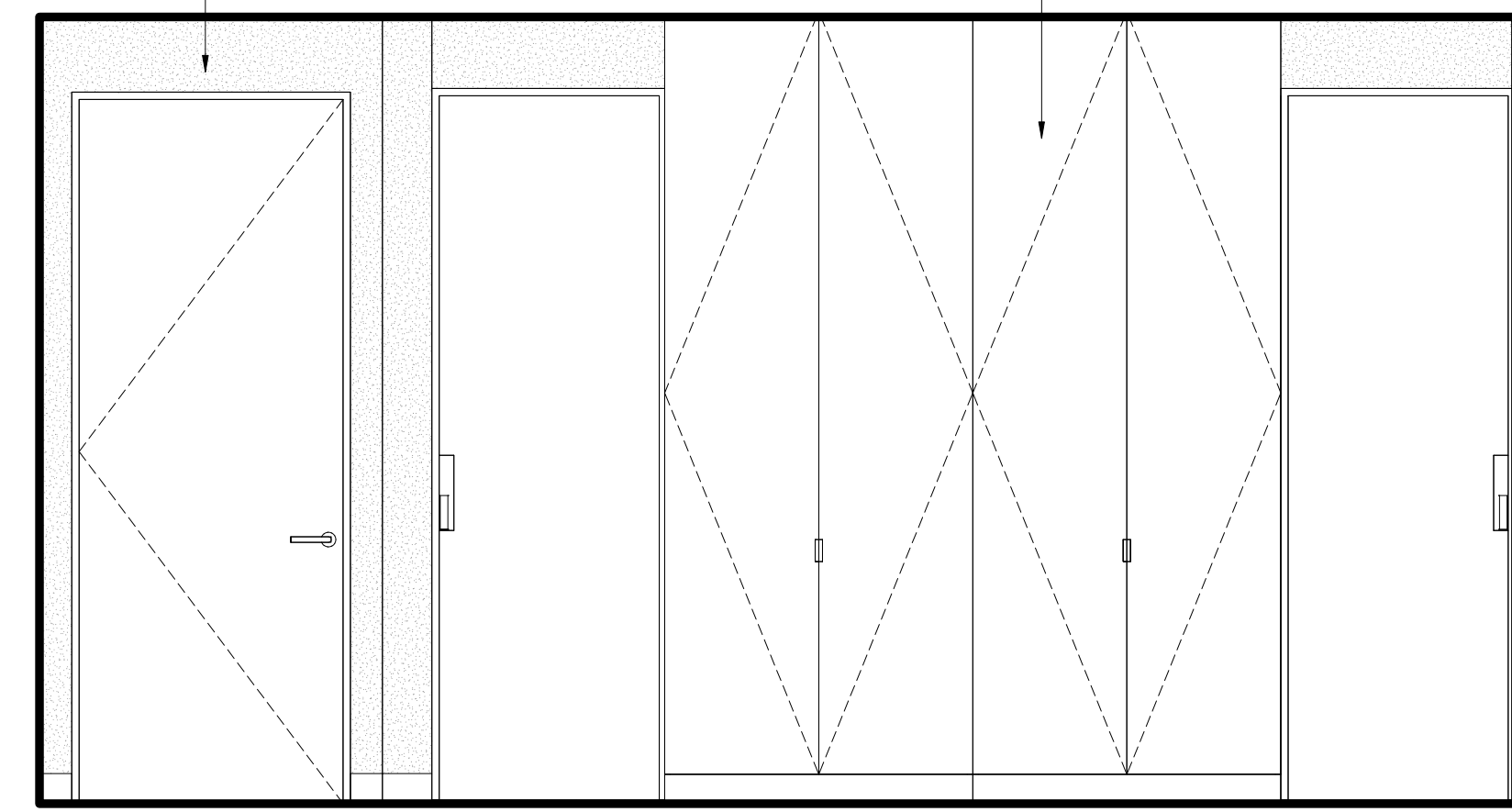




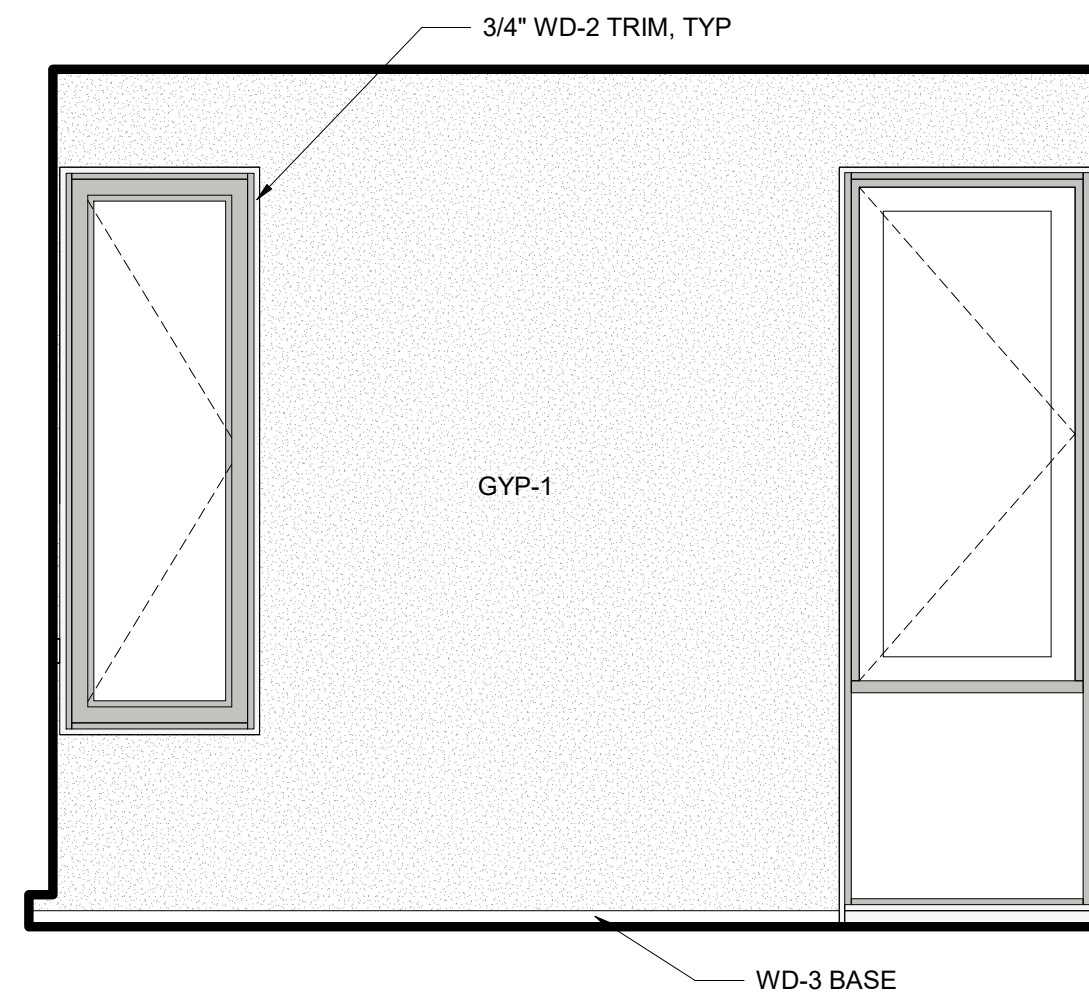
12 MASTER BEDROOM - EAST  
 SCALE: 1/2" = 1'-0"



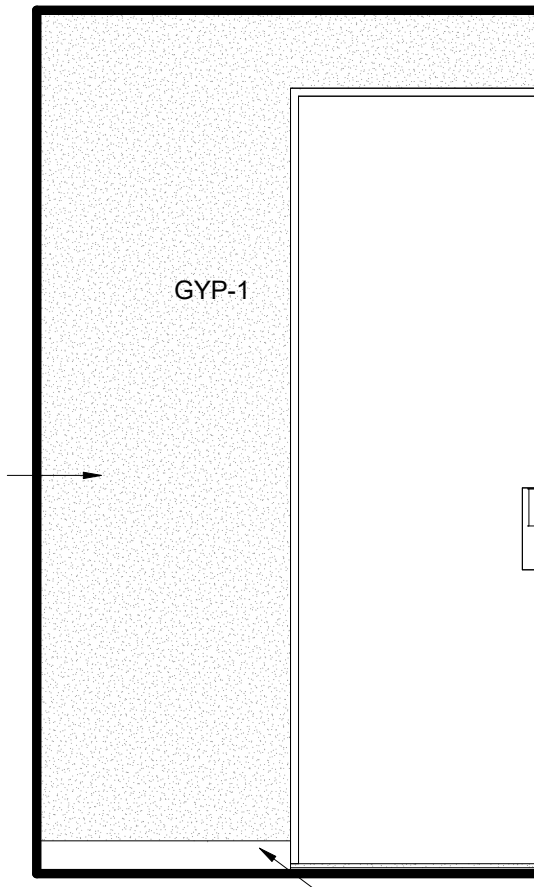
13 MASTER BEDROOM - SOUTH  
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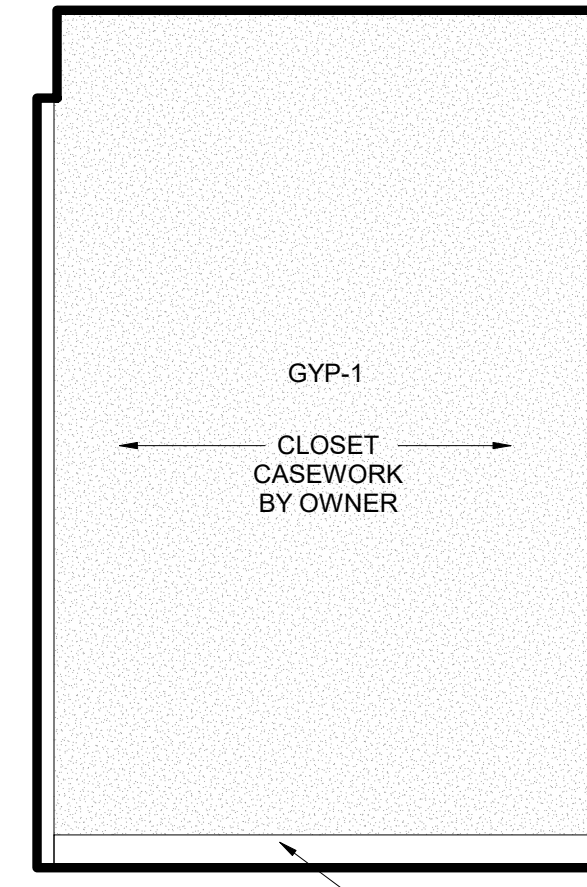
14 MASTER BEDROOM - WEST  
 SCALE: 1/2" = 1'-0"



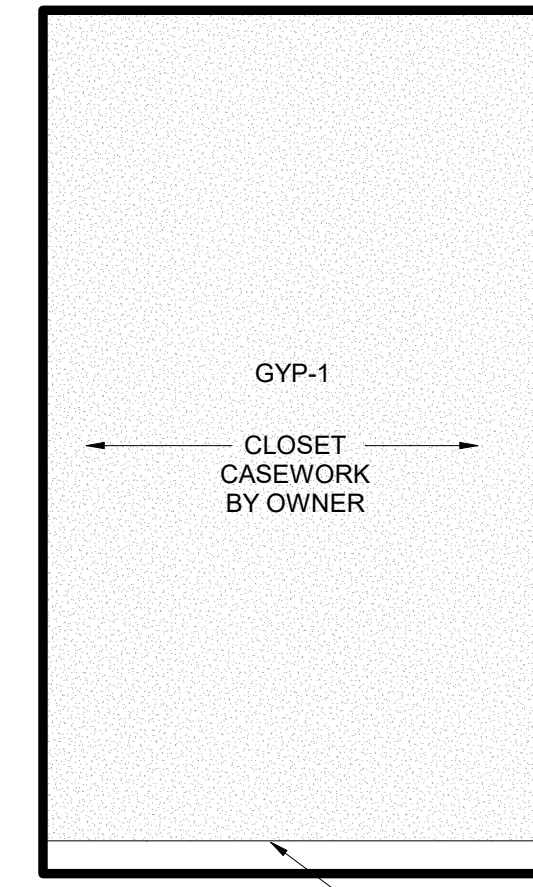
11 MASTER BEDROOM - NORTH  
 SCALE: 1/2" = 1'-0"



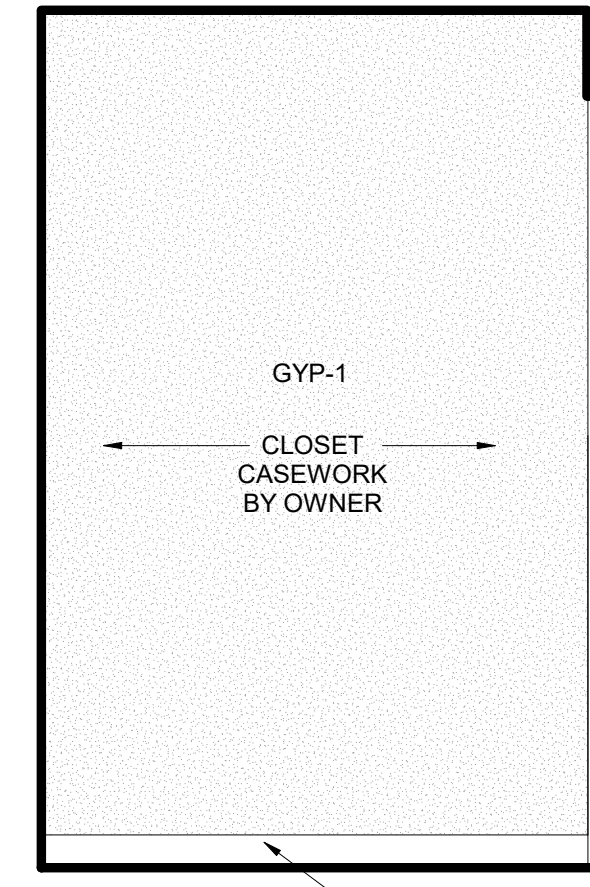
10 MASTER CLOSET - EAST  
 SCALE: 1/2" = 1'-0"



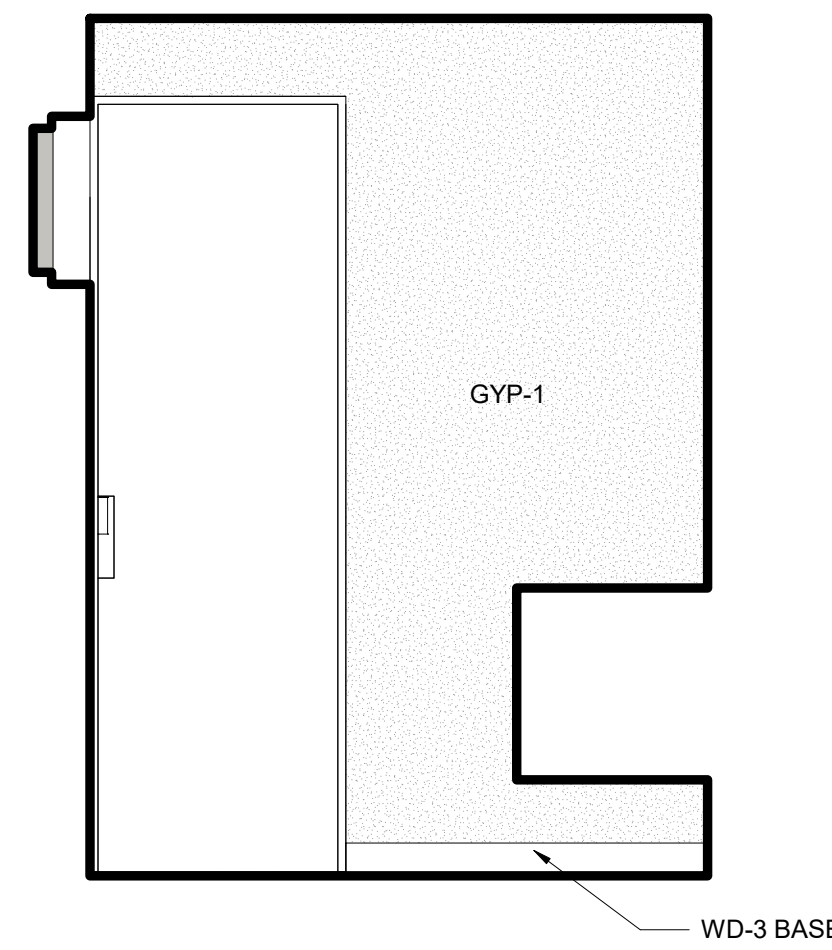
9 MASTER CLOSET - SOUTH  
 SCALE: 1/2" = 1'-0"



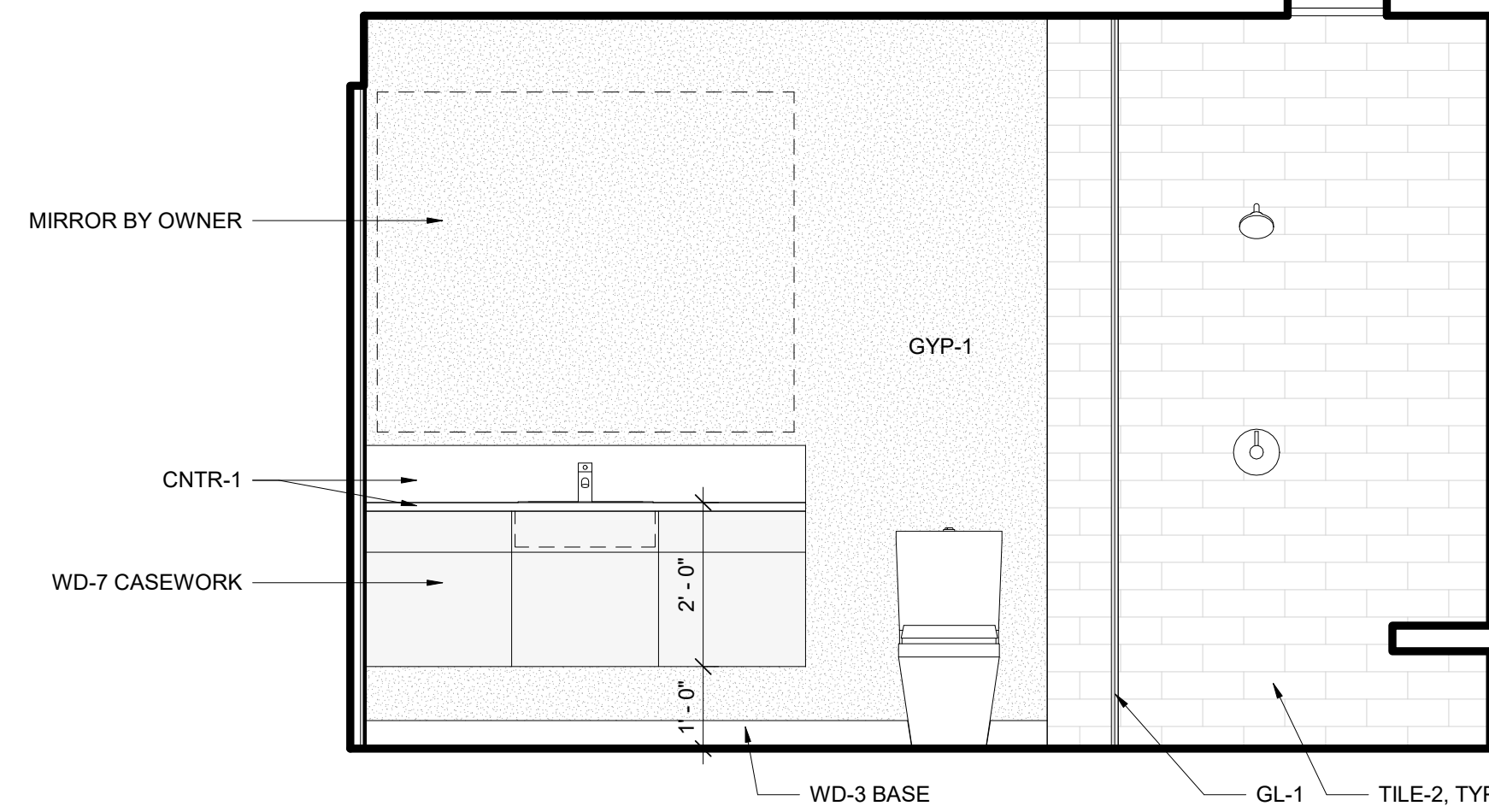
8 MASTER CLOSET - WEST  
 SCALE: 1/2" = 1'-0"



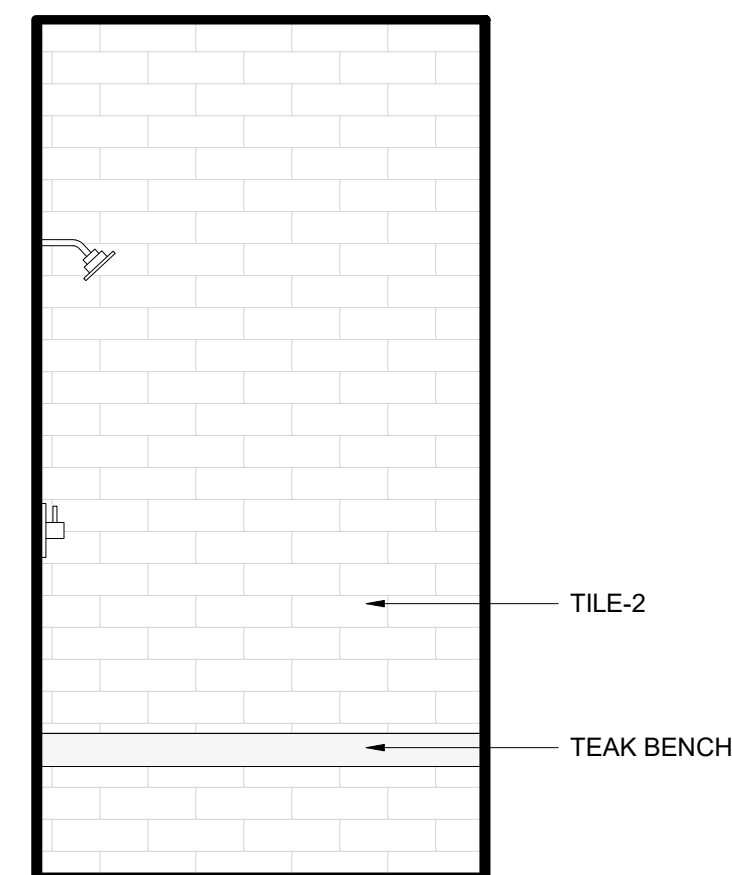
7 MASTER CLOSET - NORTH  
 SCALE: 1/2" = 1'-0"



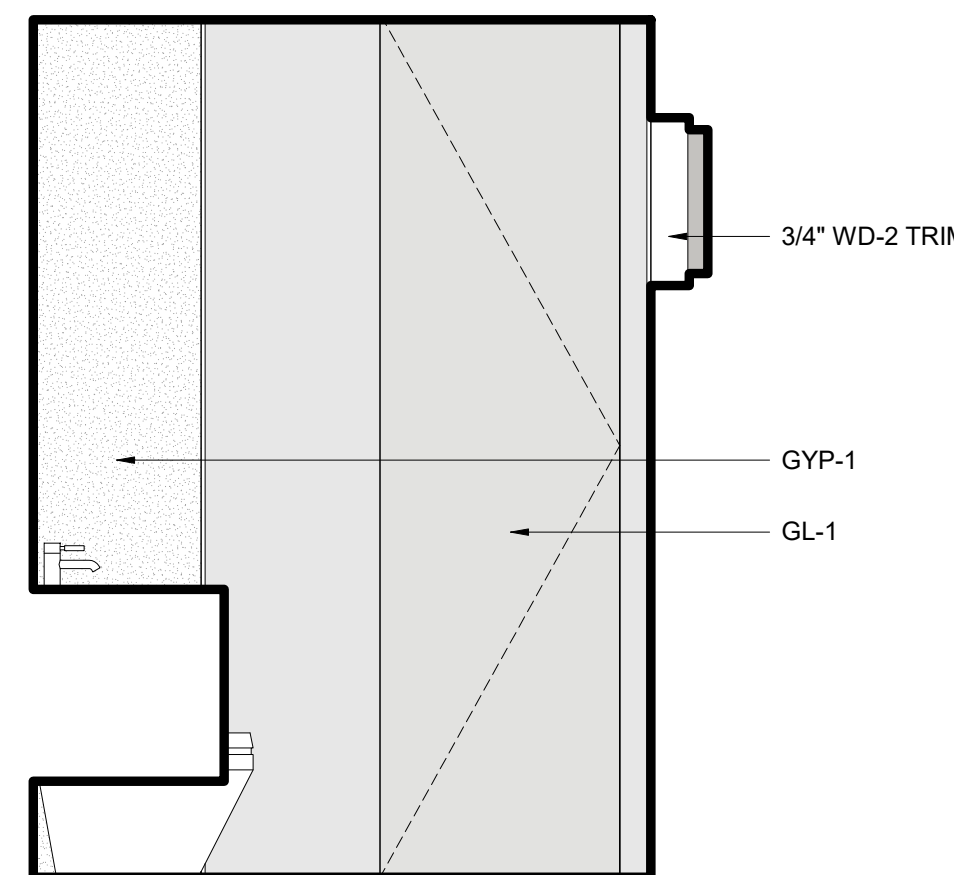
6 MASTER BATH - EAST  
 SCALE: 1/2" = 1'-0"



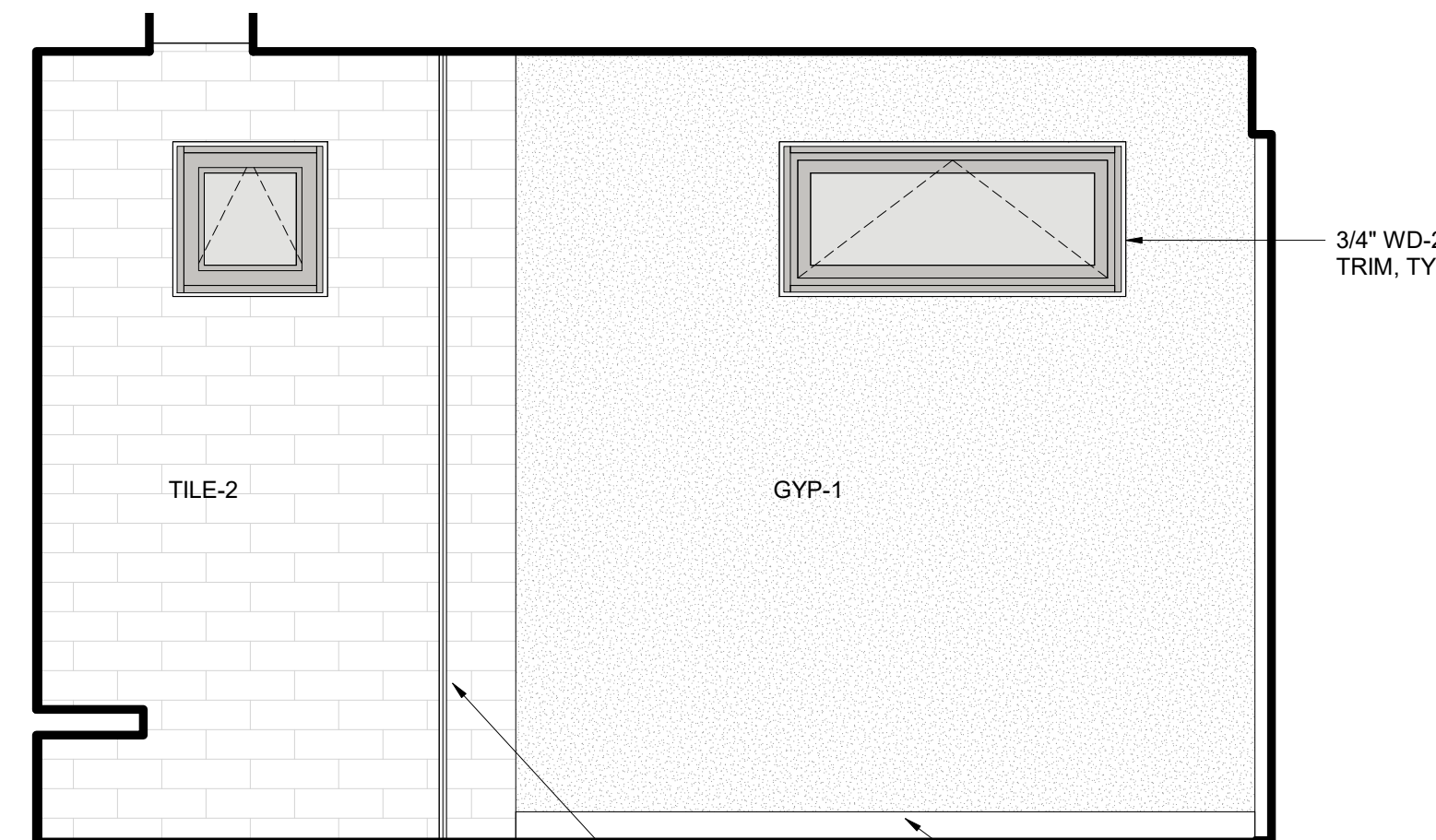
4 MASTER BATH - SOUTH  
 SCALE: 1/2" = 1'-0"



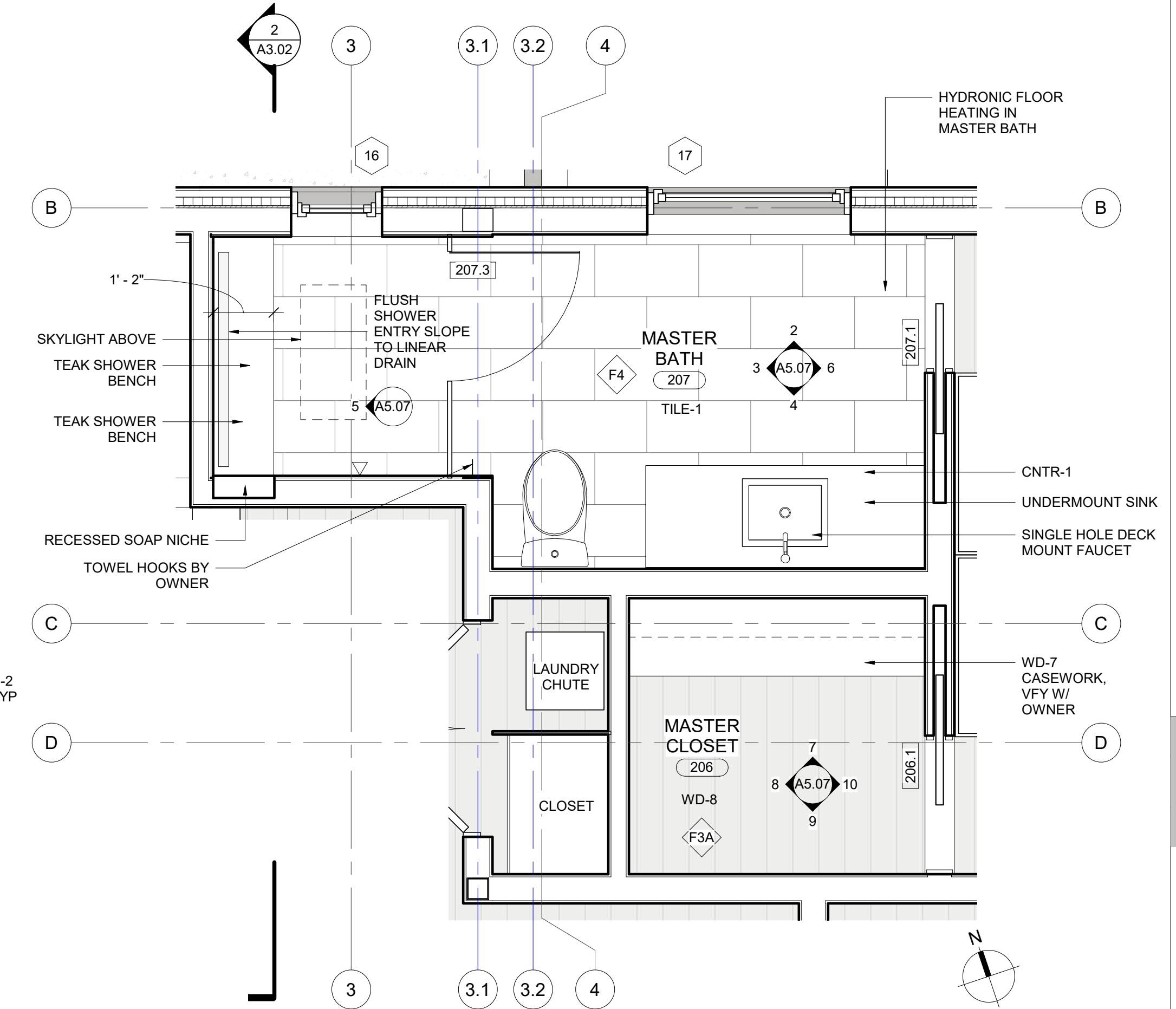
5 MASTER BATH - WEST SHOWER  
 SCALE: 1/2" = 1'-0"



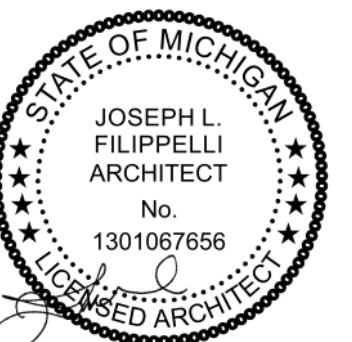
3 MASTER BATH - WEST  
 SCALE: 1/2" = 1'-0"



2 MASTER BATH - NORTH  
 SCALE: 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - MASTER BATH  
 SCALE: 1/2" = 1'-0"



principal architect JLF  
 drawn by MB  
 job no. 20.012  
 date 05.20.2022

revisions:

no. date by

CONSTRUCTION DOCUMENTS  
 05.20.2022

INTERIOR ELEVATIONS

A5.07



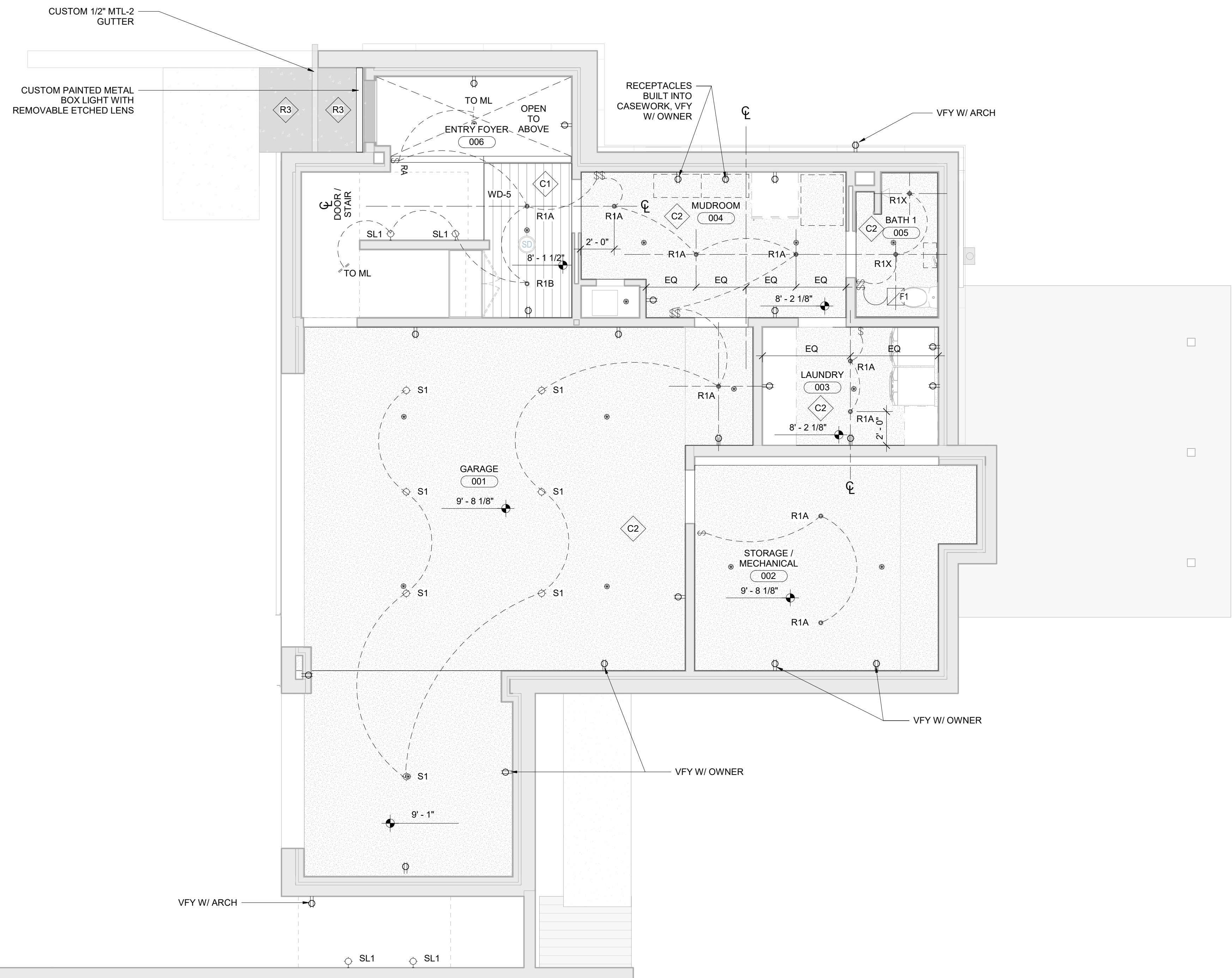
**ELECTRICAL NOTES**

- ◇ INDICATES ASSEMBLY, SEE A0.10
- 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
- 2. CIRCUIT DIAGRAM INFORMATION BELOW TO GIVE INTENT FOR NUMBER OF CIRCUITS. VERIFY SWITCH BANK LOCATIONS W/ ARCHITECT & OWNER PRIOR TO ROUGH IN.
- 3. RCP COORDINATION: COORDINATE ALL LIGHT FIXTURE, FAN, SMOKE DETECTOR, ETC. LOCATIONS WITH FRAMING AND CONCRETE PRIOR TO FRAMING INSTALLATION AND CONCRETE POURS. LOCATE FRAMING TO ACCOMMODATE SPECIFIED FIXTURE LOCATIONS, NOTIFY ARCHITECT OF CONFLICTS. DO NOT CHANGE FIXTURE LOCATIONS WITHOUT ARCHITECT'S APPROVAL
- 4. RCP COORDINATION: PRIOR TO FRAMING ROOFS AND CEILINGS, ALL FIXTURES SHOULD BE SUBMITTED AND APPROVED BY ARCHITECT. CONTRACTOR SHALL THEN PURCHASE A HOUSE OF EACH TYPE OF FIXTURE (BEFORE LAYING OUT FRAMING) TO VERIFY THE SPACE REQUIRED AT EACH FIXTURE.
- 5. RCP COORDINATION: LIGHT FIXTURE LOCATIONS IN WOOD CEILING TO BE COORDINATED WITH BOARD LAYOUT SO THAT TRIMS ARE CENTERED ON BOARD WIDTH. UNO
- 6. WALK-THROUGH: HANG ALL LIGHT FIXTURES, SWITCH BOXES, AND OUTLETS FOR WALK-THROUGH LOCATIONS WITH ARCHITECT AND OWNER TO VERIFY FINAL LOCATIONS, PRIOR TO INSTALLING WIRING.
- 7. SWITCHES: CENTERLINE OF SWITCH PLATES WILL BE 40" AFF, UNO (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 8. OUTLETS: ALL OUTLETS MOUNTED VERTICALLY @ 12" (TO CENTERLINE) AFF. UNO. PROVIDE OUTLETS/RECEPTACLES AT LOCATIONS THAT ARE REQ'D BY APPLIANCES OR CODE, INCLUDING GFCI OUTLETS AT DAMP LOCATIONS, EVEN IF NOT INDICATED PER PLAN (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 9. EXTERIOR OUTLETS: PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE REQUIRED (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 10. FLOOR RECEPTACLES: PROVIDE FLOOR RECEPTACLES FLUSH WITH FINISH FLOOR WHERE SHOW SUCH THAT CORD & PLUG ARE FULL RECESSED BELOW PLATE WHEN PLUGGED IN. VERIFY COVER PLATE FINISH OPTION W/ ARCHITECT
- 11. NON-IC RATED RECESSED FIXTURES: CONTRACTOR OPTION TO INSTALL NON-IC RECESSED HOUSE WHERE ALLOWABLE BY CODE
- 12. AUDIO/VISUAL: CONTRACTOR TO COORDINATE ALL LOW VOLTAGE WIRING REQUIREMENTS W/ AUDIO/VISUAL SUB. VERIFY REQUIREMENTS WITH OWNER
- 13. ETHERNET JACKS: VERIFY ALL ETHERNET JACK LOCATIONS W/ ARCHITECT & OWNER
- 14. EXTERIOR LIGHTING: VERIFY REQUIREMENTS W/ OWNER. VERIFY ALL LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER AND COORDINATE WITH SWITCHES INSIDE HOUSE.
- 15. WIFI SYSTEM: VERIFY WIFI SYSTEM REQUIREMENTS WITH OWNER
- 16. FIRE SUPPRESSION: IF REQUIRED BY JURISDICTION, CONTRACTOR TO SUBMIT DIAGRAMMATIC FIRE SPRINKLER PLAN TO ARCHITECT FOR REVIEW & COORDINATION WITH RCP.

- ◇ DUPLEX RECEPTACLE, GFCI PER CODE
- \$ SWITCH
- ⊙ SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)
- ⊕ QUADPLEX RECEPTACLE, GFCI PER CODE
- \$ RA RADIO RA SWITCH
- ▲ WALL MOUNTED SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)
- ◀ DATA
- CEILING MOUNT SURFACE LIGHT
- ◻ RECESSED CAN LIGHT
- ◻ CEILING BATH FAN; ASSUME PANASONIC FV0811VF5 FANS WITH COMMON EXHAUST & BACK DAMPER

**ELECTRICAL LEGEND**

SCALE: 1/4" = 1'-0"



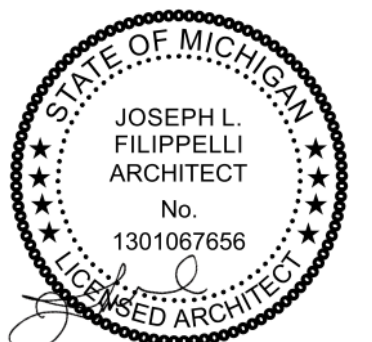
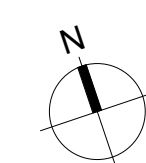
LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	MODEL	LAMP/OPTIC	DESCRIPTION	QUANTITY	NOTE
D	TBD	TBD	TBD	TBD	7	DECORATIVE LIGHT FIXTURES TBD
R1A	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND TRIM	40	GENERAL RECESSED LIGHTING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
R1B	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR50AWW25, 2700K	RECESSED PINHOLE DOWNLIGHT/ WALL WASH W/ ROUND TRIM	12	DIRECTIONAL RECESSED LIGHTING FOR ARTWORK & WALL WASHING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
R1X	COOPER	HALO ML4 LED, H995ICAT, TL45R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND WET RATED TRIM	11	WET LOCATION RECESSED LIGHTING, BRUSHED NICKEL FINISH
S1	TBD	TBD	TBD	CEILING MOUNTED SURFACE LIGHT	8	TBD
SC1	TBD	TBD	TBD	OUTDOOR WALL SCONCE	2	TBD
SL1	TBD	TBD	TBD	RECESSED STEP LIGHT	10	TBD

**REFLECTED CEILING PLAN NOTES**

- 1. GYP-1 AT LOWER LEVEL CEILING U.N.O.

**LOWER LEVEL RCP / POWER PLAN**

SCALE: 1/4" = 1'-0"



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

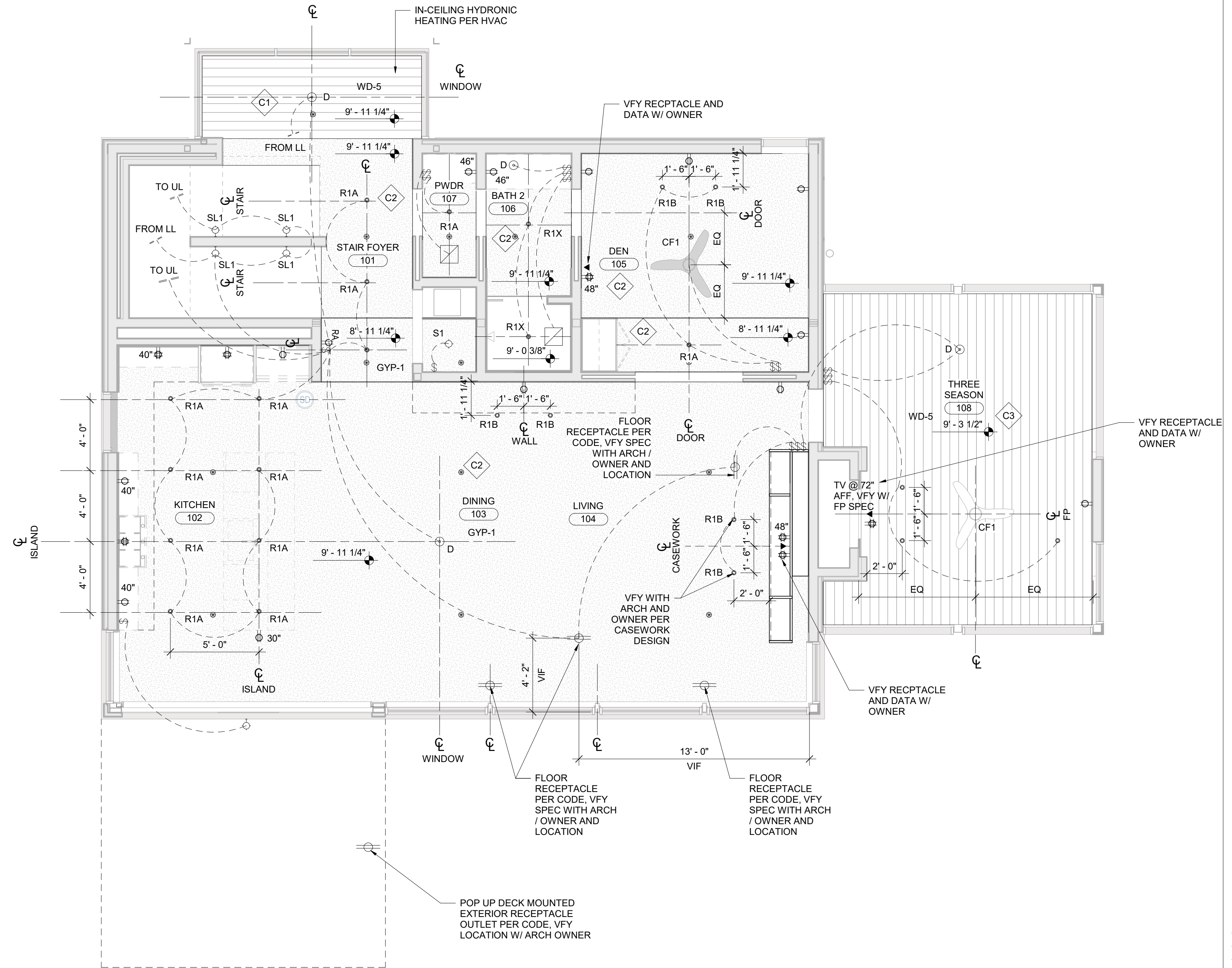
no.	date	by

**CONSTRUCTION DOCUMENTS**  
05.20.2022

**LOWER LEVEL REFLECTED CEILING AND POWER PLAN**

**A6.00**





**ELECTRICAL NOTES**

- ◇ INDICATES ASSEMBLY, SEE A0.10
- 1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL
- 2. CIRCUIT DIAGRAM INFORMATION BELOW TO GIVE INTENT FOR NUMBER OF CIRCUITS. VERIFY SWITCH BANK LOCATIONS W/ ARCHITECT & OWNER PRIOR TO ROUGH IN.
- 3. RCP COORDINATION: COORDINATE ALL LIGHT FIXTURE, FAN, SMOKE DETECTOR, ETC. LOCATIONS WITH FRAMING AND CONCRETE PRIOR TO FRAMING INSTALLATION AND CONCRETE POURS. LOCATE FRAMING TO ACCOMMODATE SPECIFIED FIXTURE LOCATIONS, NOTIFY ARCHITECT OF CONFLICTS. DO NOT CHANGE FIXTURE LOCATIONS WITHOUT ARCHITECT'S APPROVAL
- 4. RCP COORDINATION: PRIOR TO FRAMING ROOFS AND CEILINGS, ALL FIXTURES SHOULD BE SUBMITTED AND APPROVED BY ARCHITECT. CONTRACTOR SHALL THEN PURCHASE A HOUSE OF EACH TYPE OF FIXTURE (BEFORE LAYING OUT FRAMING) TO VERIFY THE SPACE REQUIRED AT EACH FIXTURE.
- 5. RCP COORDINATION: LIGHT FIXTURE LOCATIONS IN WOOD CEILING TO BE COORDINATED WITH BOARD LAYOUT SO THAT TRIMS ARE CENTERED ON BOARD WIDTH. UNO
- 6. WALK-THROUGH: HANG ALL LIGHT FIXTURES, SWITCH BOXES, AND OUTLETS FOR WALK-THROUGH LOCATIONS WITH ARCHITECT AND OWNER TO VERIFY FINAL LOCATIONS, PRIOR TO INSTALLING WIRING.
- 7. SWITCHES: CENTERLINE OF SWITCH PLATES WILL BE 40" AFF, UNO (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 8. OUTLETS: ALL OUTLETS MOUNTED VERTICALLY @ 12" (TO CENTERLINE) AFF. UNO. PROVIDE OUTLETS/RECEPTACLES AT LOCATIONS THAT ARE REQ'D BY APPLIANCES OR CODE, INCLUDING GFCI OUTLETS AT DAMP LOCATIONS, EVEN IF NOT INDICATED PER PLAN (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 9. EXTERIOR OUTLETS: PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE REQUIRED (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)
- 10. FLOOR RECEPTACLES: PROVIDE FLOOR RECEPTACLES FLUSH WITH FINISH FLOOR WHERE SHOW SUCH THAT CORD & PLUG ARE FULL RECESSED BELOW PLATE WHEN PLUGGED IN. VERIFY COVER PLATE FINISH OPTION W/ ARCHITECT
- 11. NON-IC RATED RECESSED FIXTURES: CONTRACTOR OPTION TO INSTALL NON-IC RECESSED HOUSE WHERE ALLOWABLE BY CODE
- 12. AUDIO/VISUAL: CONTRACTOR TO COORDINATE ALL LOW VOLTAGE WIRING REQUIREMENTS W/ AUDIO/VISUAL SUB. VERIFY REQUIREMENTS WITH OWNER
- 13. ETHERNET JACKS: VERIFY ALL ETHERNET JACK LOCATIONS W/ ARCHITECT & OWNER
- 14. EXTERIOR LIGHTING: VERIFY REQUIREMENTS W/ OWNER. VERIFY ALL LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER AND COORDINATE WITH SWITCHES INSIDE HOUSE.
- 15. WIFI SYSTEM: VERIFY WIFI SYSTEM REQUIREMENTS WITH OWNER
- 16. FIRE SUPPRESSION: IF REQUIRED BY JURISDICTION, CONTRACTOR TO SUBMIT DIAGRAMMATIC FIRE SPRINKLER PLAN TO ARCHITECT FOR REVIEW & COORDINATION WITH RCP.

- ⊖ DUPLEX RECEPTACLE, GFCI PER CODE      § SWITCH      ⊙ SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)
- ⊖ QUADPLEX RECEPTACLE, GFCI PER CODE      § RA RADIO RA SWITCH      ⊖ WALL MOUNTED SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)
- ◀ DATA      ◊ CEILING MOUNT SURFACE LIGHT
- ◻ CEILING BATH FAN; ASSUME PANASONIC FV0811VF5 FANS WITH COMMON EXHAUST & BACK DAMPER      ○ RECESSED CAN LIGHT

**ELECTRICAL LEGEND**

SCALE: 1/4" = 1'-0"

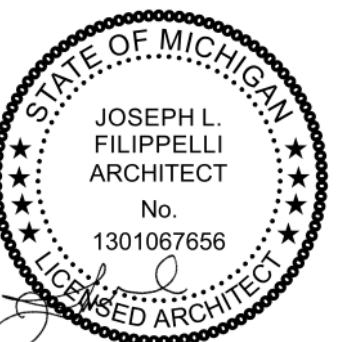
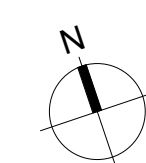
LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	MODEL	LAMP/OPTIC	DESCRIPTION	QUANTITY	NOTE
D	TBD	TBD	TBD	TBD	7	DECORATIVE LIGHT FIXTURES TBD
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S1	TBD	TBD	TBD	CEILING MOUNTED SURFACE LIGHT	8	TBD
SC1	TBD	TBD	TBD	OUTDOOR WALL SCONCE	2	TBD
SL1	TBD	TBD	TBD	RECESSED STEP LIGHT	10	TBD

**REFLECTED CEILING PLAN NOTES**

- 1. GYP-1 AT LOWER LEVEL CEILING U.N.O.

**MAIN LEVEL RCP / POWER PLAN**

SCALE: 1/4" = 1'-0"



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

no.	date	by

CONSTRUCTION DOCUMENTS  
05.20.2022

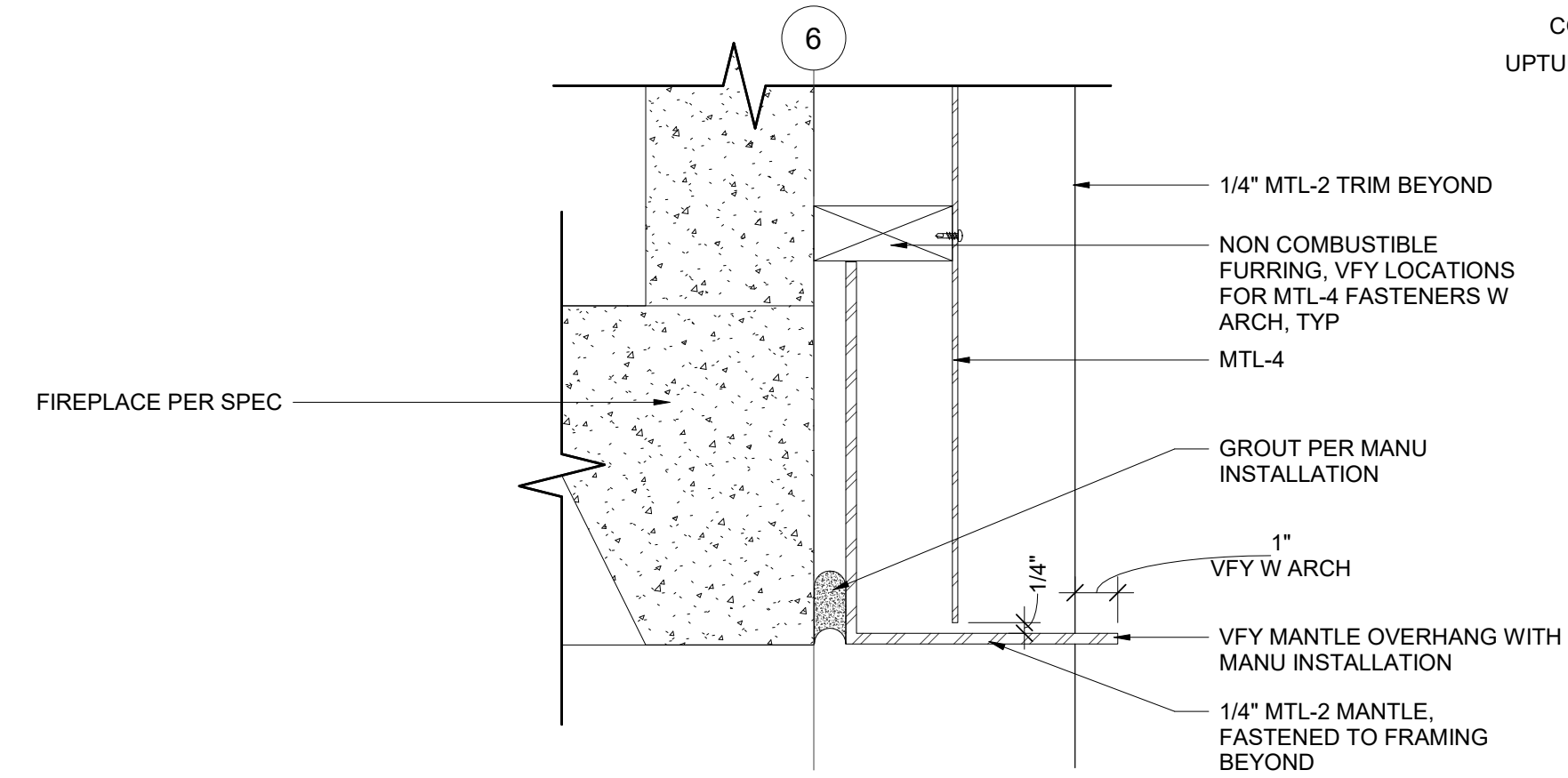
MAIN LEVEL REFLECTED CEILING AND POWER PLAN

**A6.01**

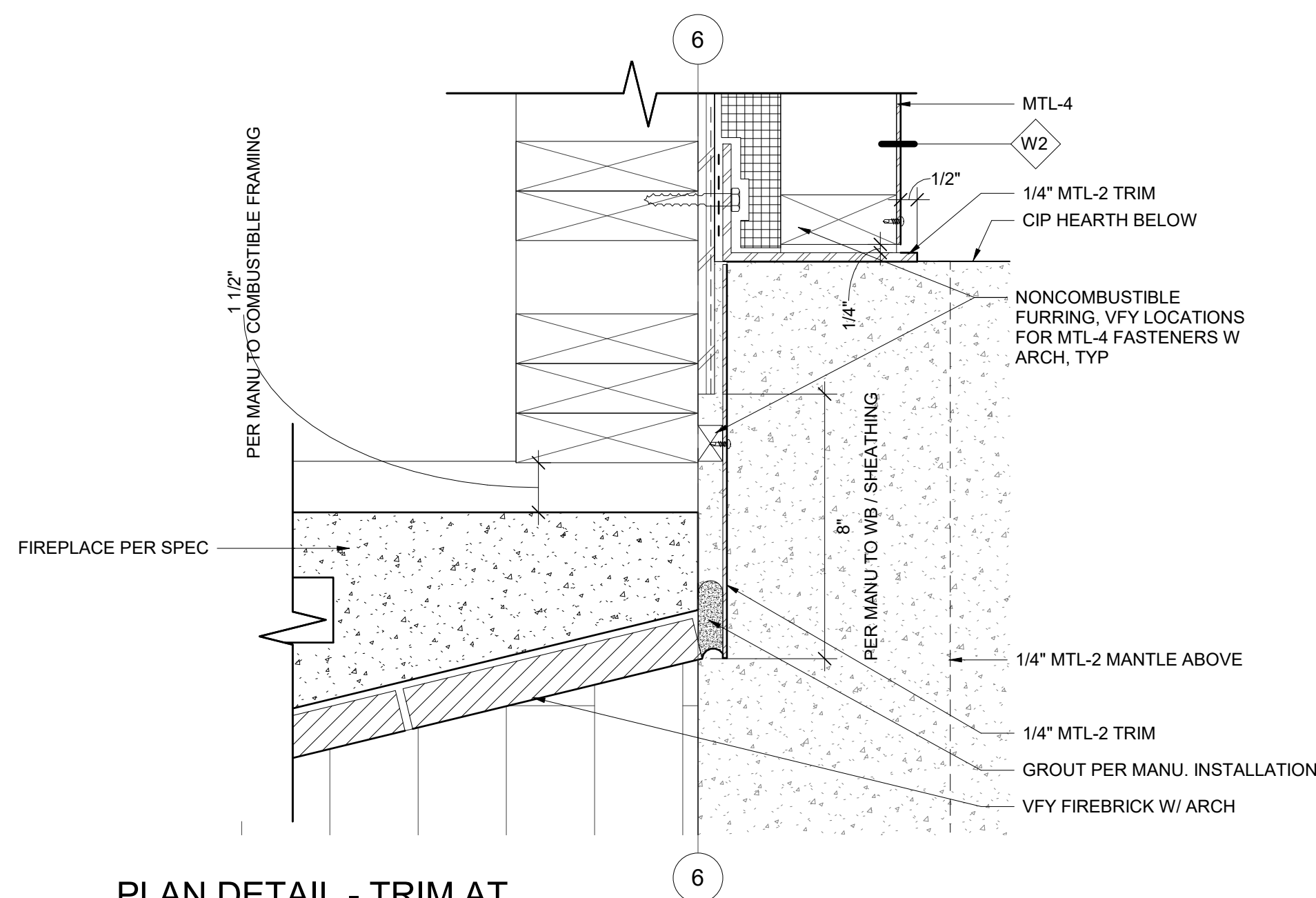




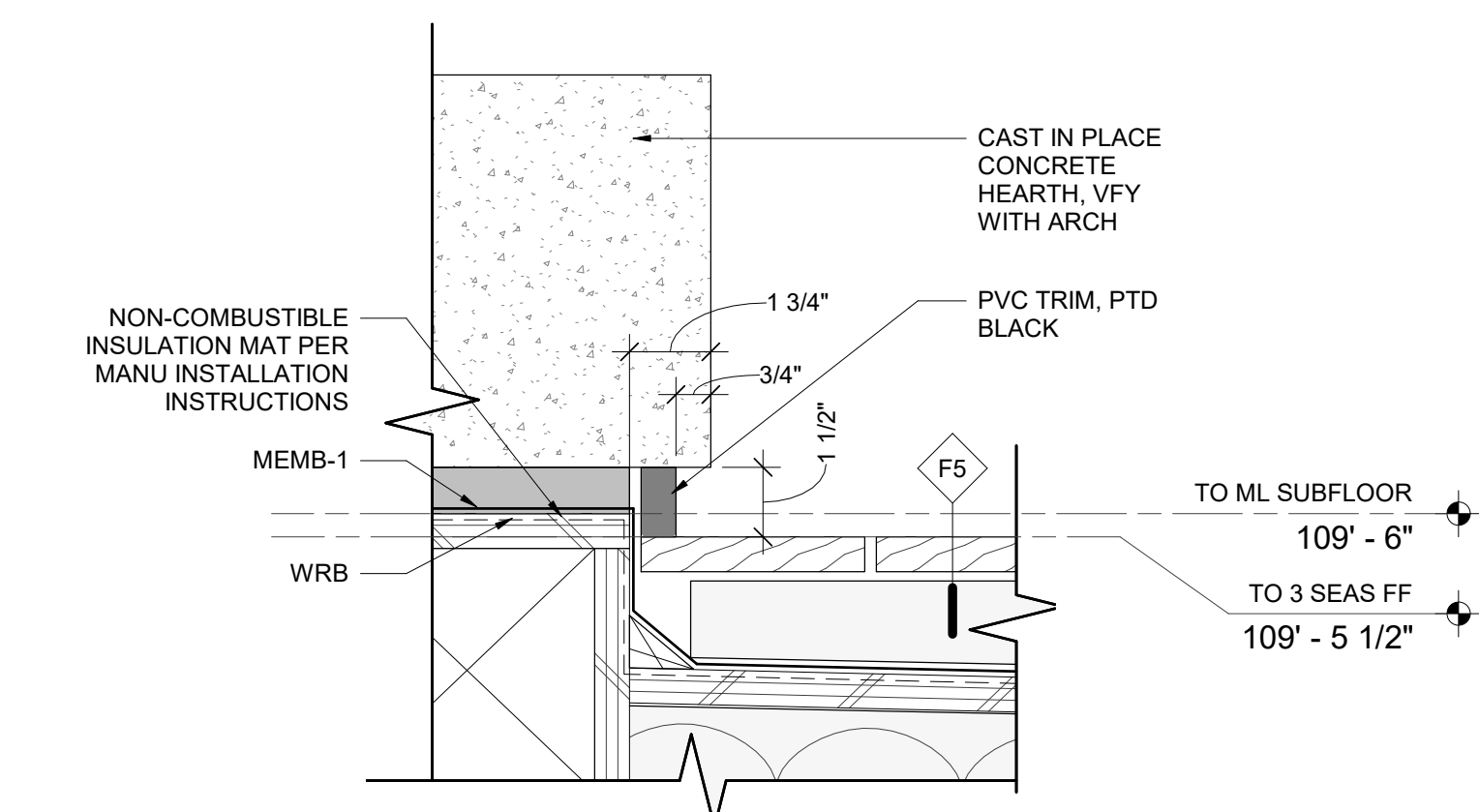




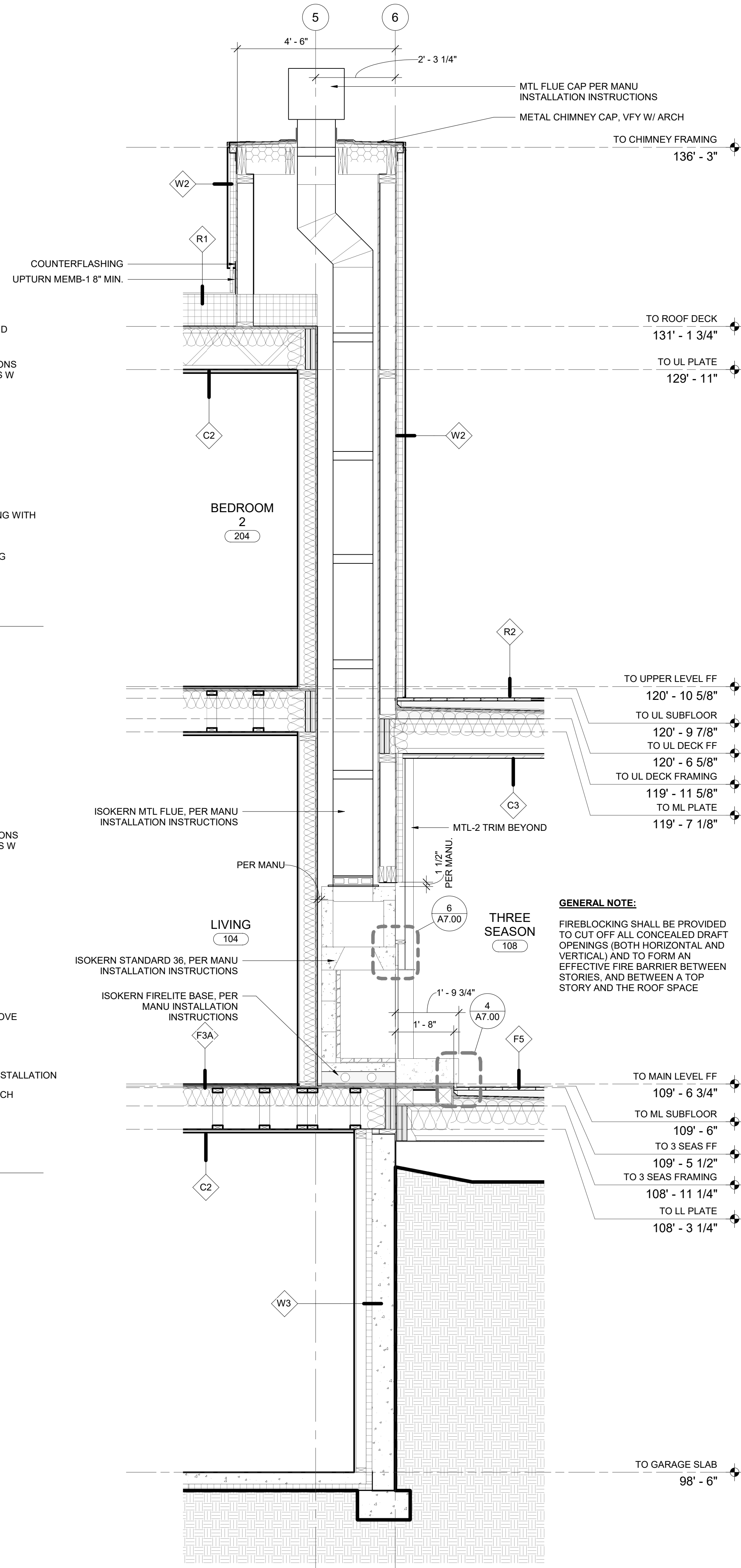
**SECTION DETAIL - MANTLE AT FIREPLACE**  
SCALE: 3" = 1'-0"



**PLAN DETAIL - TRIM AT FIREBRICK**  
SCALE: 3" = 1'-0"

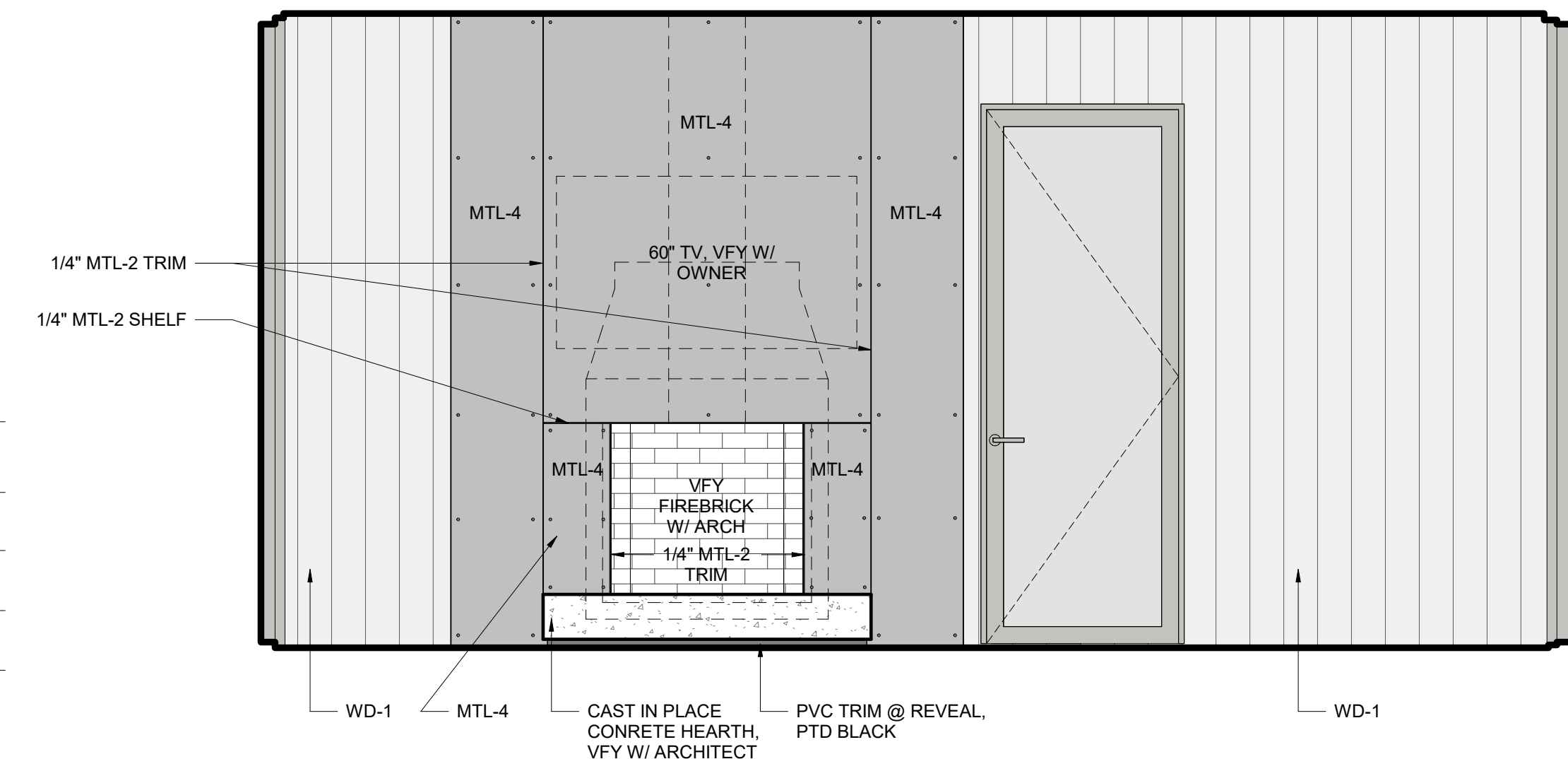


**SECTION DETAIL - TRIM / REVEAL AT FP HEARTH**  
SCALE: 3" = 1'-0"

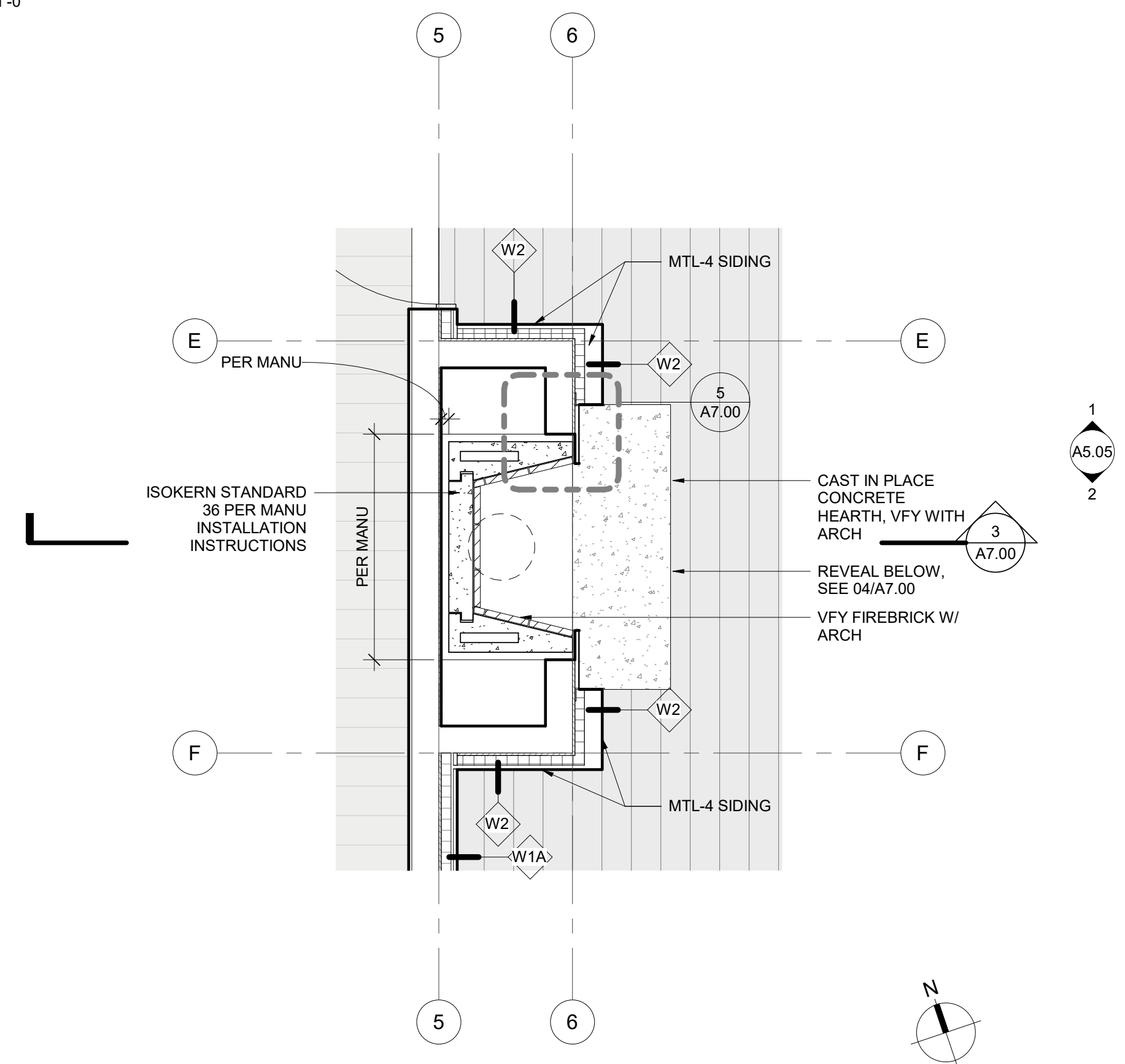


**WALL SECTION AT FIREPLACE**  
SCALE: 1/2" = 1'-0"

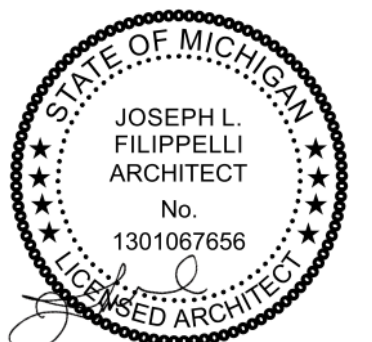
**GENERAL NOTE:**  
REFER TO MANUFACTURER'S SPECIFICATIONS FOR CLEARANCES TO COMBUSTIBLE MATERIALS INCLUDING INSULATION, FRAMING, INSULATION, VAPOR BARRIERS, ETC  
REFER TO MANUFACTURER'S SPECIFICATIONS FOR FIREPLACE INSTALLATION.  
NOTIFY ARCHITECT OF ANY ALTERED SPECIFICATIONS REGARDING FIREPLACE



**THREE SEASON - WEST ELEVATION AT FIREPLACE**  
SCALE: 1/2" = 1'-0"



**ENLARGED FLOOR PLAN AT FIREPLACE**  
SCALE: 1/2" = 1'-0"



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

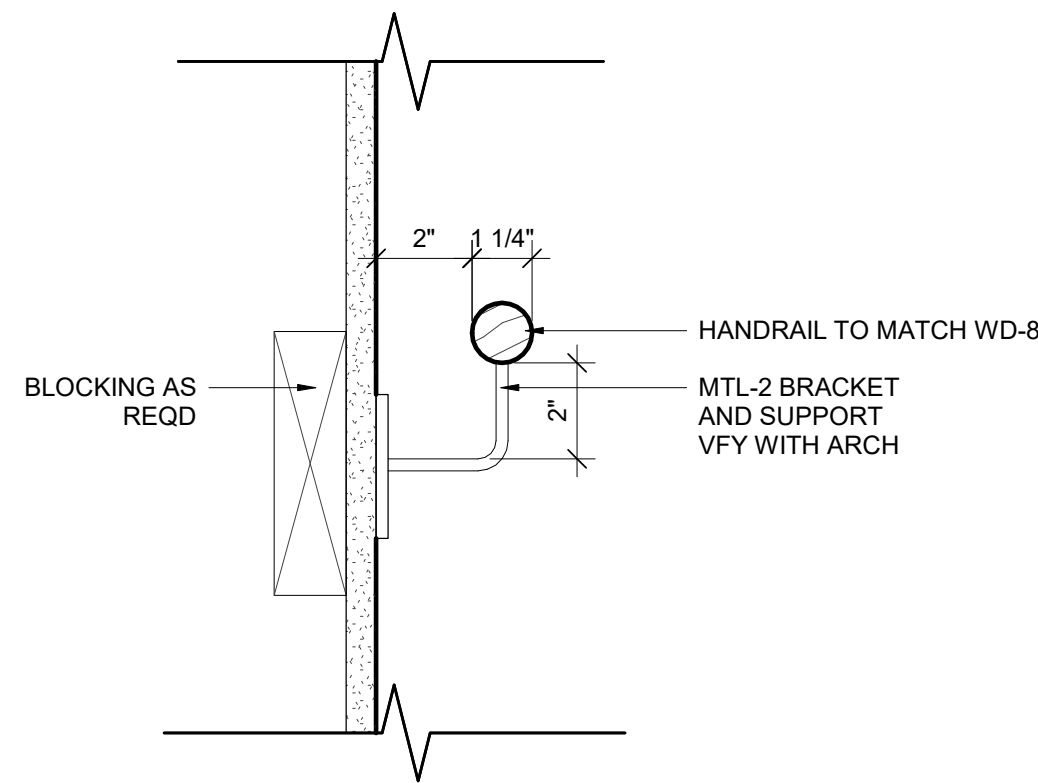
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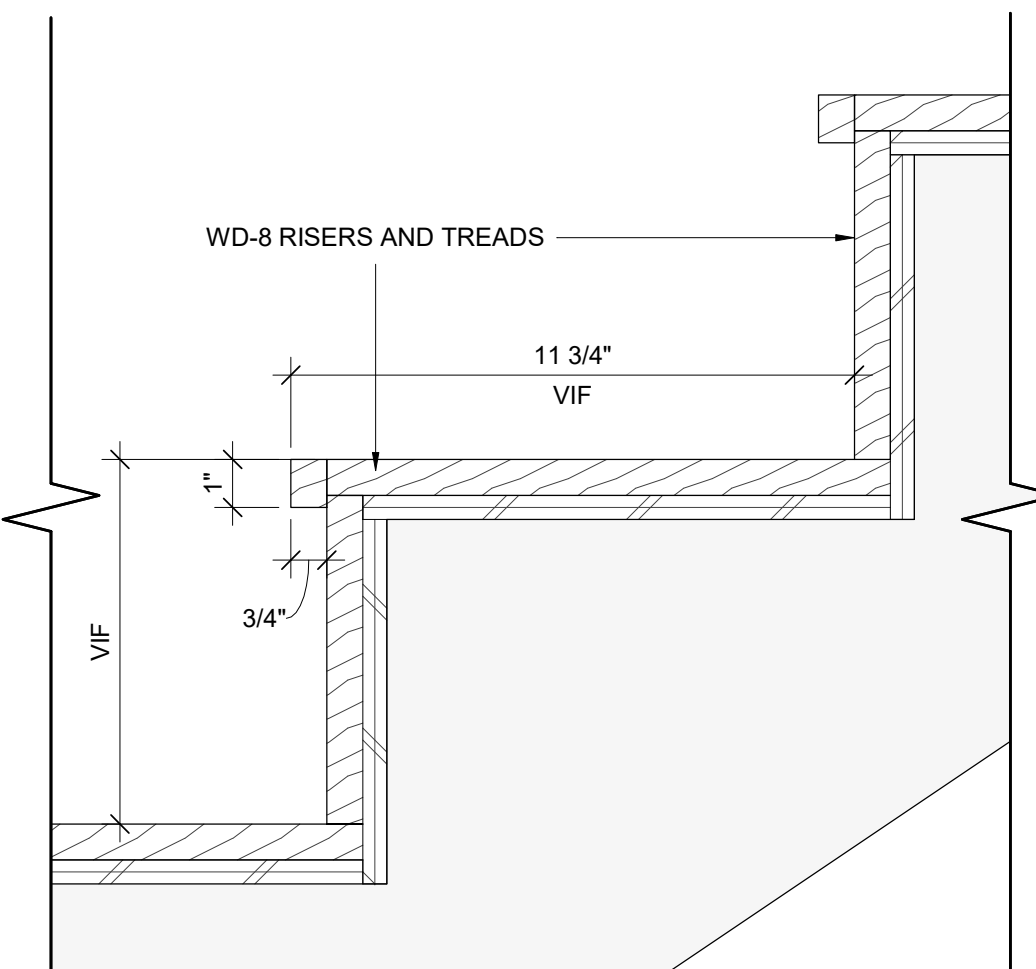
FIREPLACE

**A7.00**

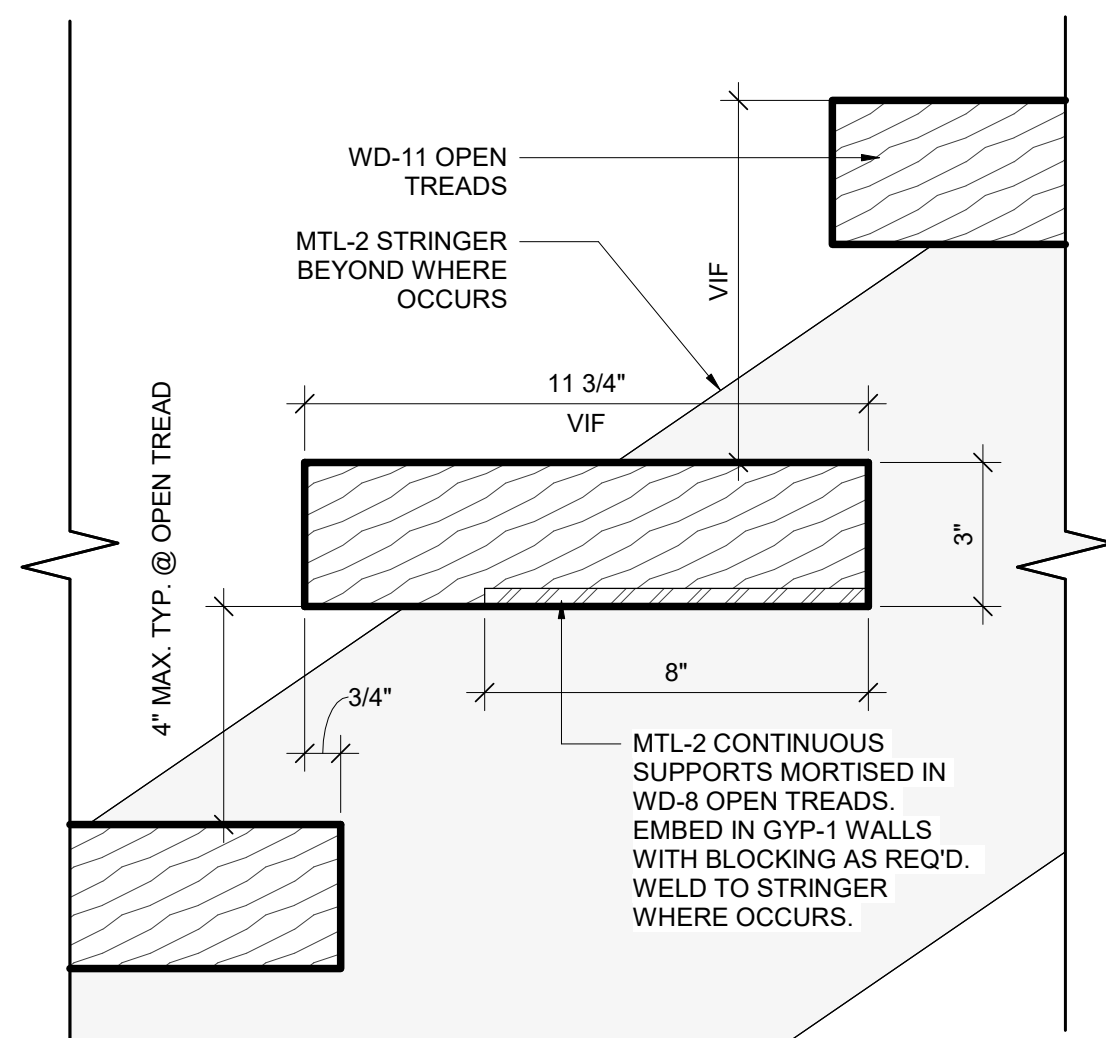




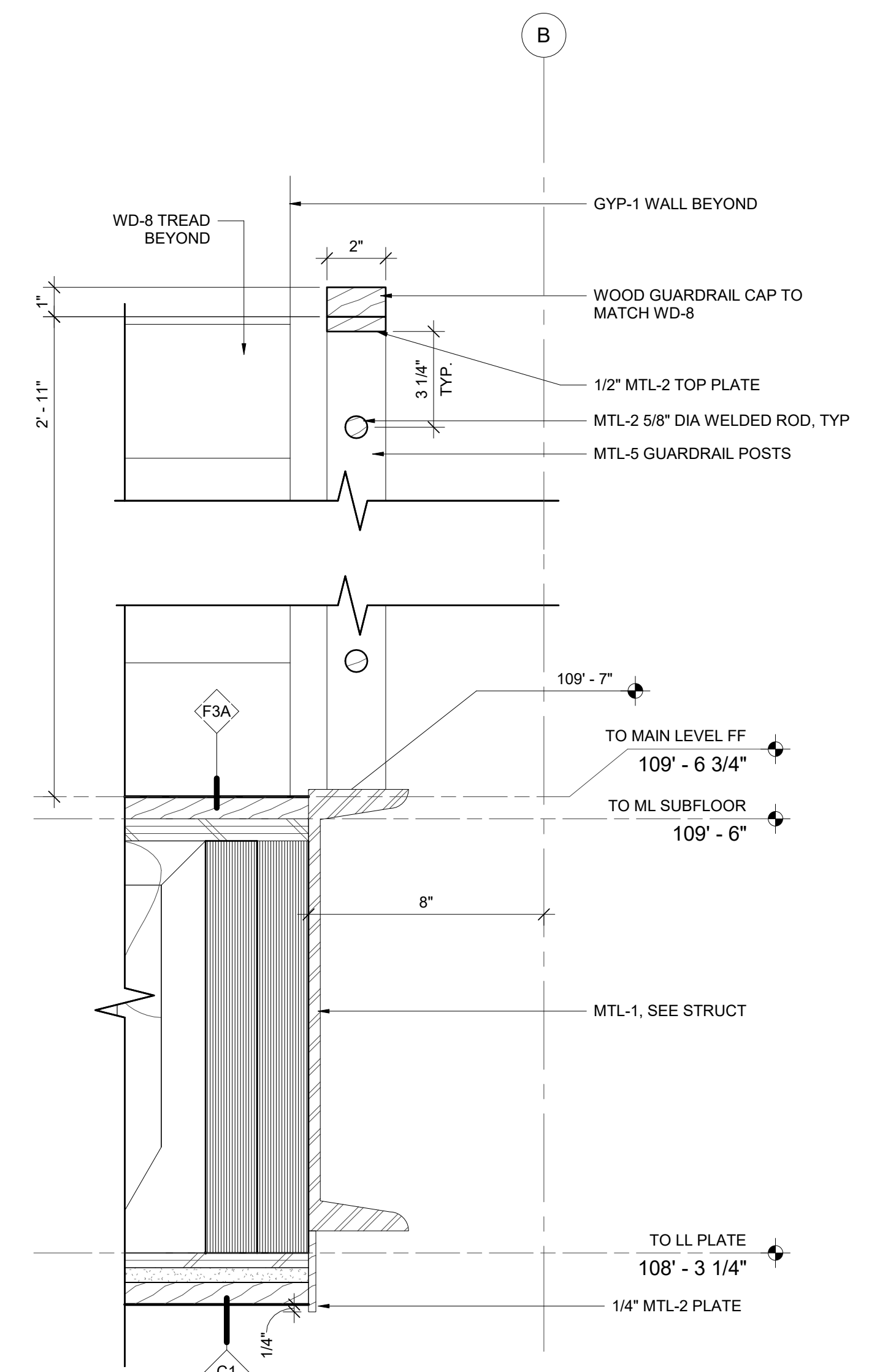
**7 SECTION DETAIL - TYP HANDRAIL**  
 SCALE: 3" = 1'-0"



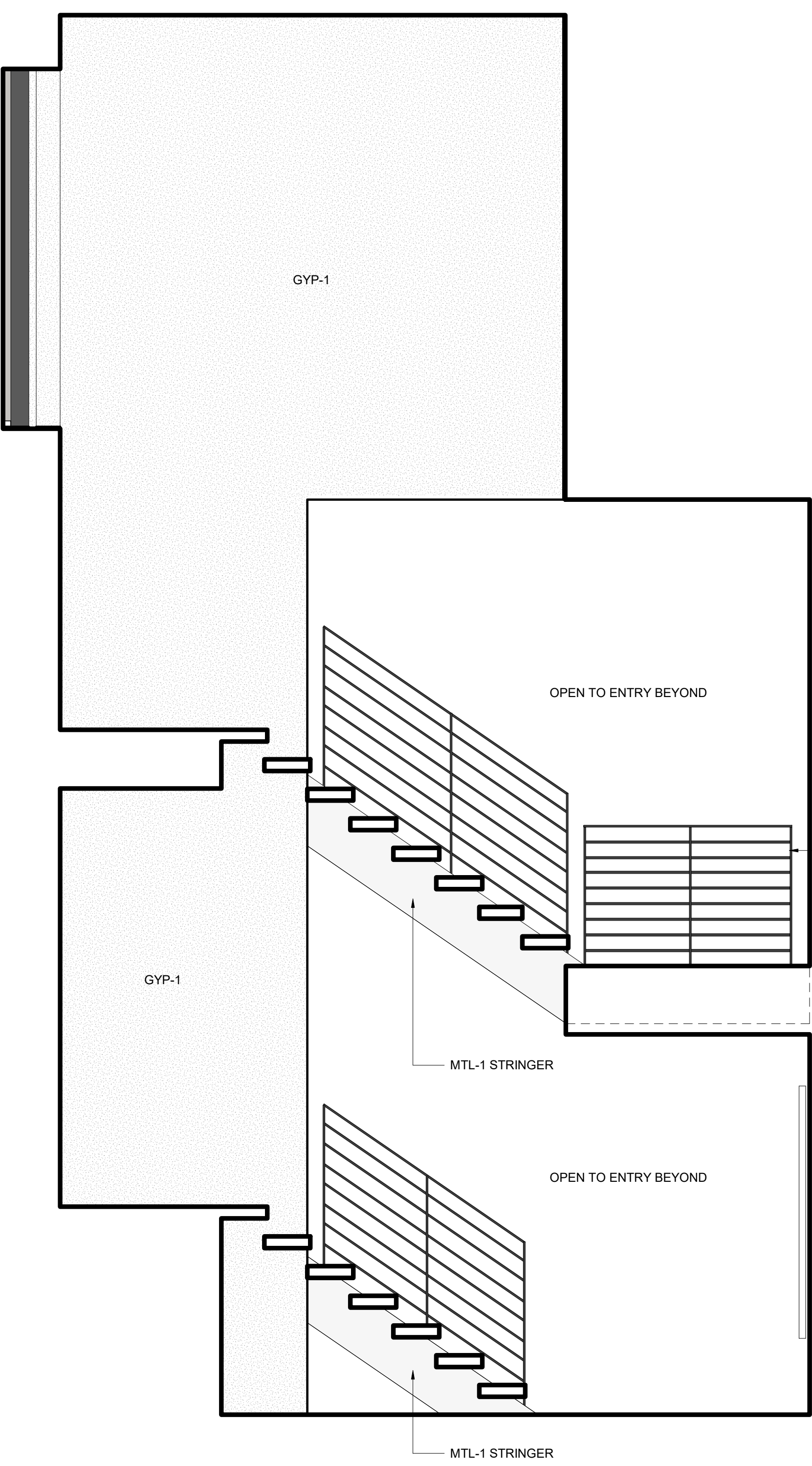
**6 SECTION DETAIL - TYP CLOSED TREAD**  
 SCALE: 3" = 1'-0"



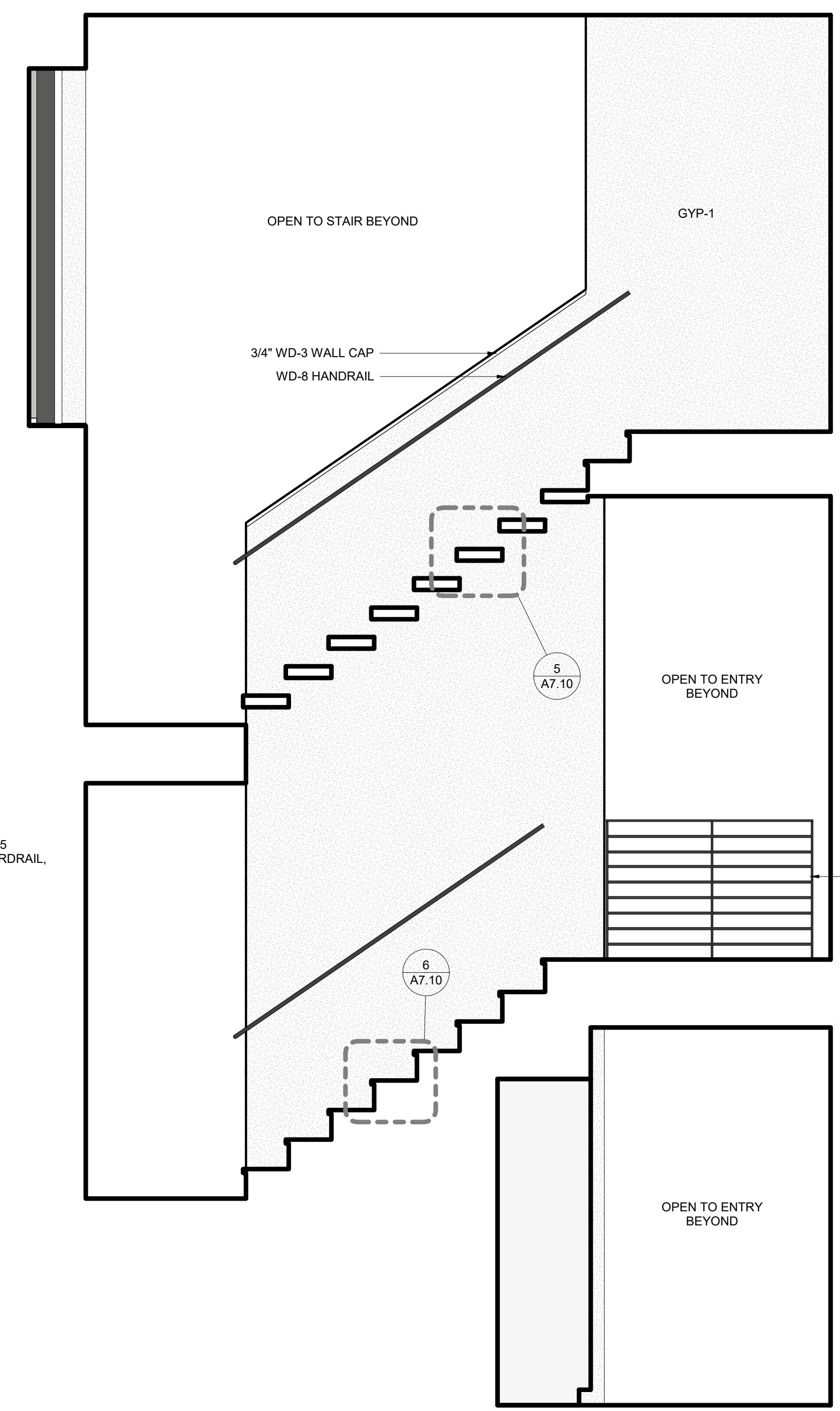
**5 SECTION DETAIL - TYP. OPEN TREAD**  
 SCALE: 3" = 1'-0"



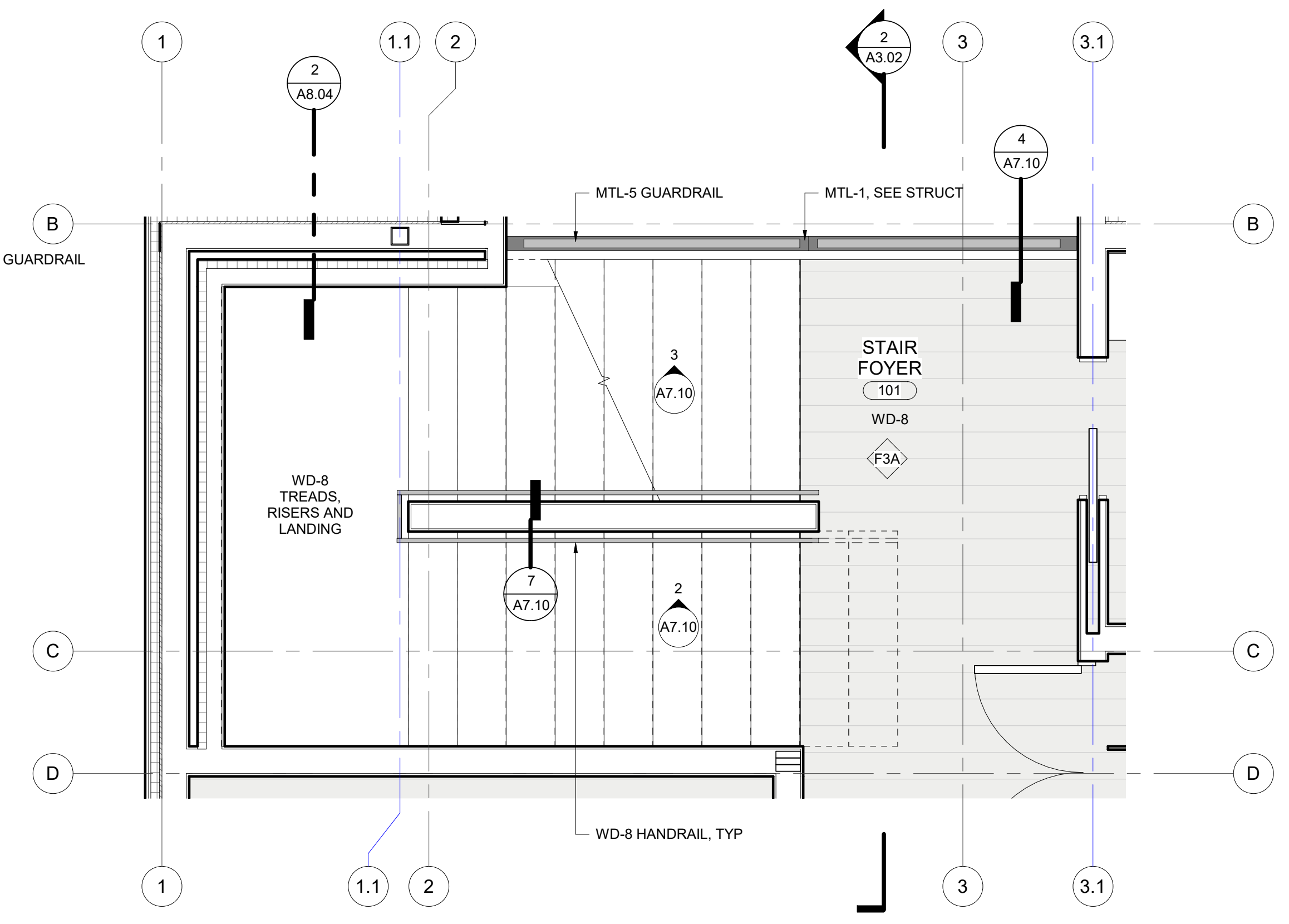
**4 SECTION DETAIL - INTERIOR GUARDRAIL AT LANDING**  
 SCALE: 3" = 1'-0"



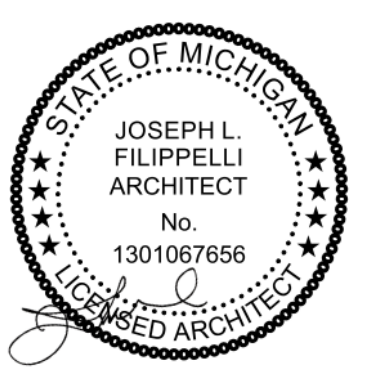
**3 INTERIOR ELEVATION - STAIR NORTH**  
 SCALE: 1/2" = 1'-0"



**2 INTERIOR ELEVATION - STAIR NORTH 2**  
 SCALE: 1/2" = 1'-0"



**1 ENLARGED FLOOR PLAN - INTERIOR STAIR**  
 SCALE: 1/2" = 1'-0"



principal architect JLF  
 drawn by JLF  
 MB  
 job no. 20.012  
 date 05.20.2022

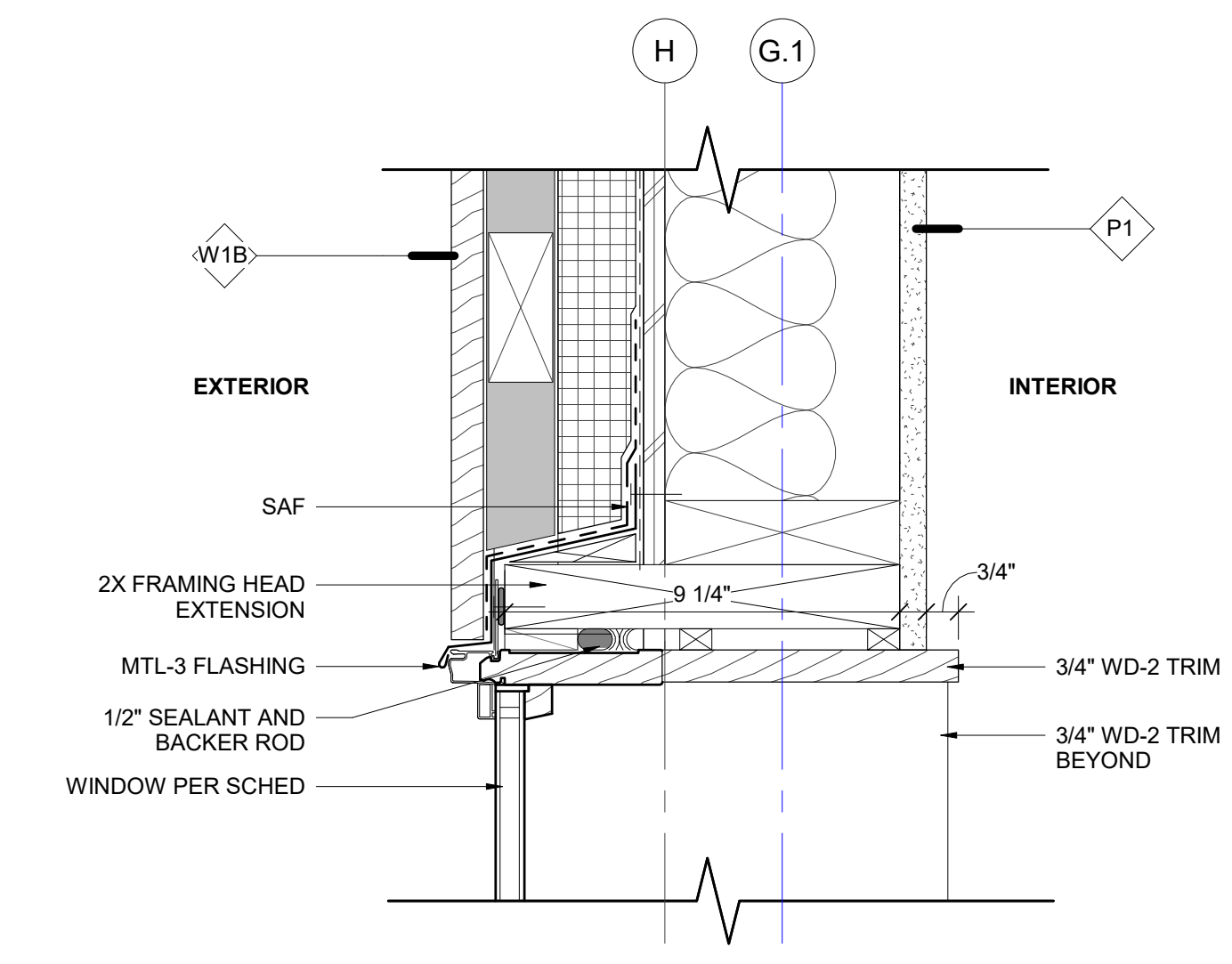
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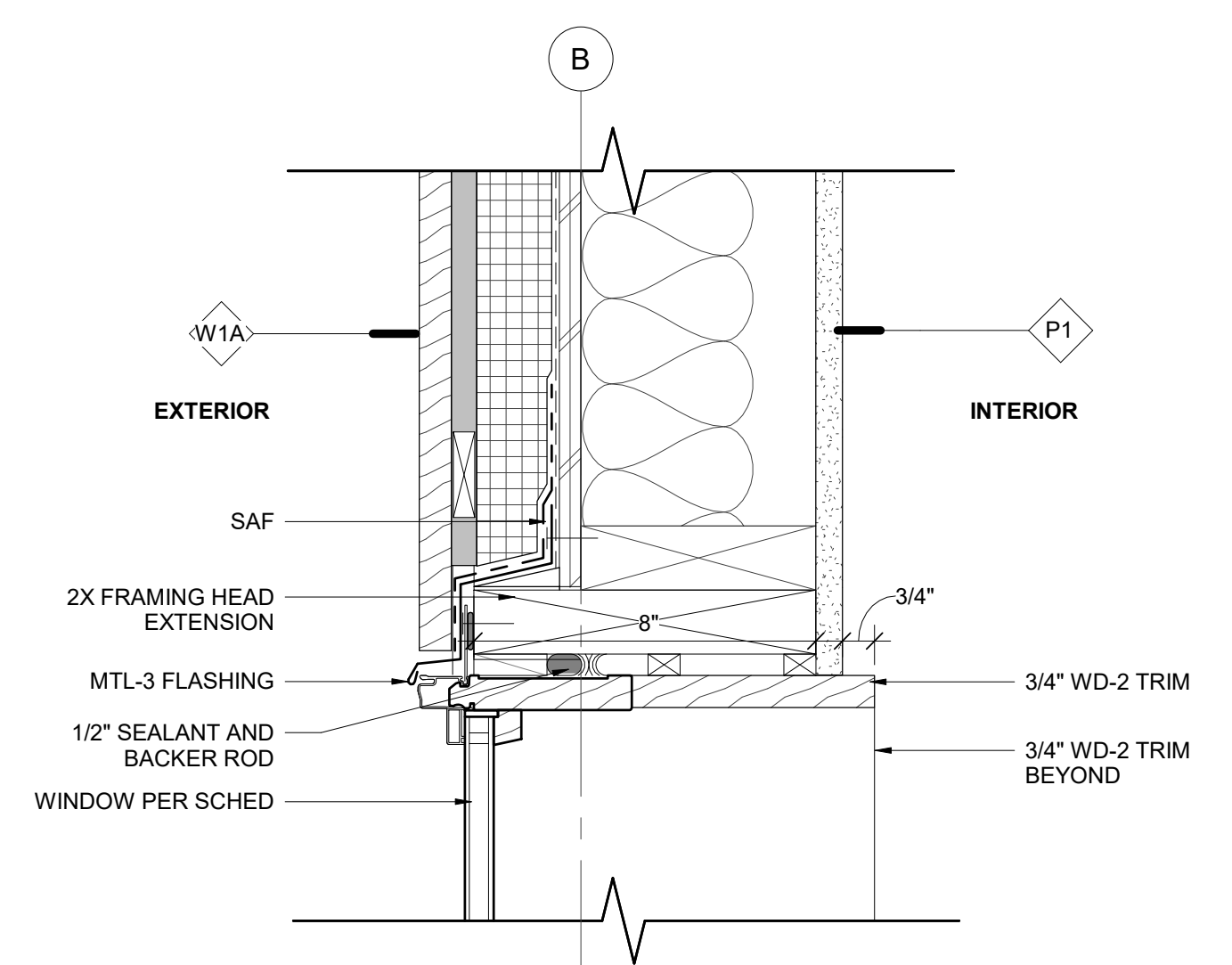
**CONSTRUCTION DOCUMENTS**  
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**STAIR DETAILS**  
**A7.10**

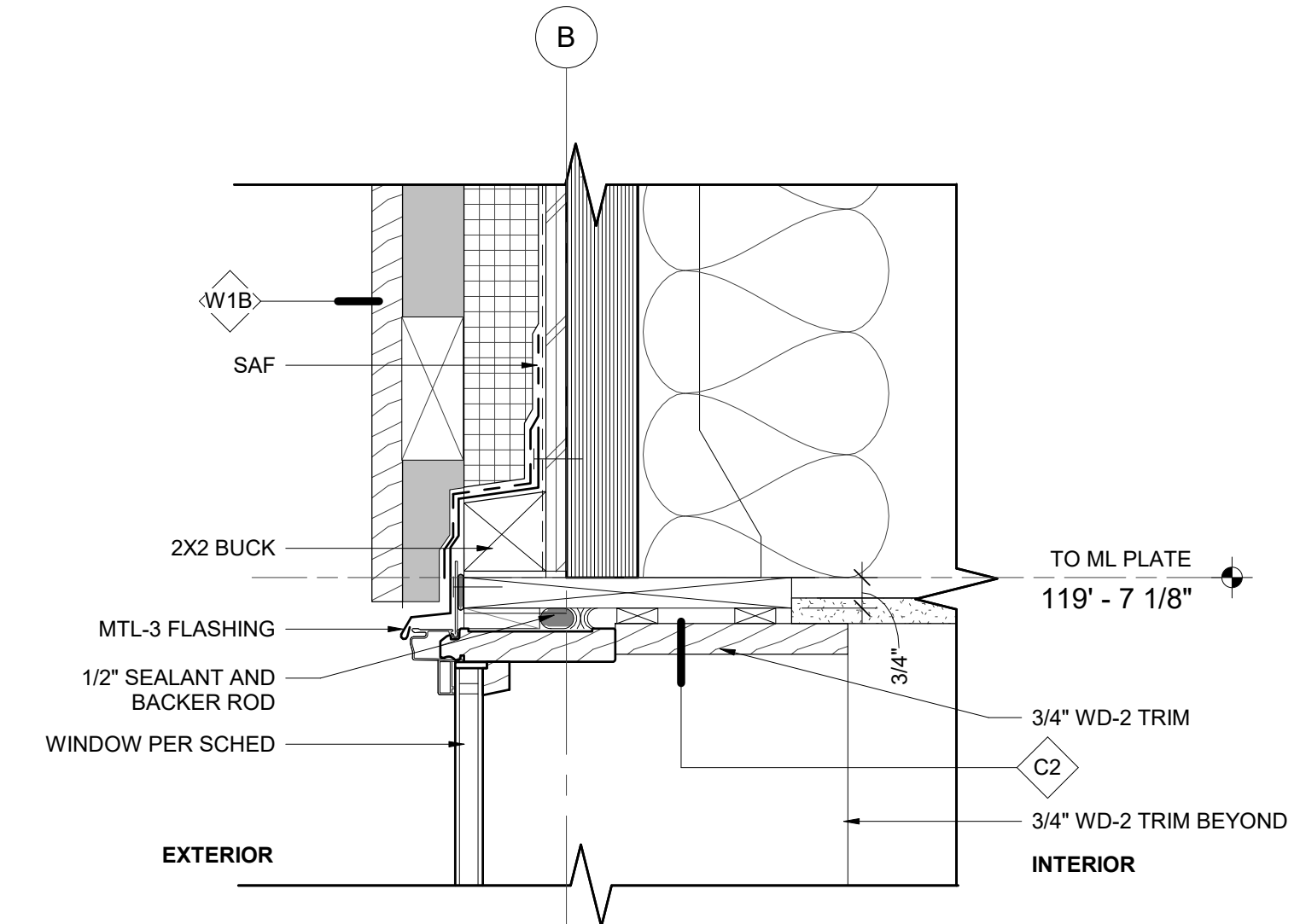




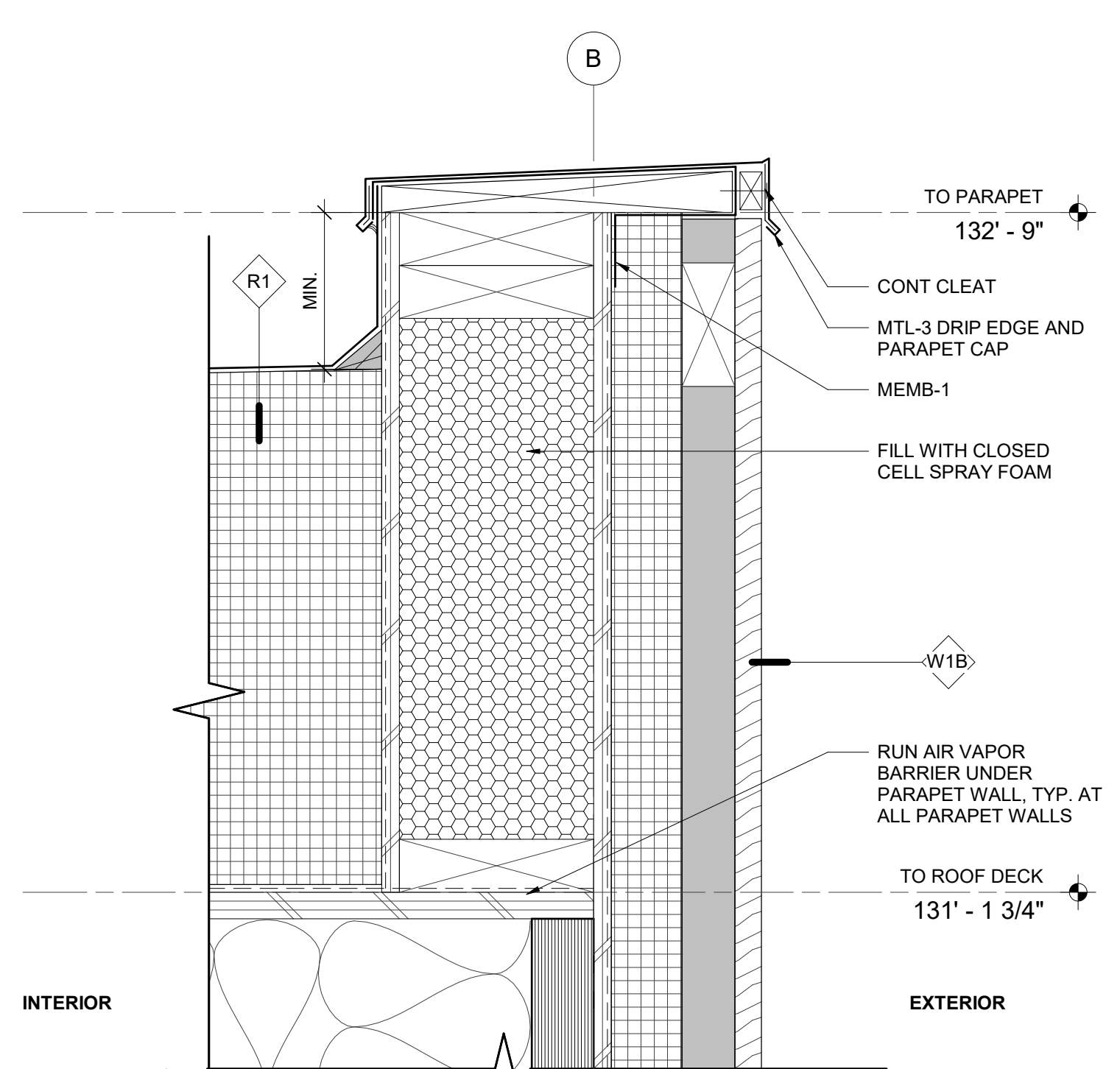
**13** SECTION DETAIL - TYP HEAD AT PUNCHED WINDOW UL  
SCALE: 3" = 1'-0"



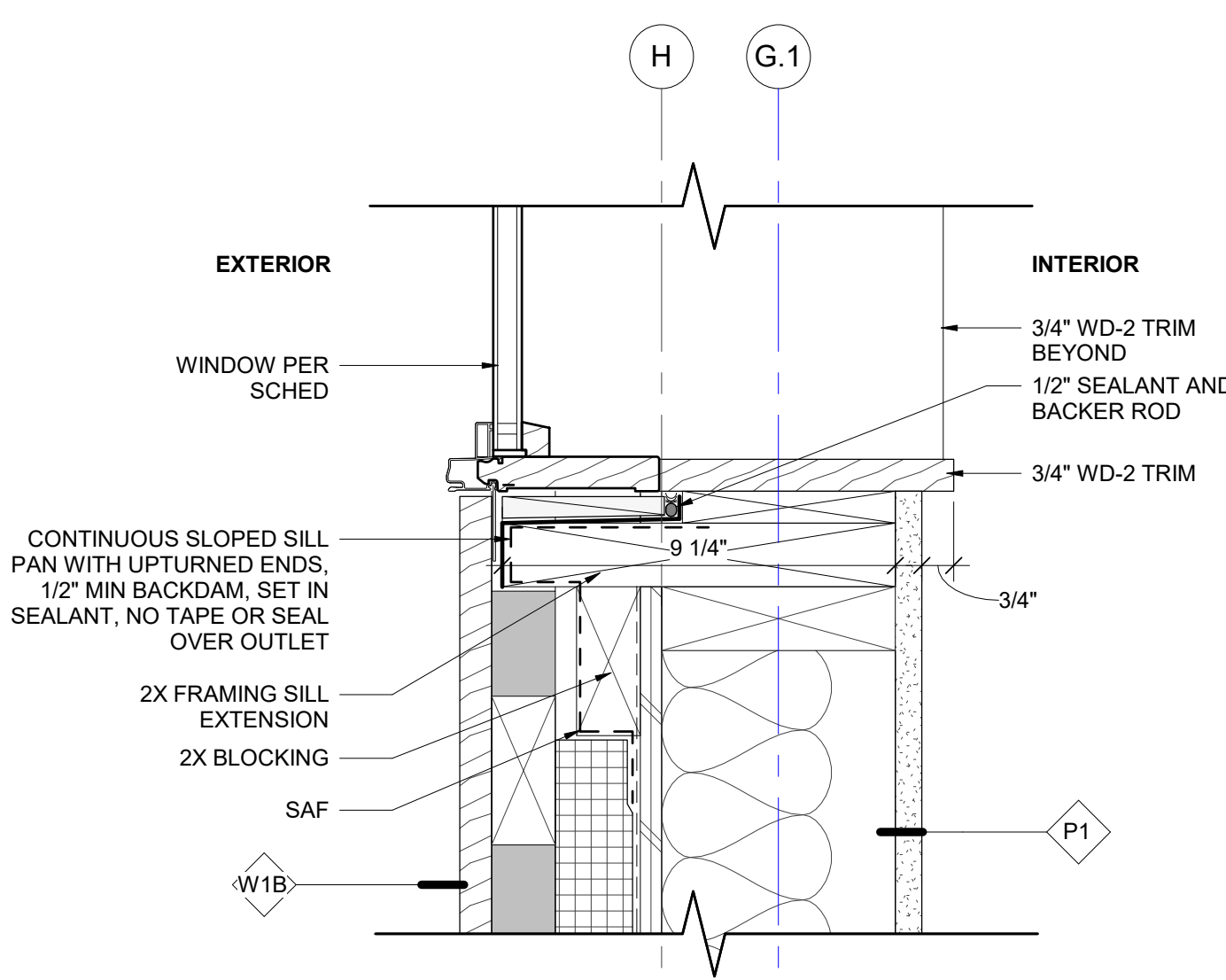
**12** SECTION DETAIL - TYP DROPPED HEAD AT PUNCHED WINDOW ML  
SCALE: 3" = 1'-0"



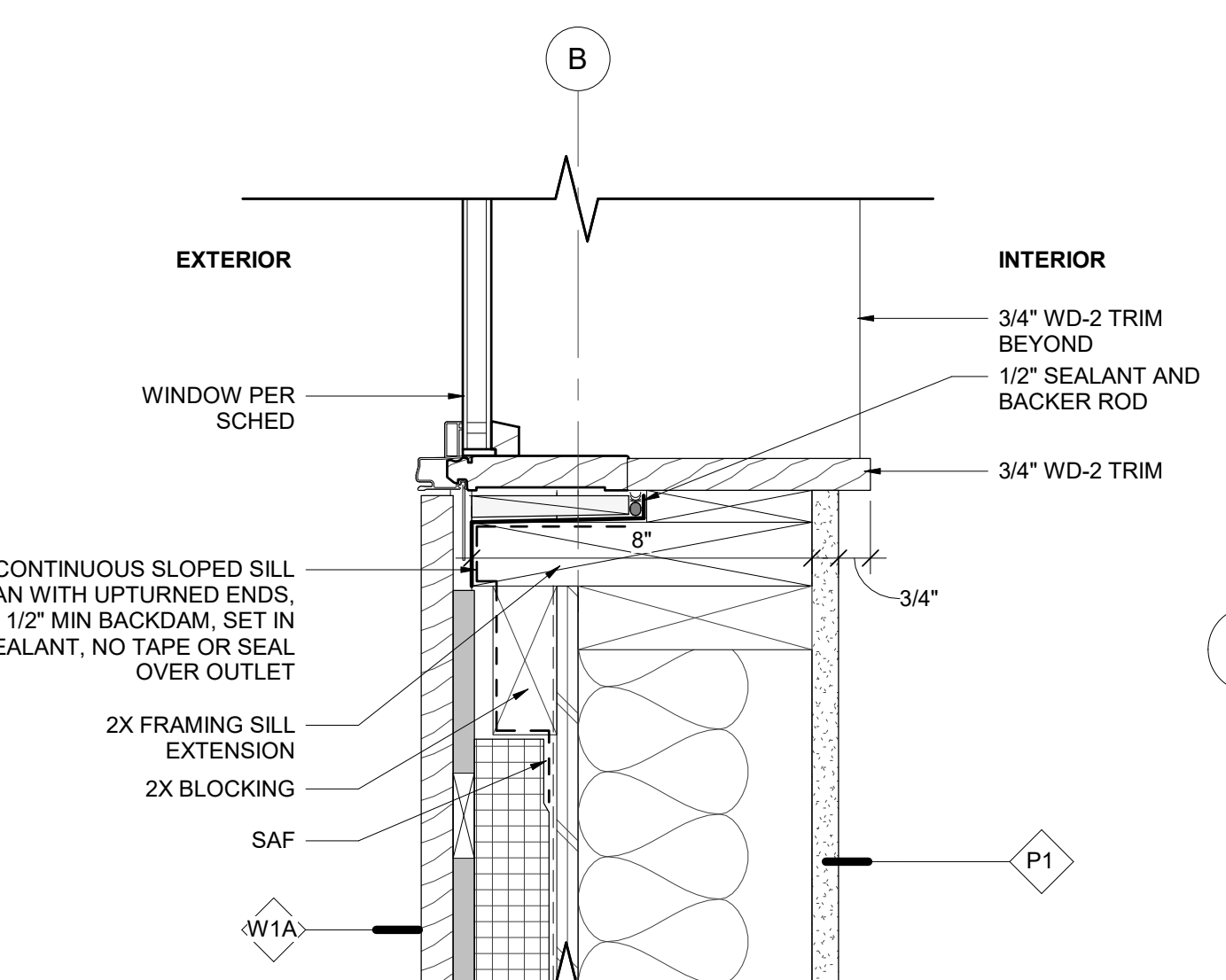
**11** SECTION DETAIL - TYP FULL HT HEAD AT PUNCHED WINDOW ML  
SCALE: 3" = 1'-0"



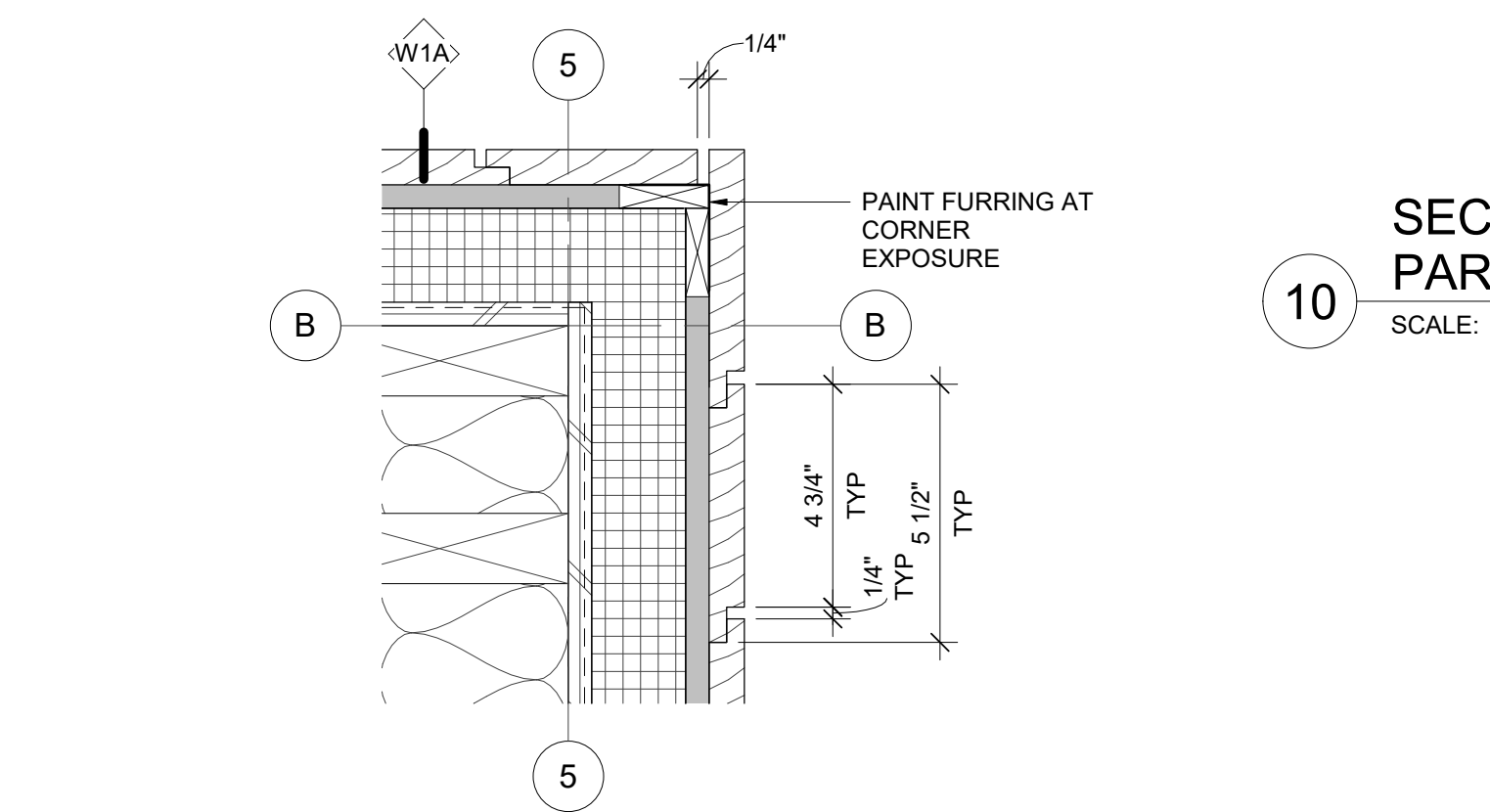
**10** SECTION DETAIL - TYP SIDING AT PARAPET  
SCALE: 3" = 1'-0"



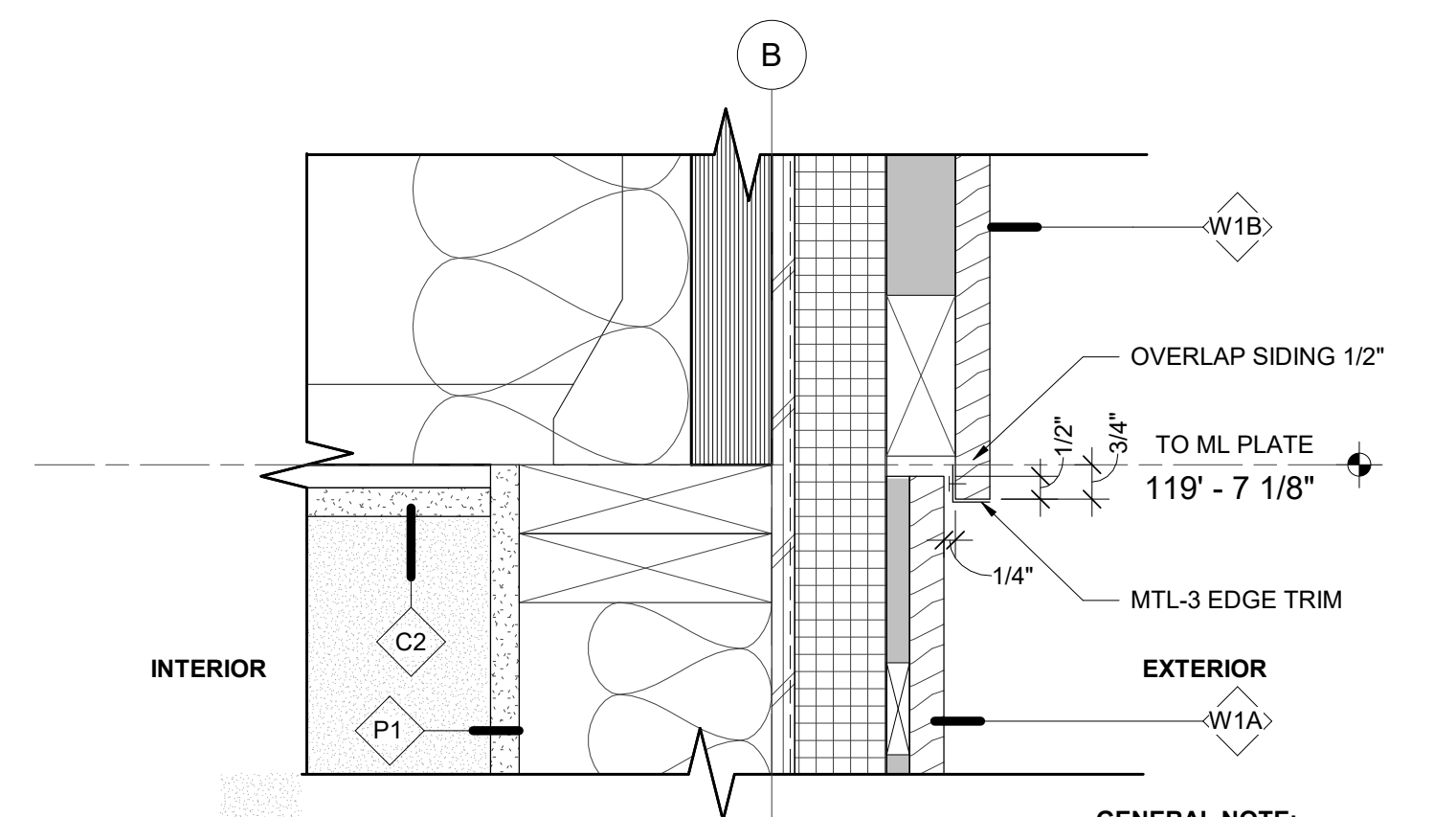
**9** SECTION DETAIL - TYP SILL AT PUNCHED WINDOW UL  
SCALE: 3" = 1'-0"



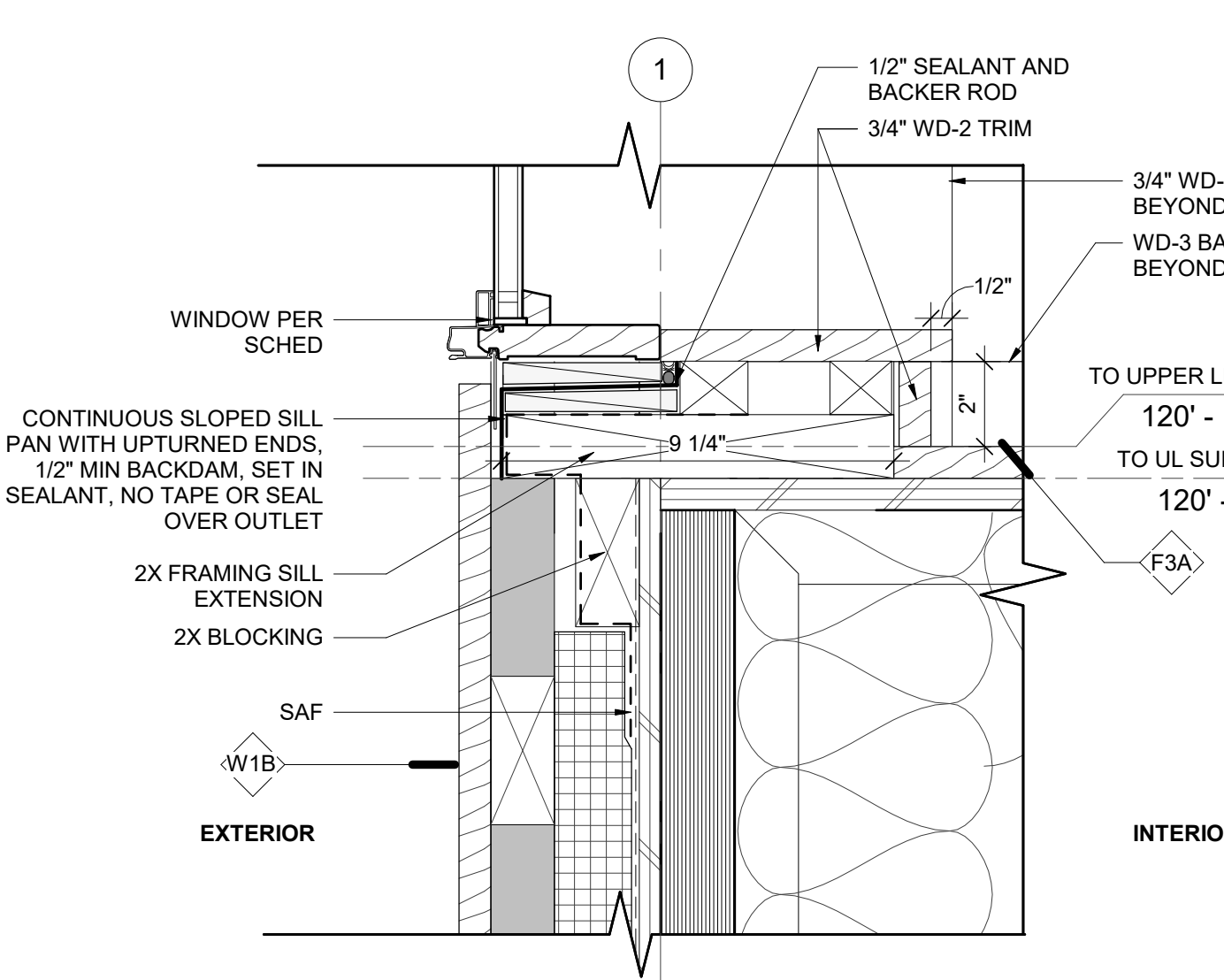
**8** SECTION DETAIL - TYP SILL AT PUNCHED WINDOW ML  
SCALE: 3" = 1'-0"



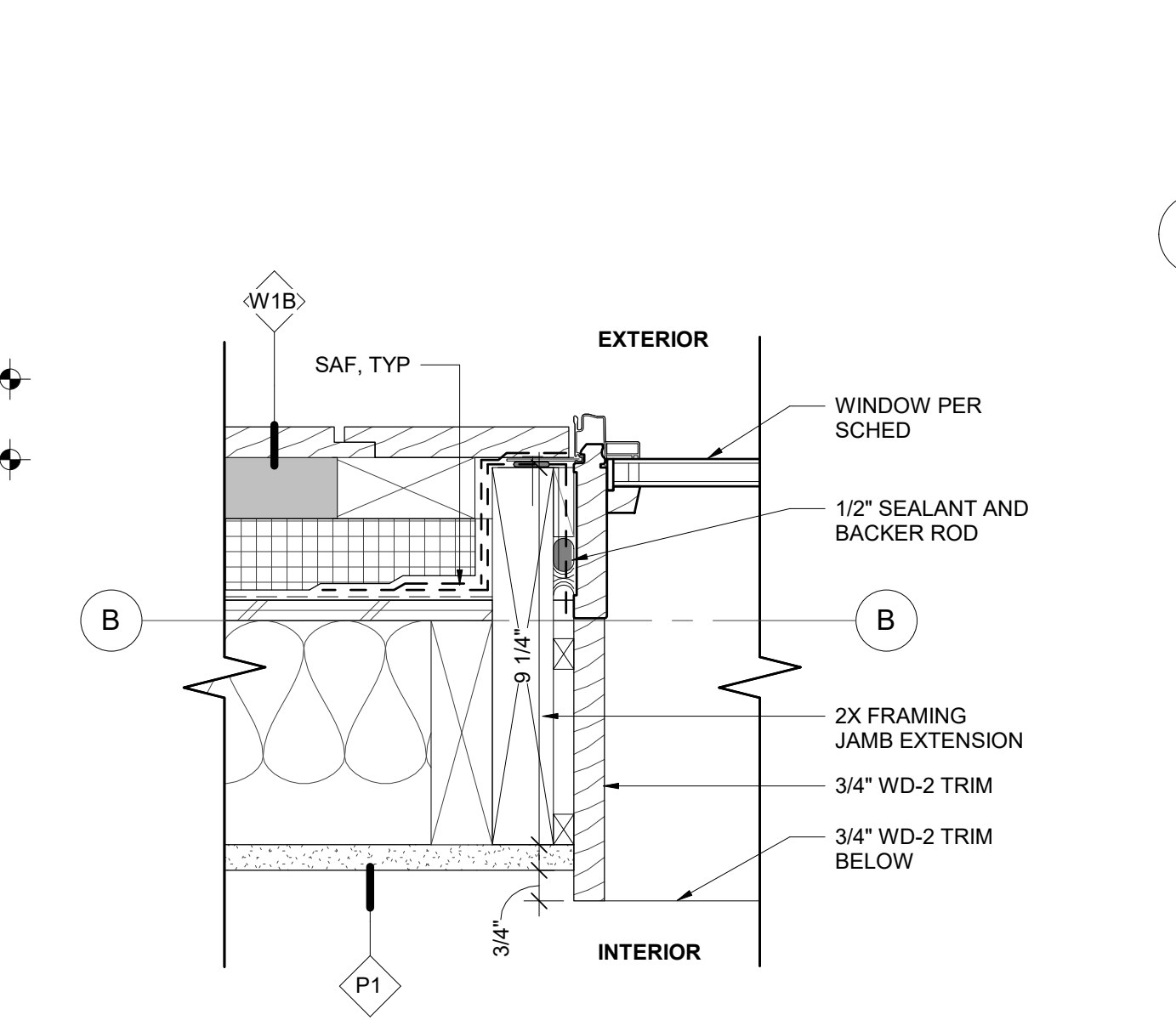
**7** PLAN DETAIL - TYP SIDING AT CORNER  
SCALE: 3" = 1'-0"



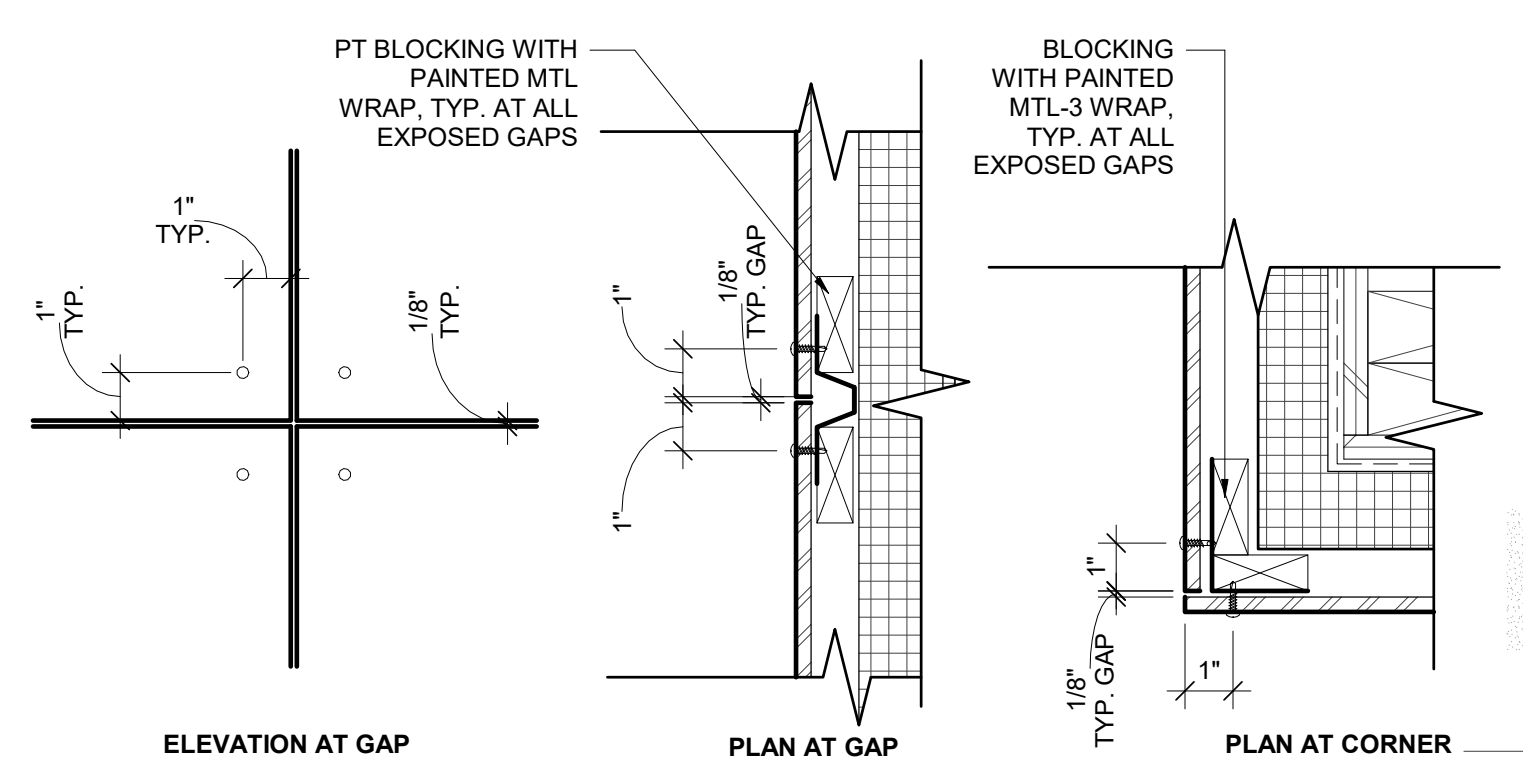
**5** SECTION DETAIL - TYP SIDING STEP  
SCALE: 3" = 1'-0"



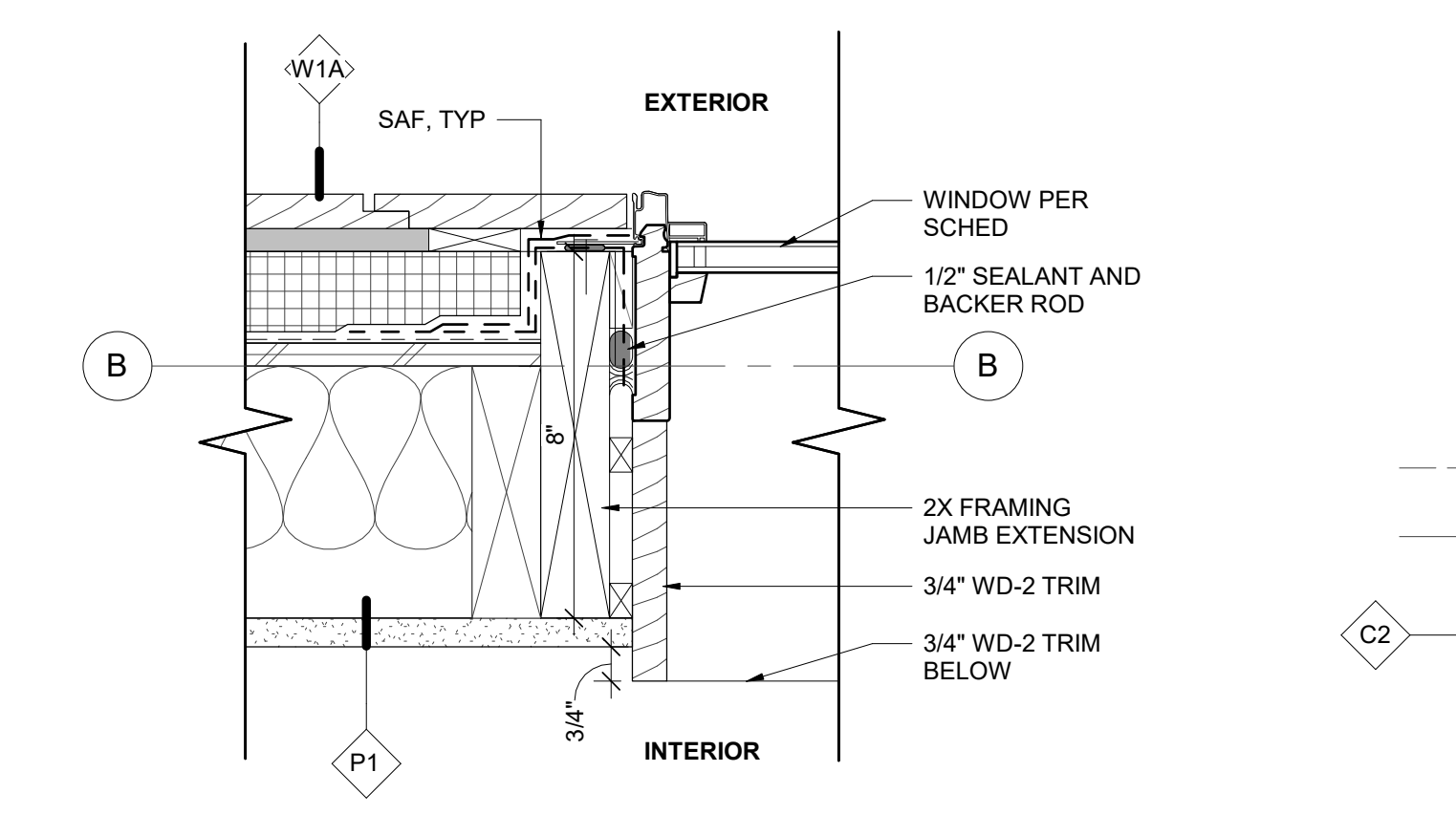
**4** SECTION DETAIL - TYP SILL AT FULL HT PUNCHED WINDOW UL  
SCALE: 3" = 1'-0"



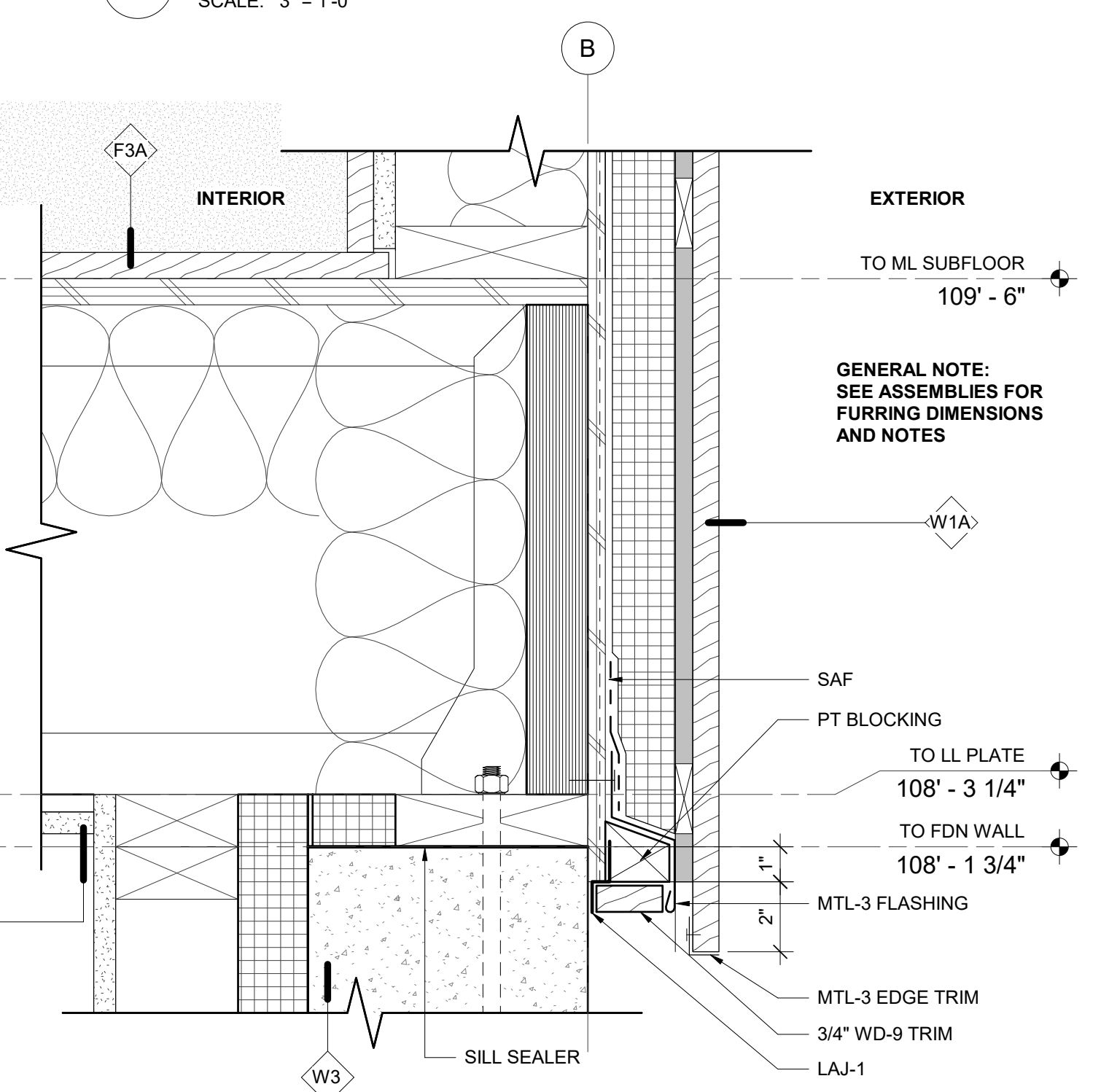
**3** PLAN DETAIL - TYP JAMB AT PUNCHED WINDOW UL  
SCALE: 3" = 1'-0"



**6** ELEVATION DETAIL - TYP. MTL SIDING GAPS  
SCALE: 3" = 1'-0"

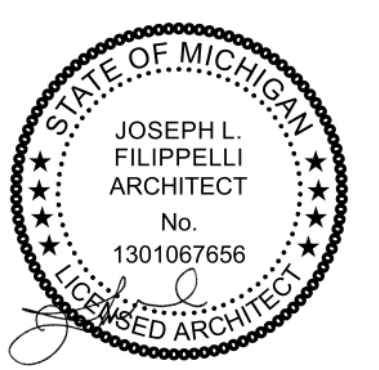


**2** PLAN DETAIL - TYP JAMB AT PUNCHED WINDOW ML  
SCALE: 3" = 1'-0"



**1** SECTION DETAIL - TYP SIDING AT TO FOUNDATION  
SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY. SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
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revisions:

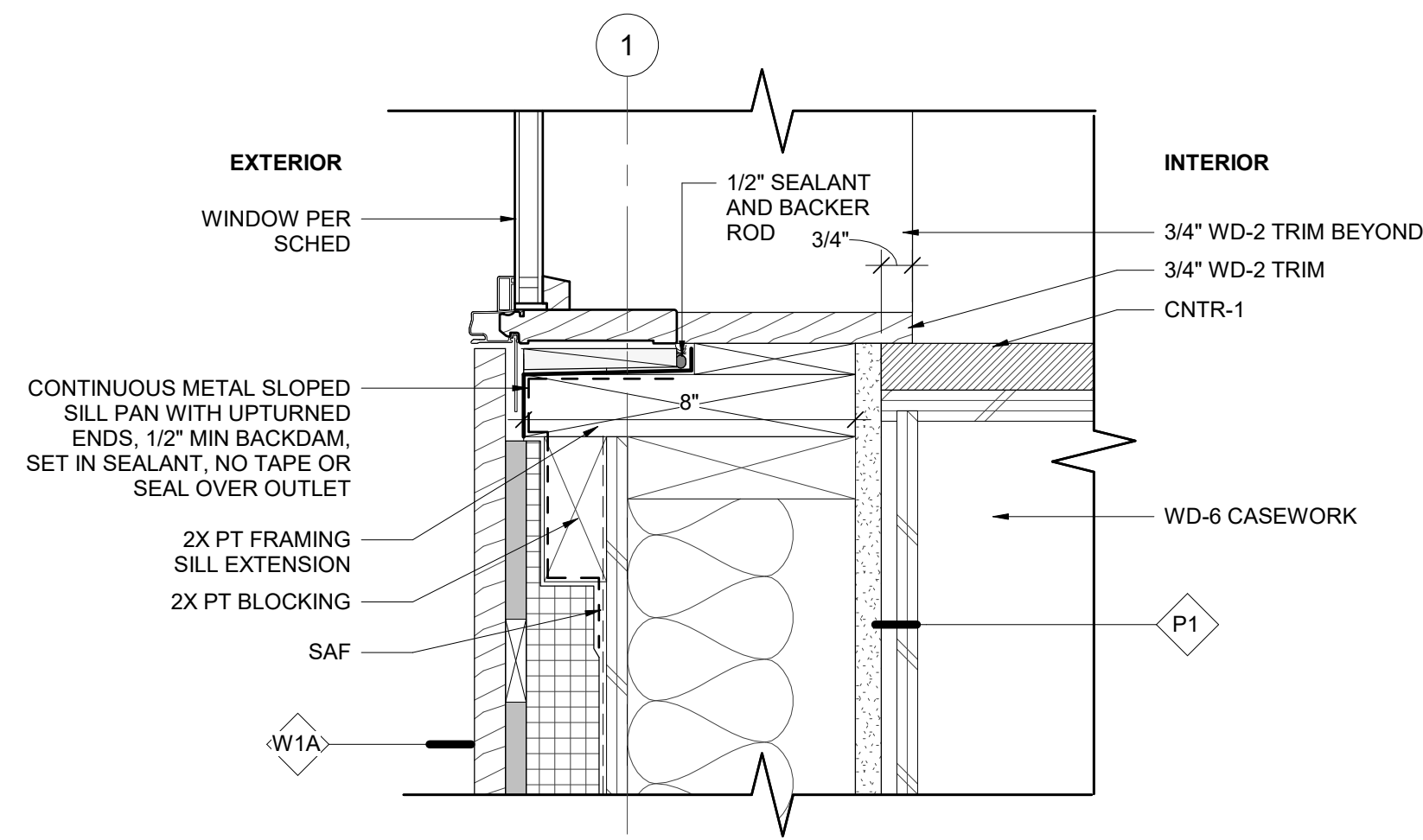
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EXTERIOR DETAILS - TYPICAL

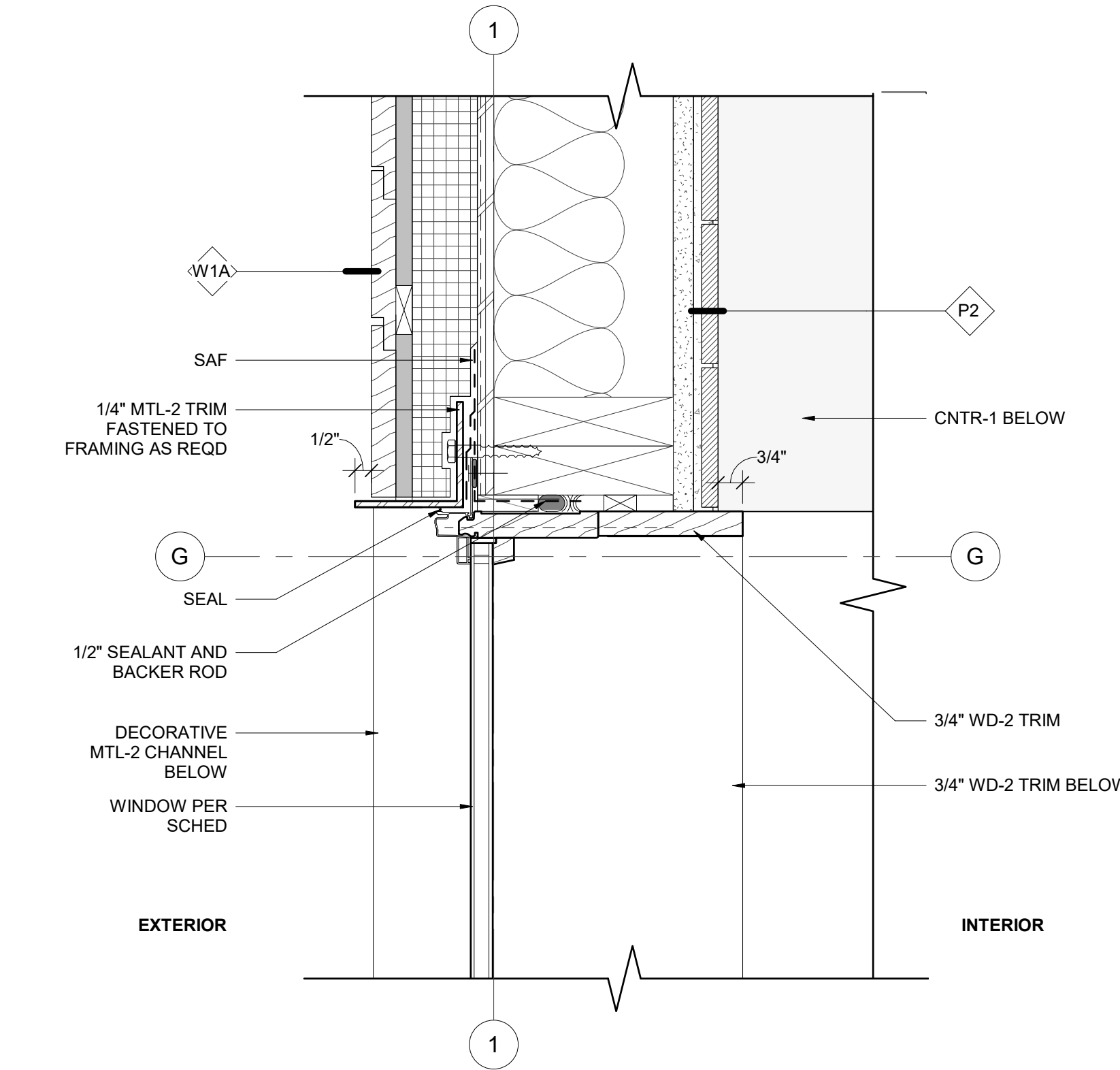
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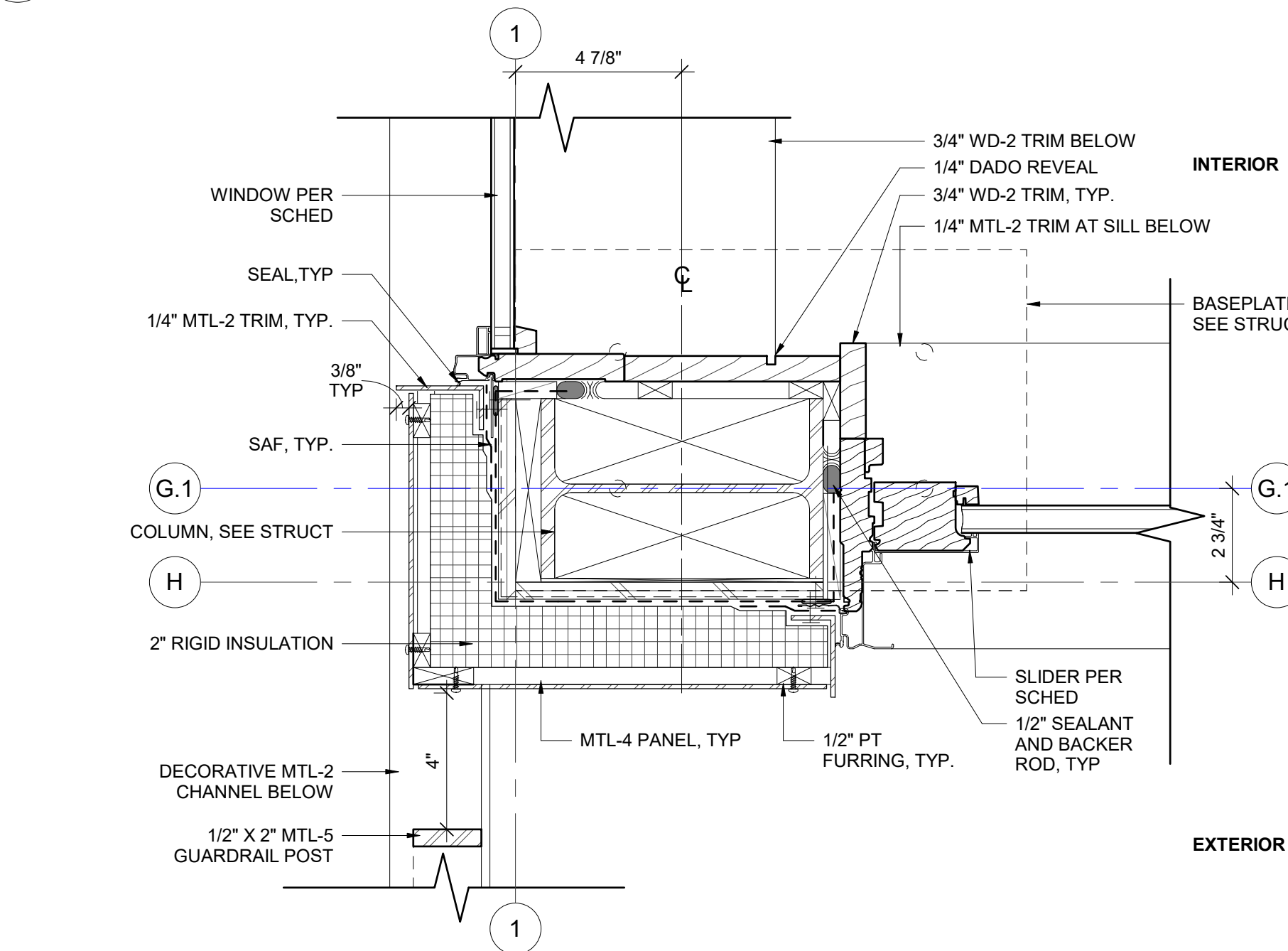
**SECTION DETAIL - SILL AT WINDOW 15**

SCALE: 3" = 1'-0"



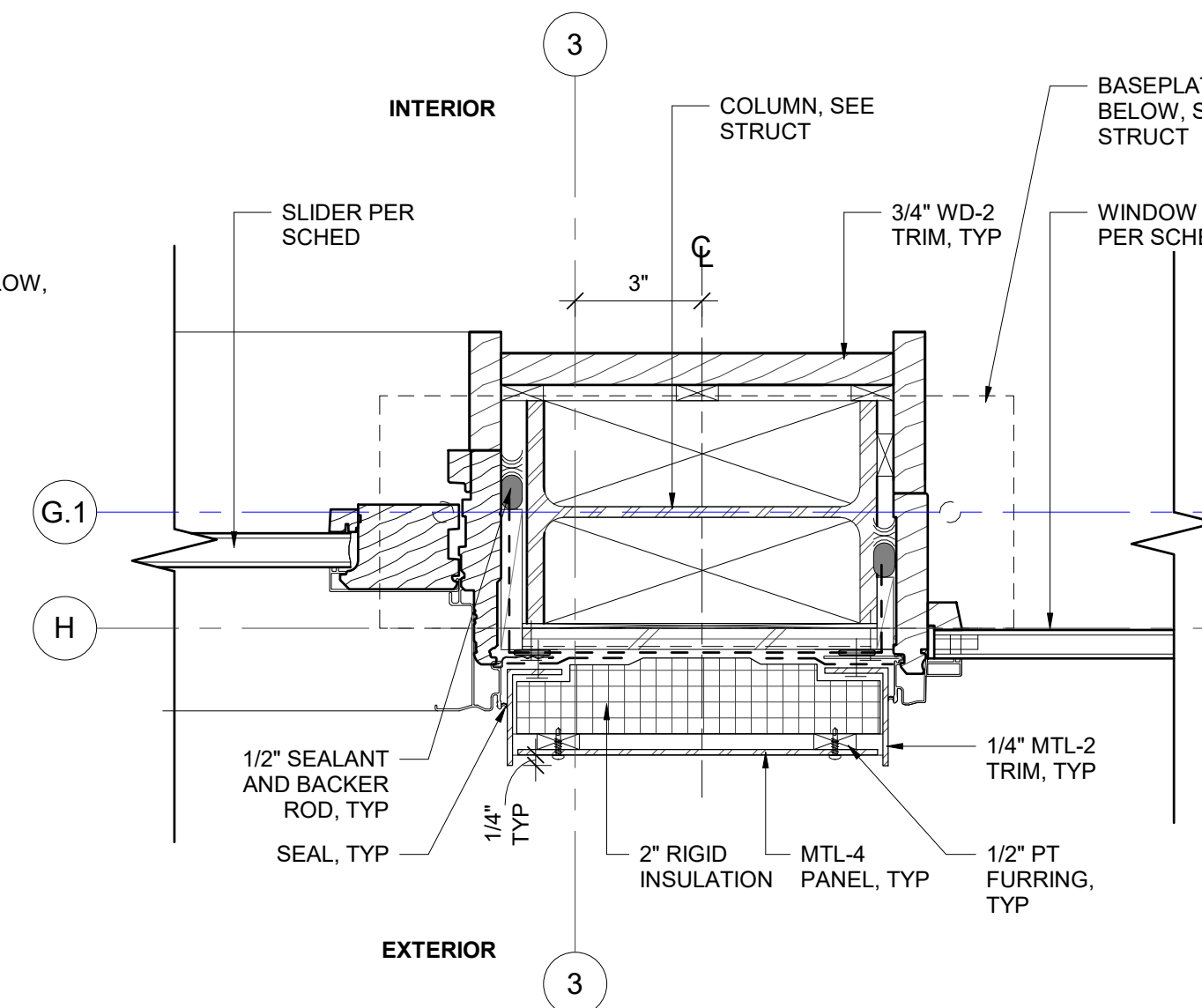
**PLAN DETAIL - JAMB AT WINDOW 14**

SCALE: 3" = 1'-0"



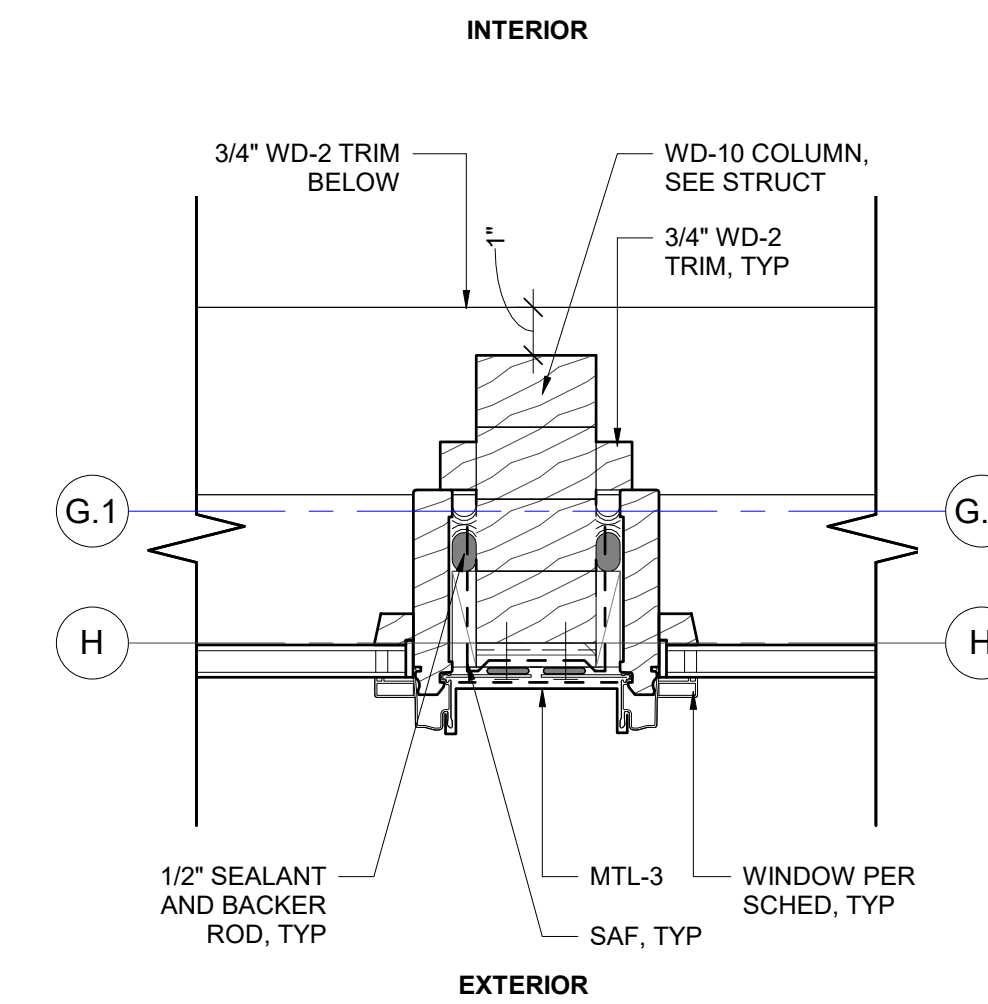
**PLAN DETAIL - JAMB AT WINDOW 14 / 13**

SCALE: 3" = 1'-0"



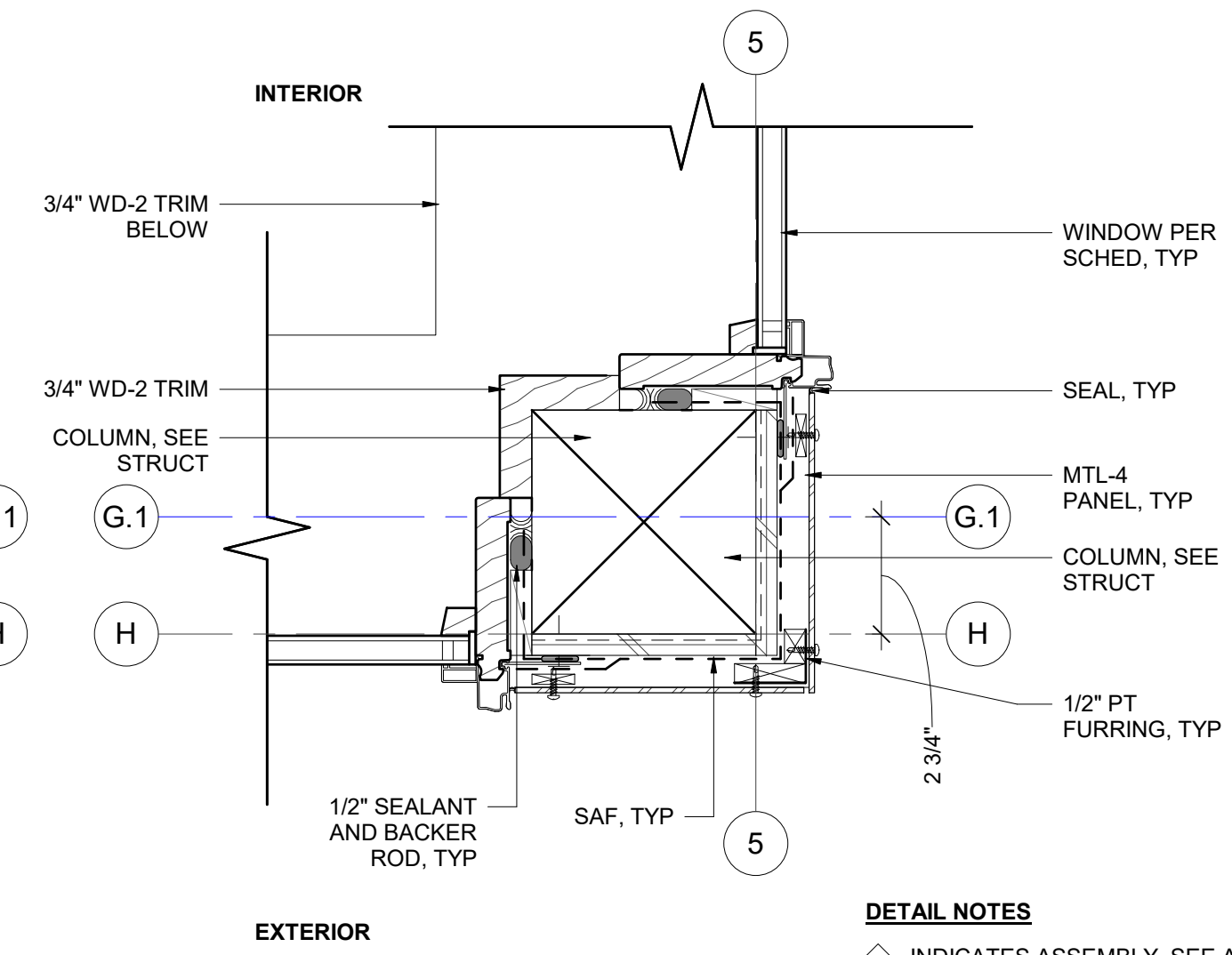
**PLAN DETAIL - JAMB AT WINDOW 13 / 12**

SCALE: 3" = 1'-0"



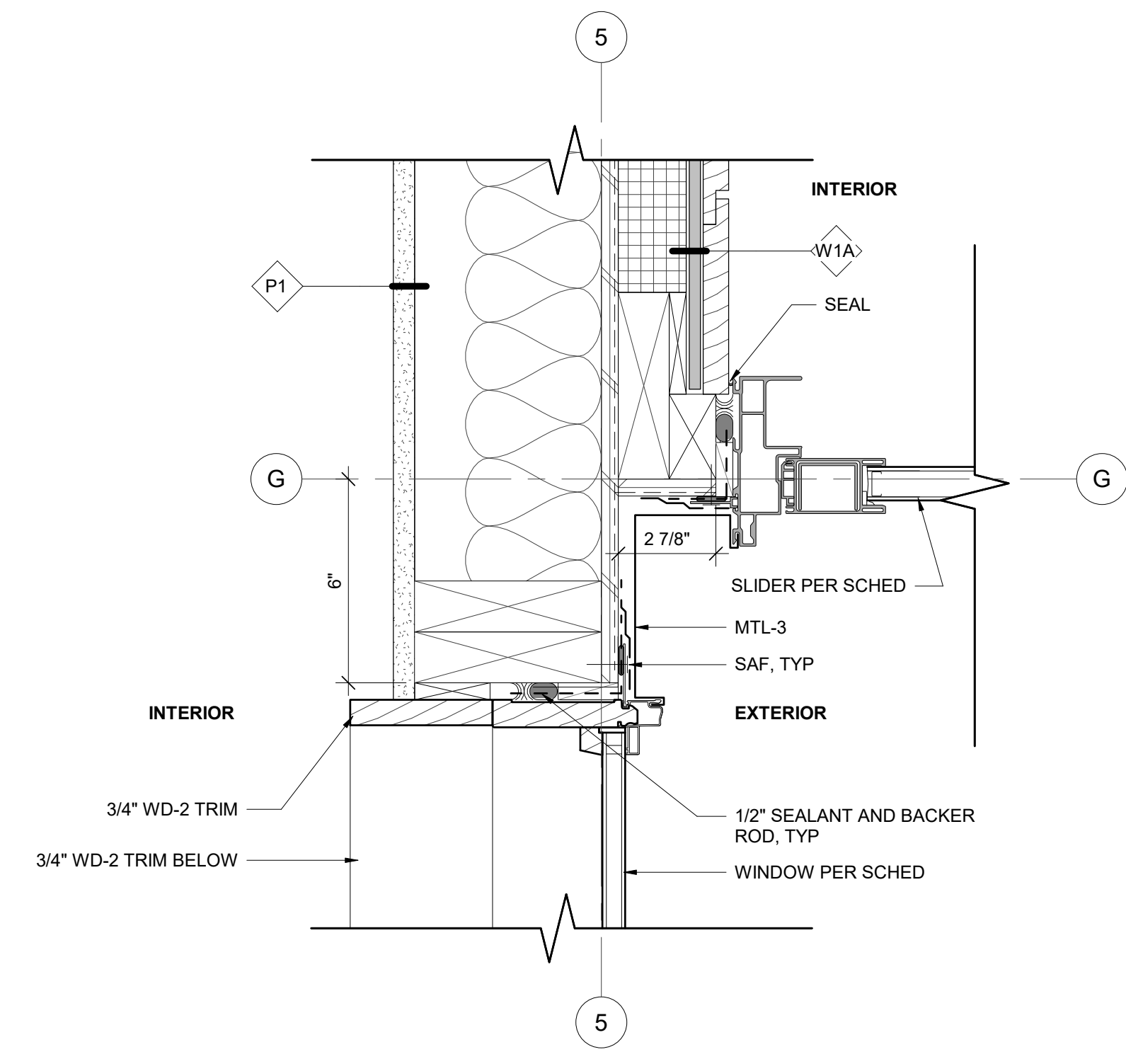
**PLAN DETAIL - TYP JAMB AT GLULAM**

SCALE: 3" = 1'-0"



**PLAN DETAIL - JAMB AT WINDOW 08 / 09**

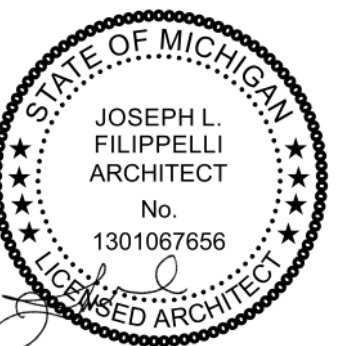
SCALE: 3" = 1'-0"



**PLAN DETAIL - JAMB AT WINDOW 08 / SC6**

SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
drawn by JLF  
MB  
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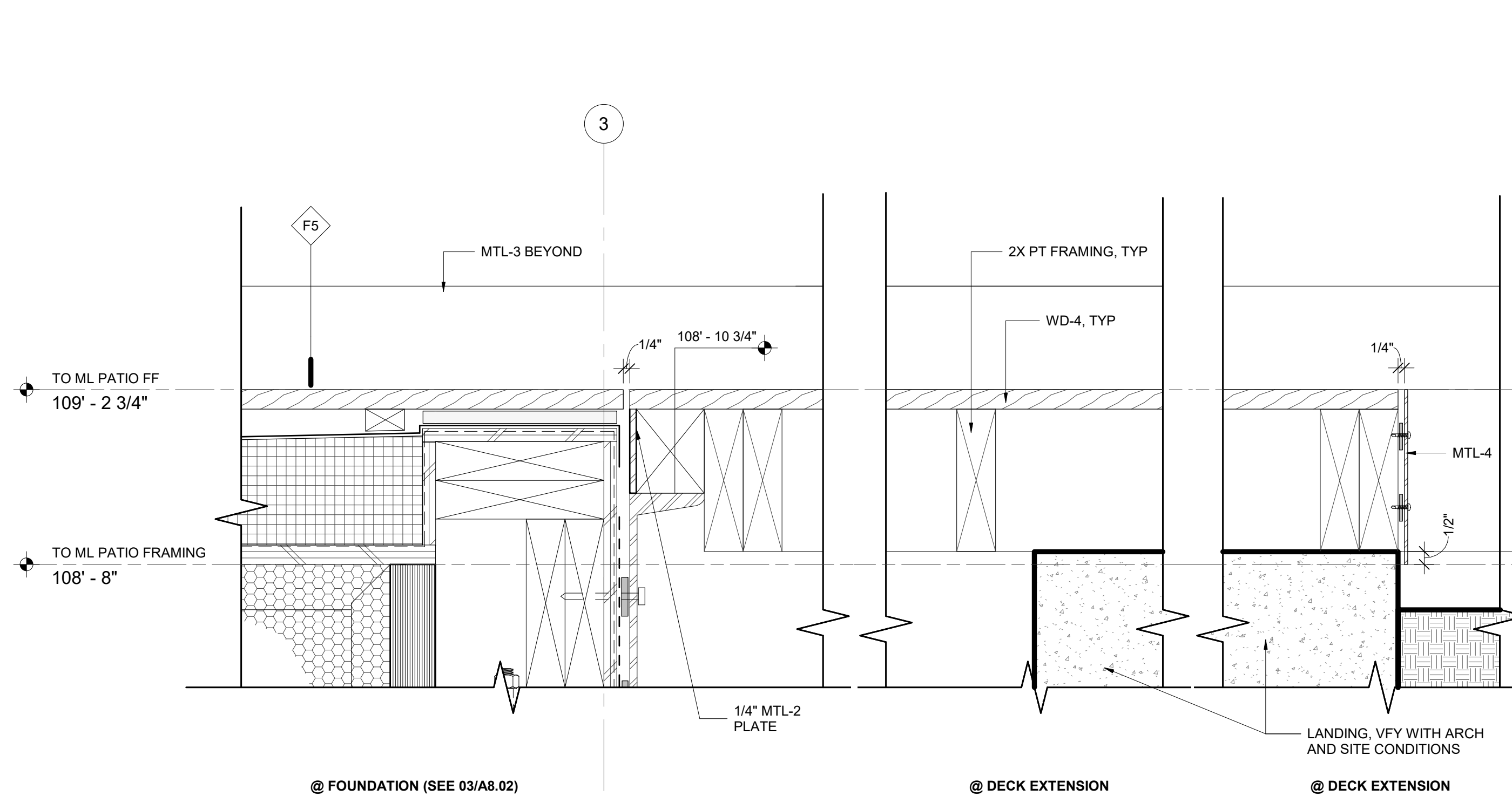
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no. date by

**CONSTRUCTION DOCUMENTS**  
05.20.2022

**EXTERIOR DETAILS - GREAT ROOM PLAN DETAILS**

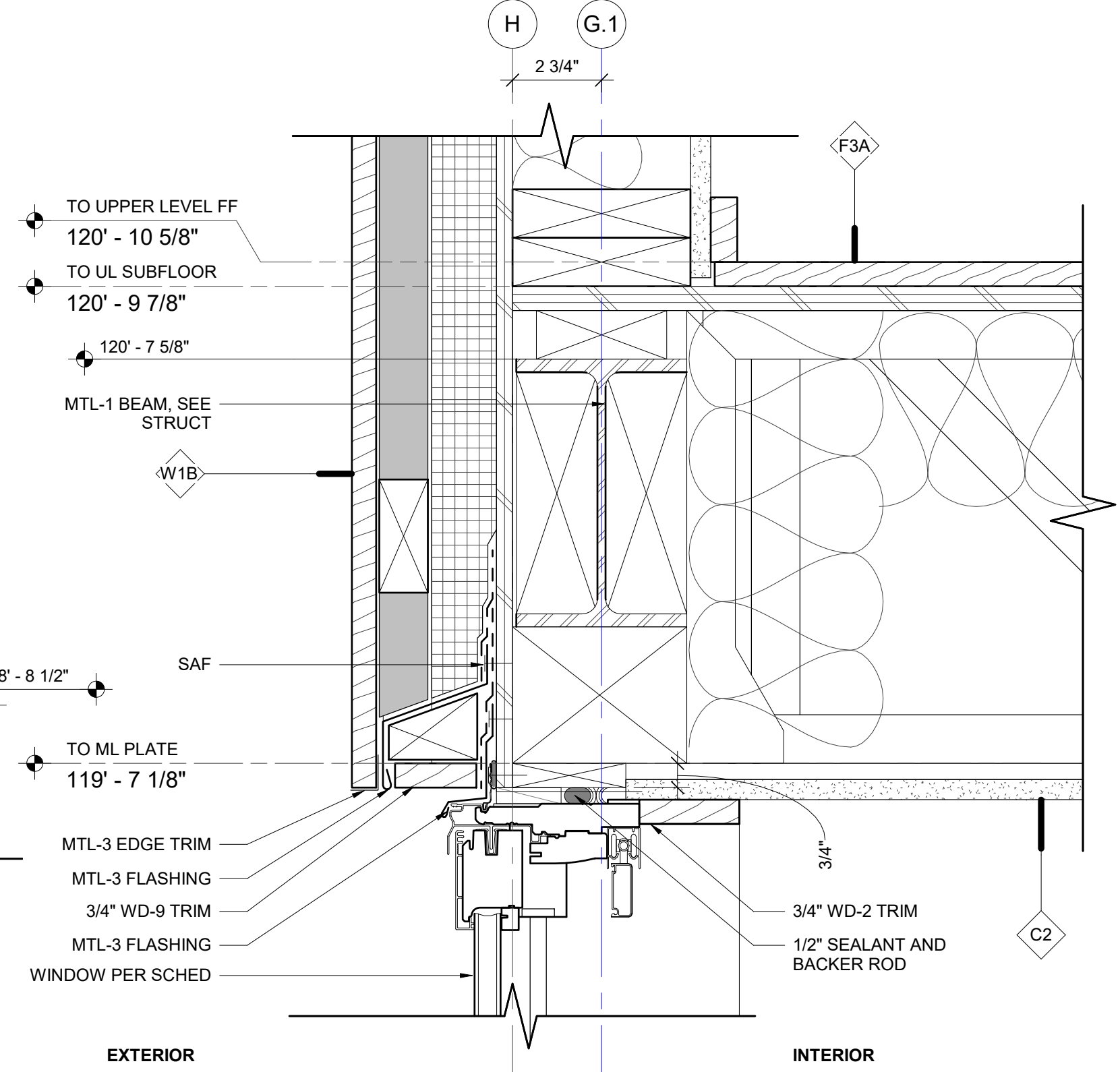
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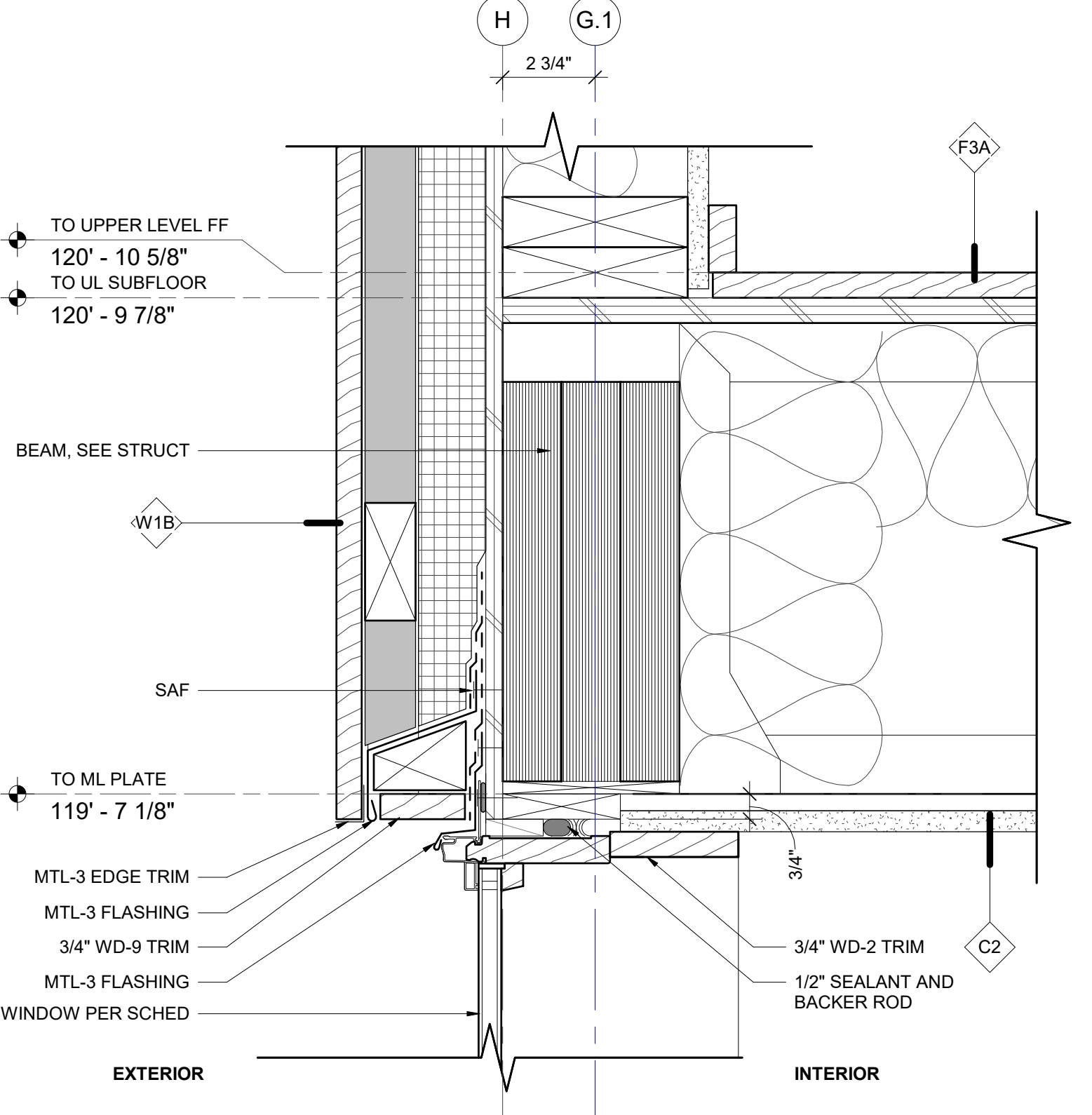
**SECTION DETAIL - DECK AT LANDSCAPED STEPS**

8 SCALE: 3" = 1'-0"



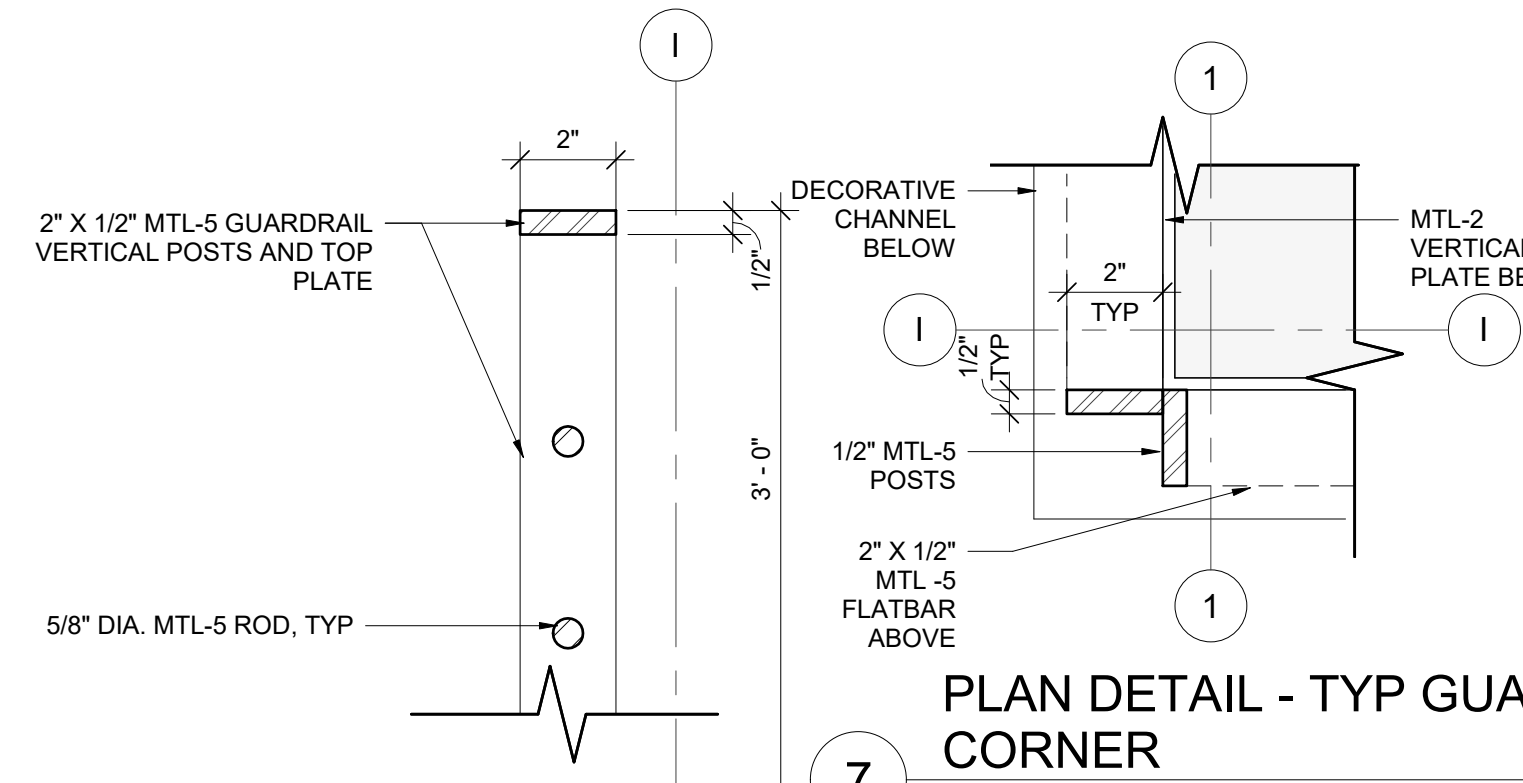
**SECTION DETAIL - HEAD AT SLIDER**

6 SCALE: 3" = 1'-0"



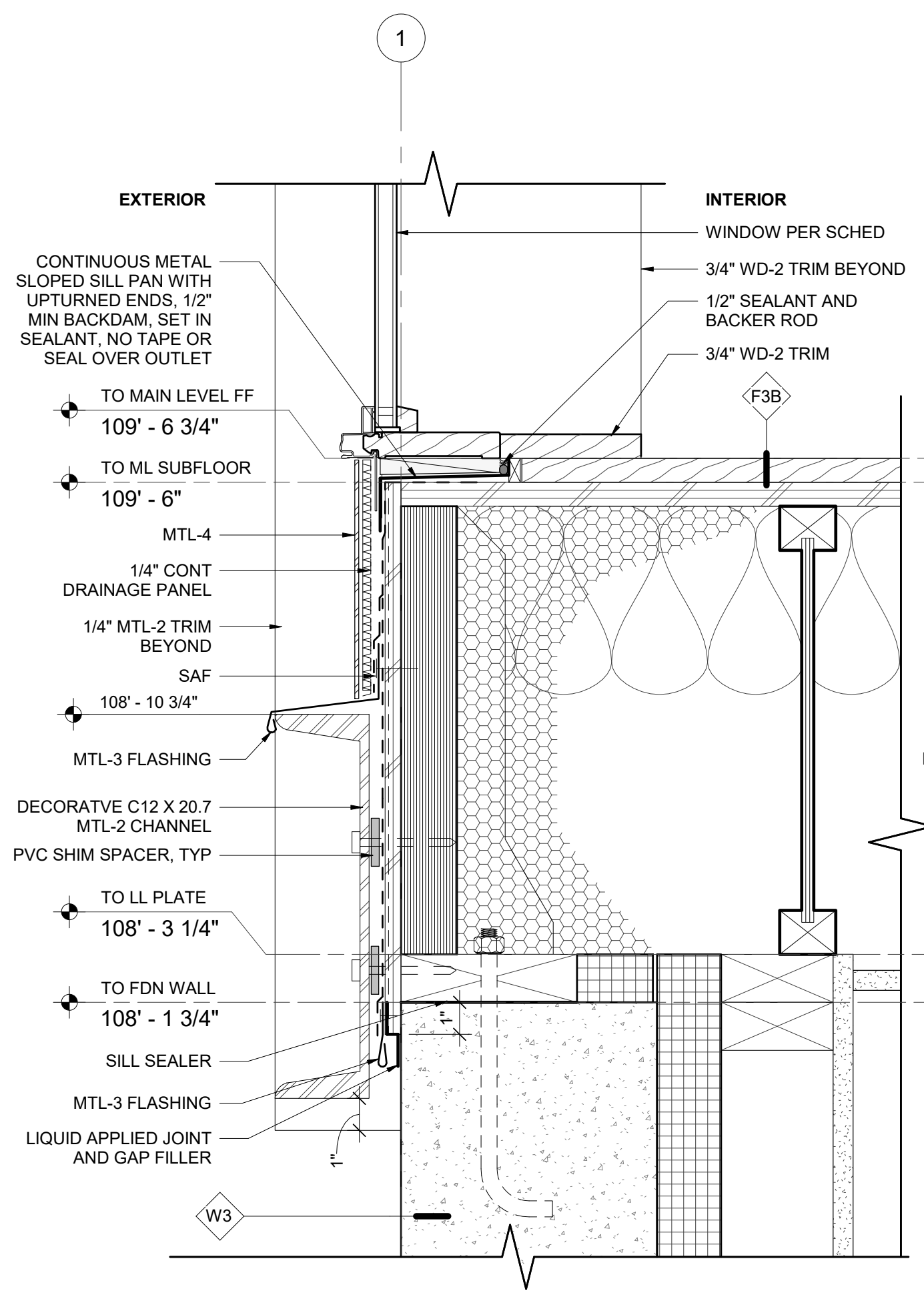
**SECTION DETAIL - TYP. HEAD AT FULL HT WINDOW**

5 SCALE: 3" = 1'-0"



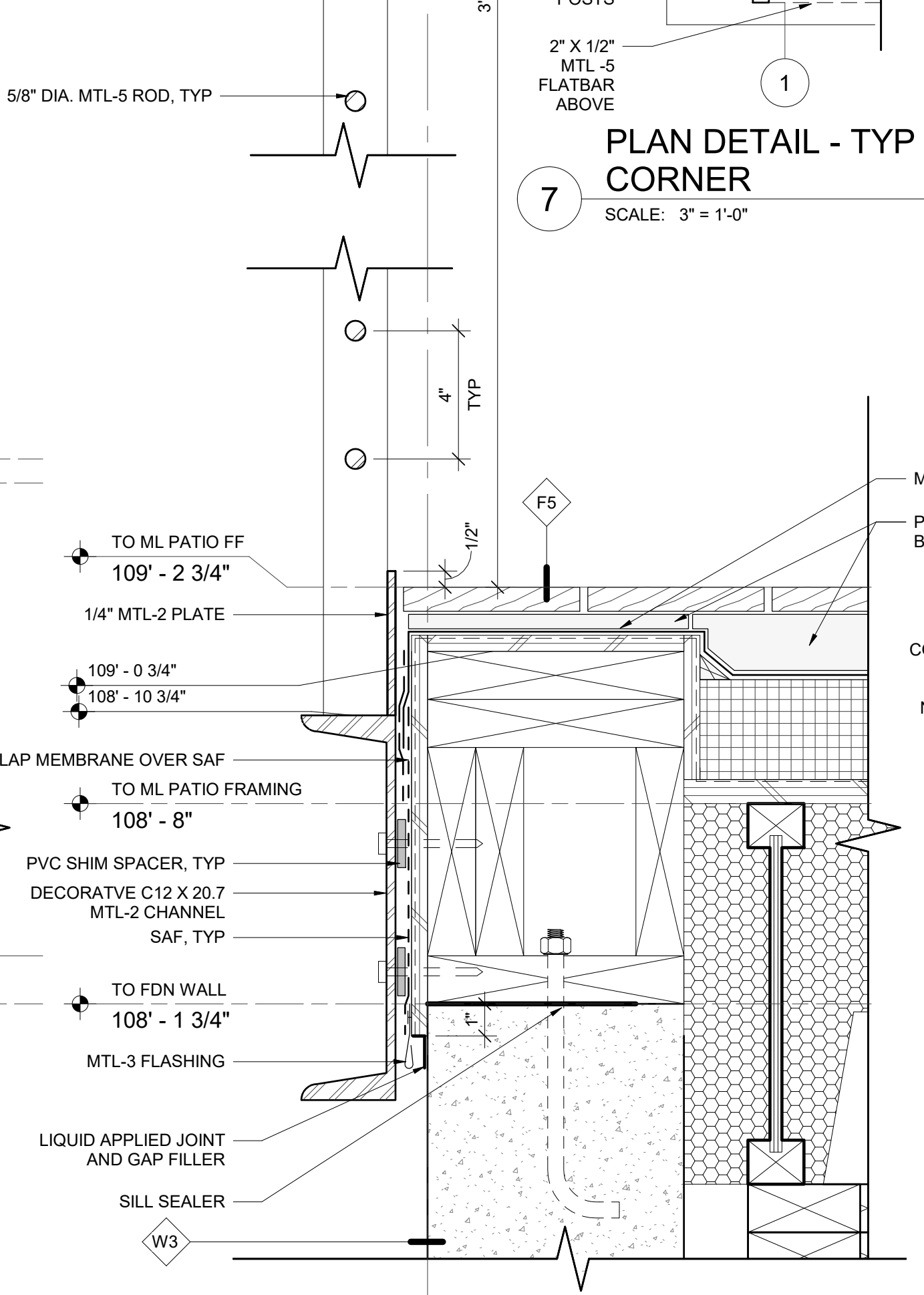
**PLAN DETAIL - TYP GUARDRAIL CORNER**

7 SCALE: 3" = 1'-0"



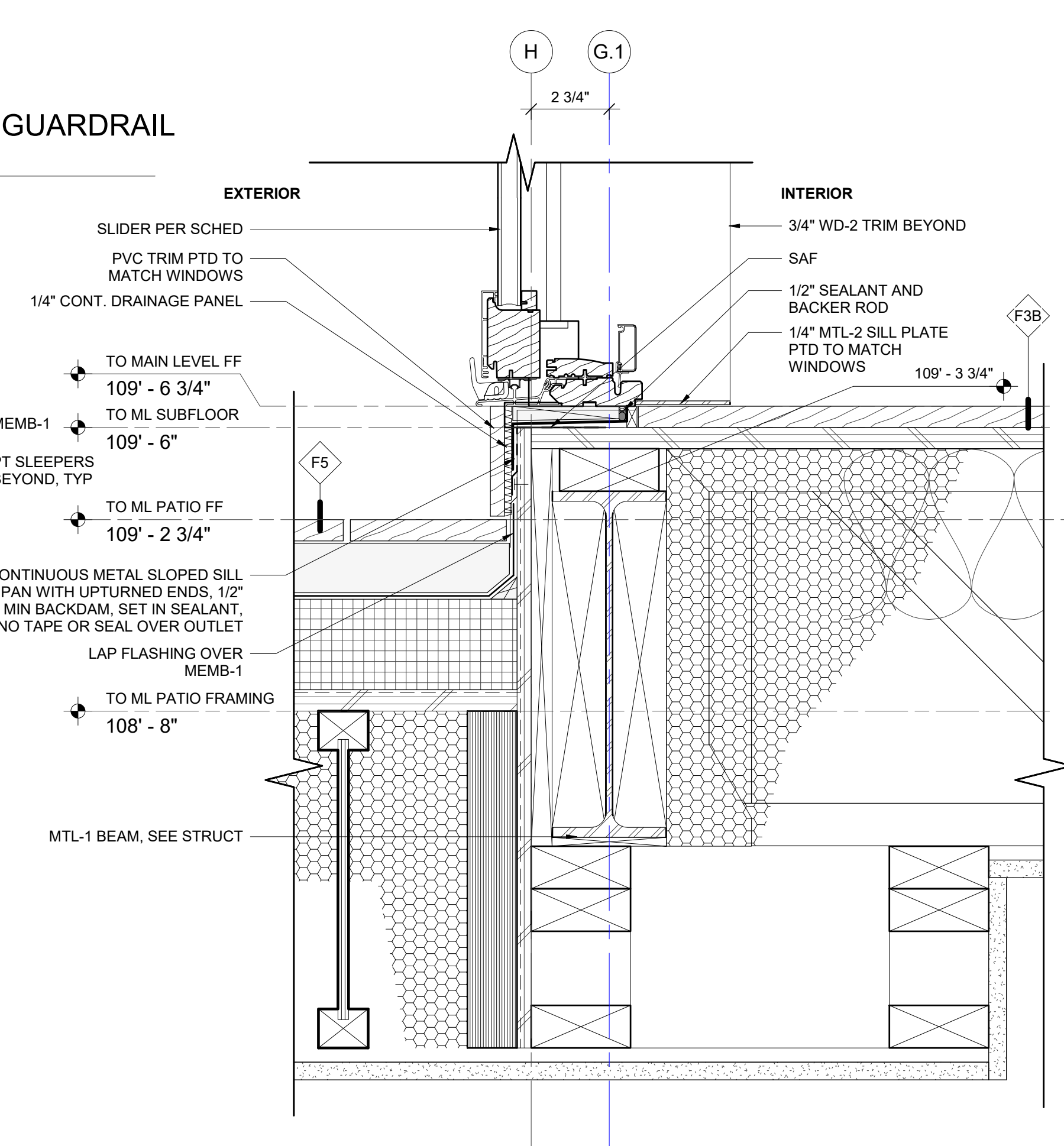
**SECTION DETAIL - SILL AT WINDOW 14**

4 SCALE: 3" = 1'-0"



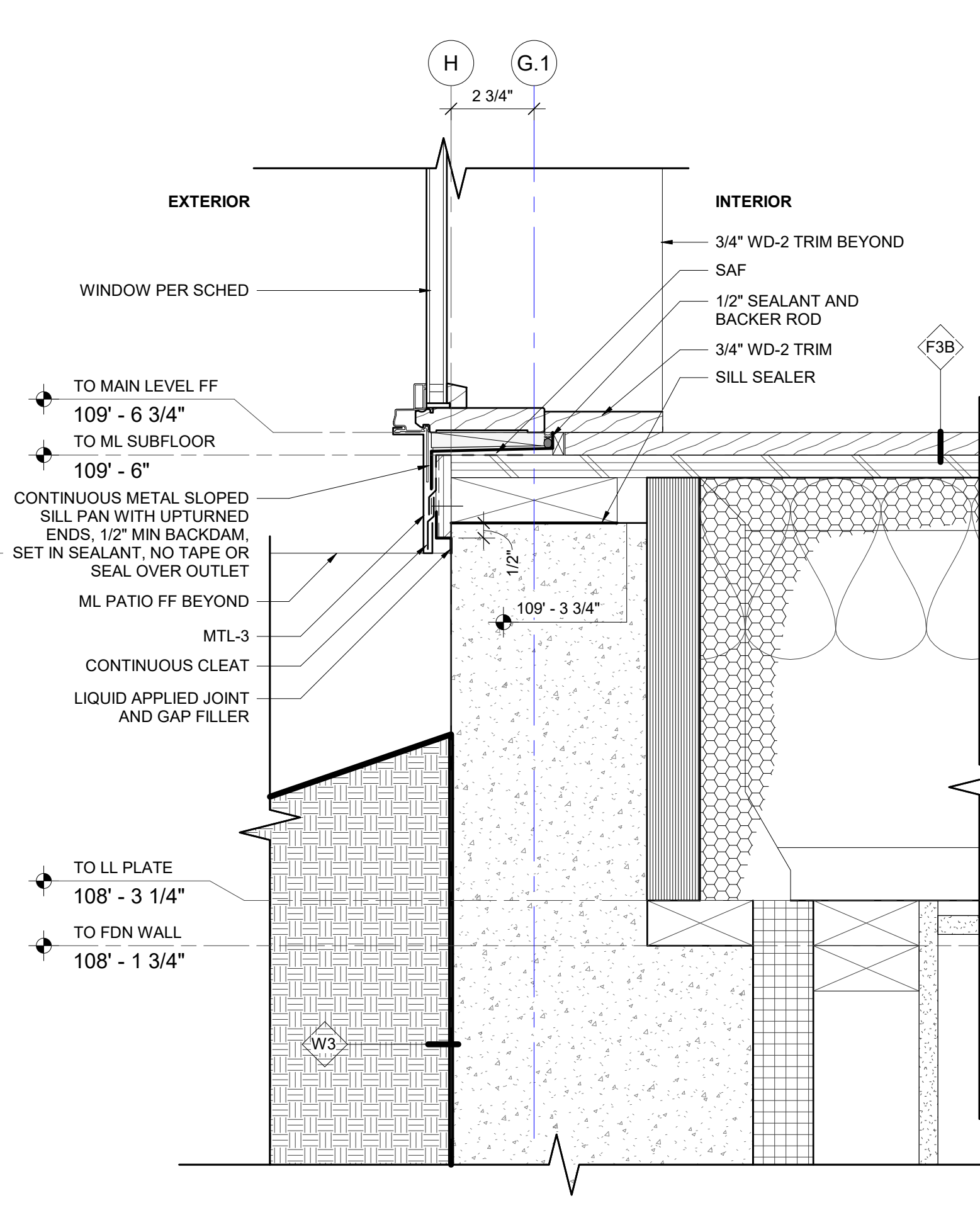
**SECTION DETAIL - TYP. EXTERIOR GUARDRAIL**

3 SCALE: 3" = 1'-0"



**SECTION DETAIL - SILL AT SLIDER**

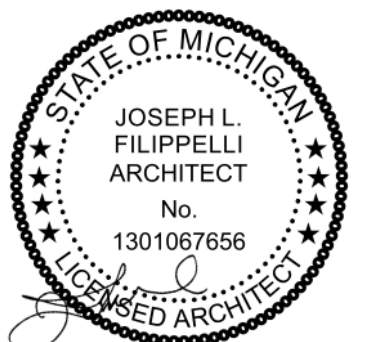
2 SCALE: 3" = 1'-0"



**SECTION DETAIL - TYP SILL AT LIVING WINDOW**

1 SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

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no. date by

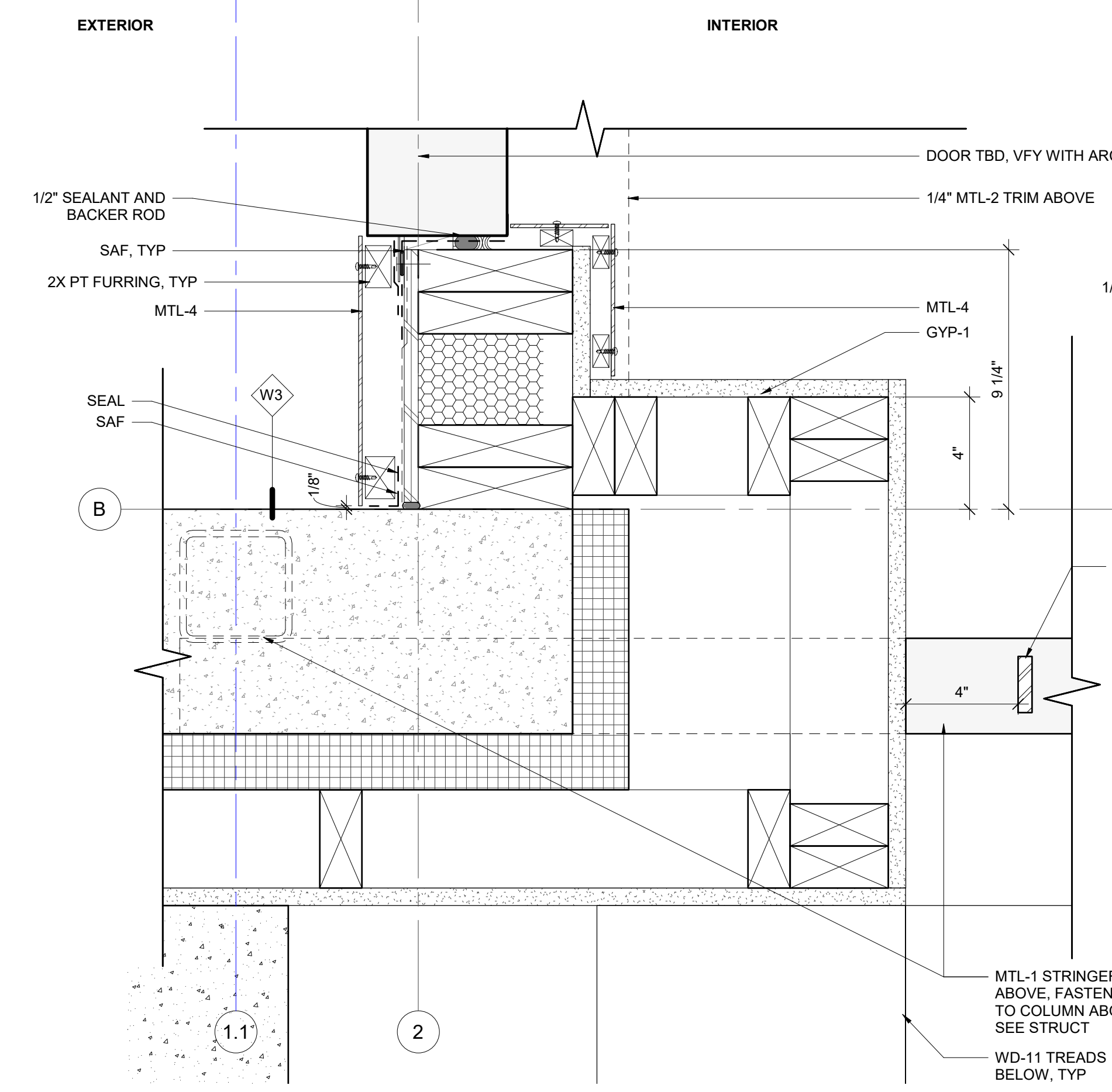
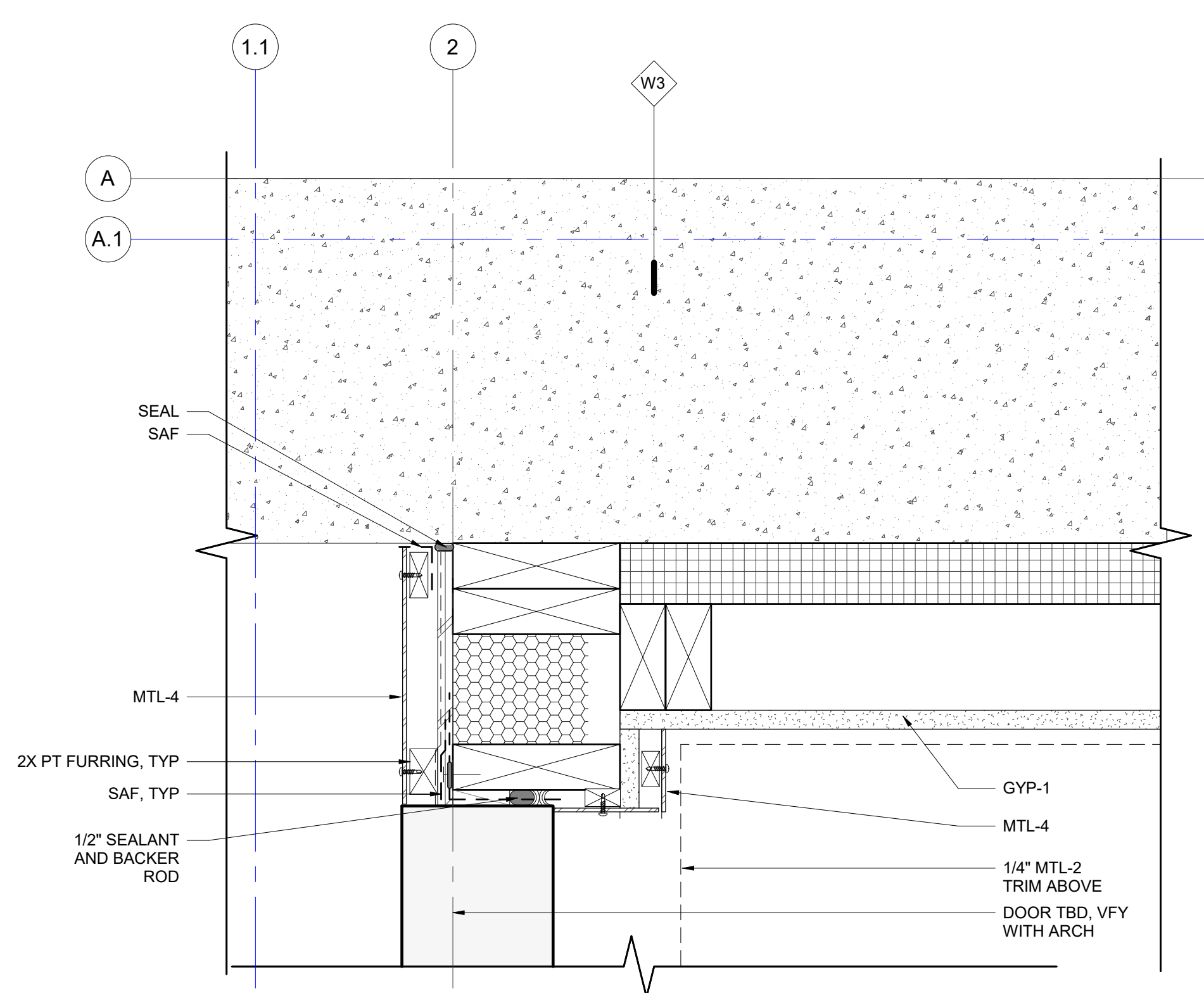
**CONSTRUCTION DOCUMENTS**

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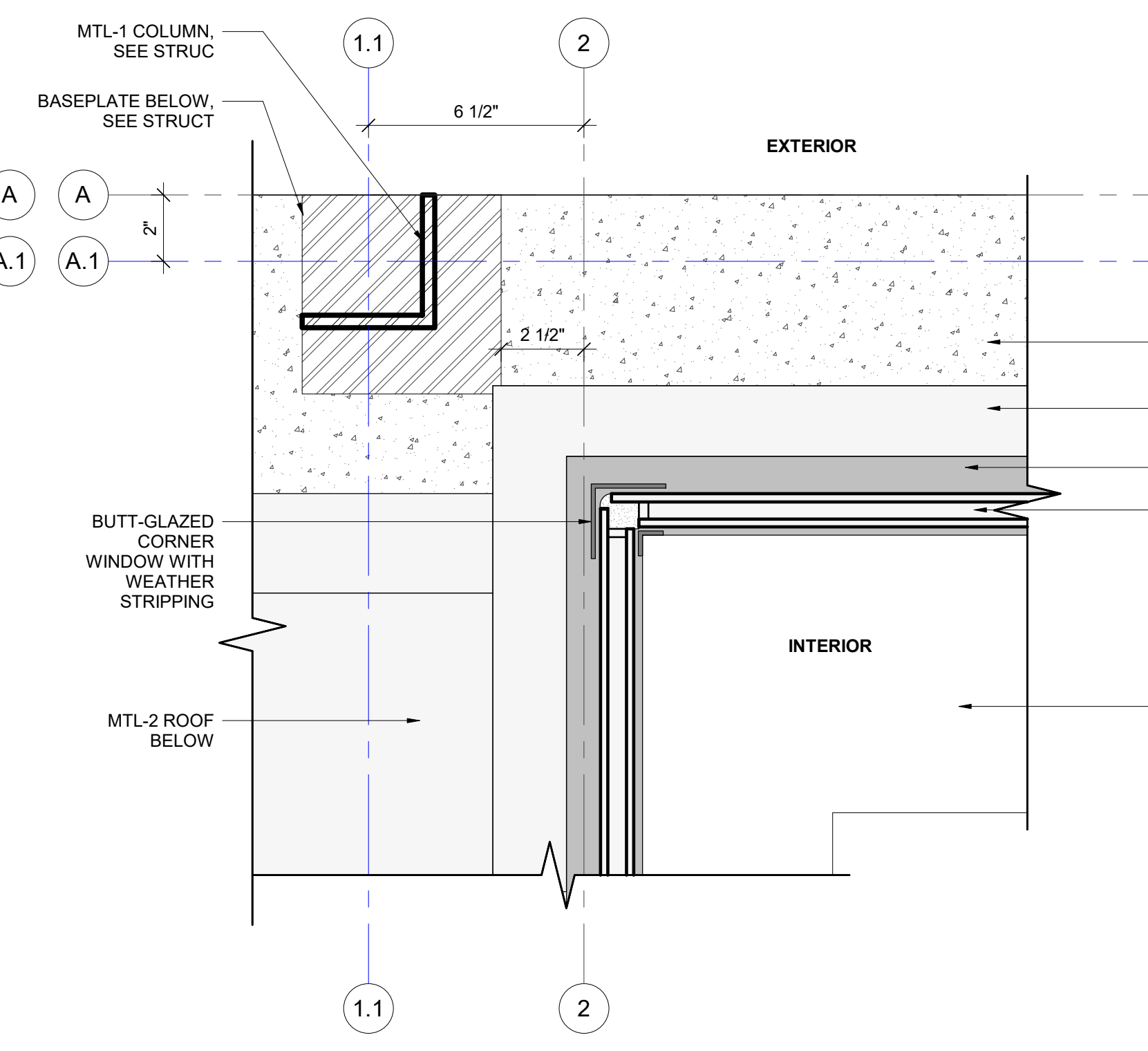
**EXTERIOR DETAILS - GREAT ROOM SECTION DETAILS**

**A8.02**

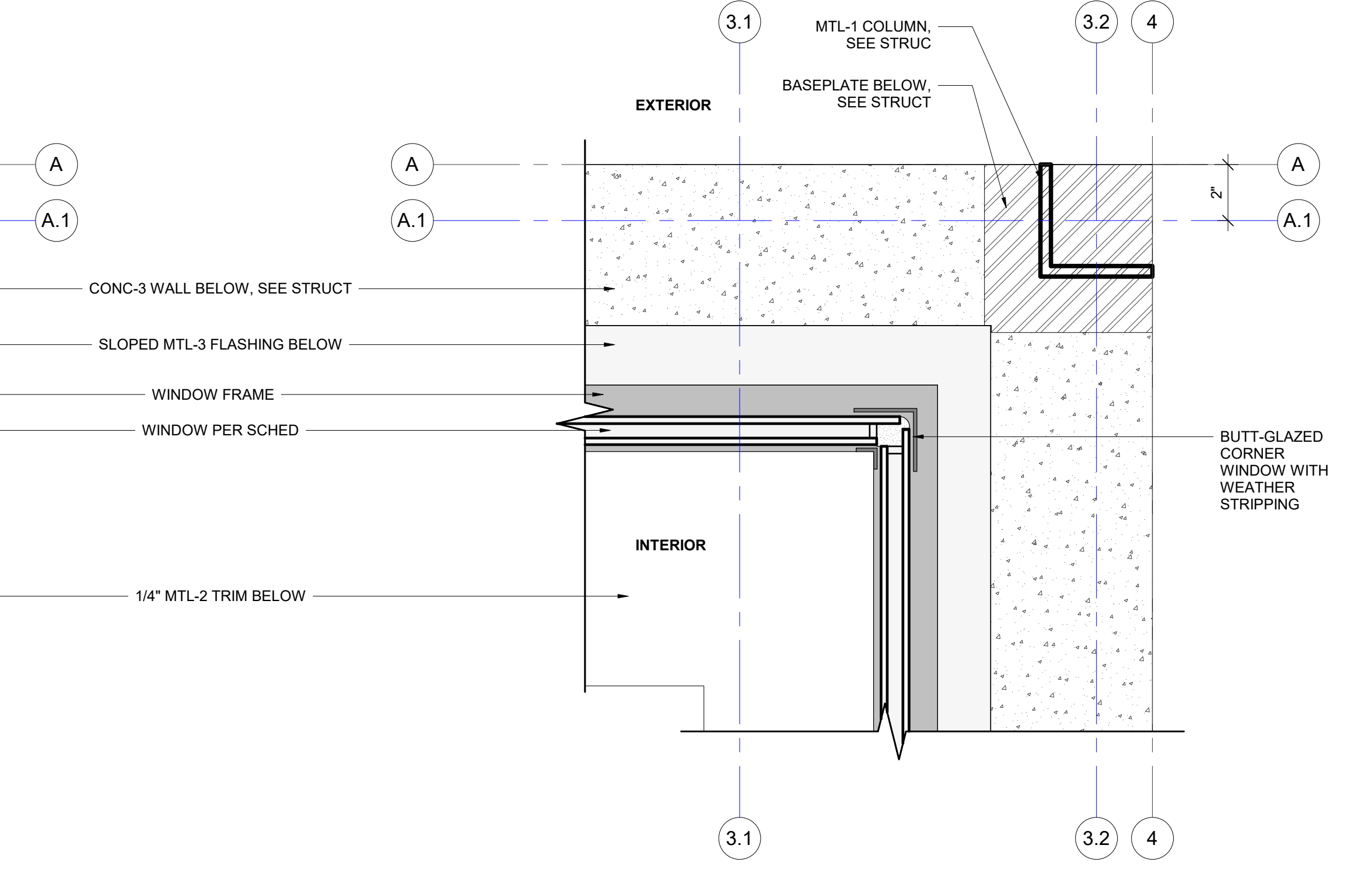




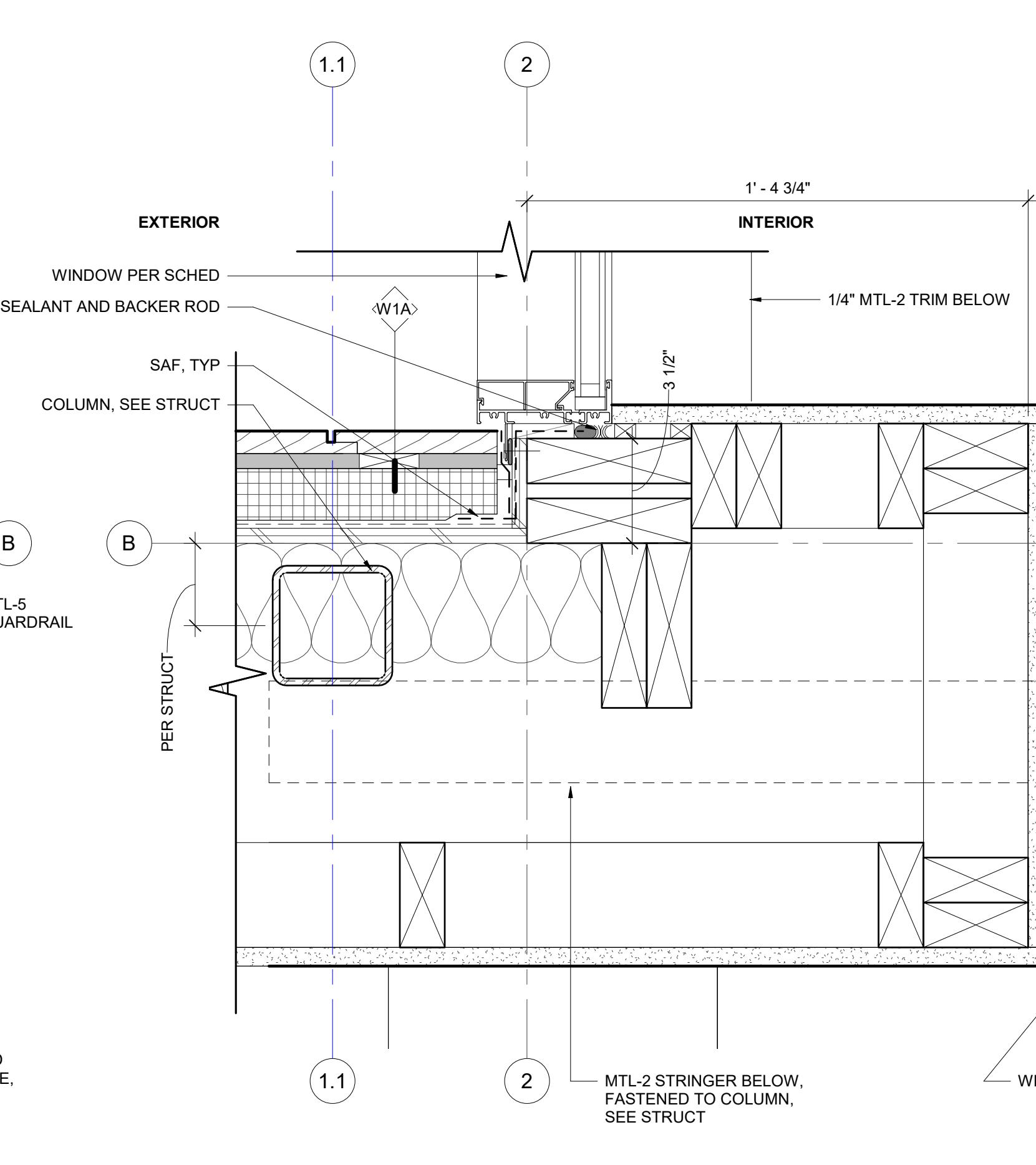
**3** PLAN DETAIL - JAMB AT ENTRY DOOR  
SCALE: 3" = 1'-0"



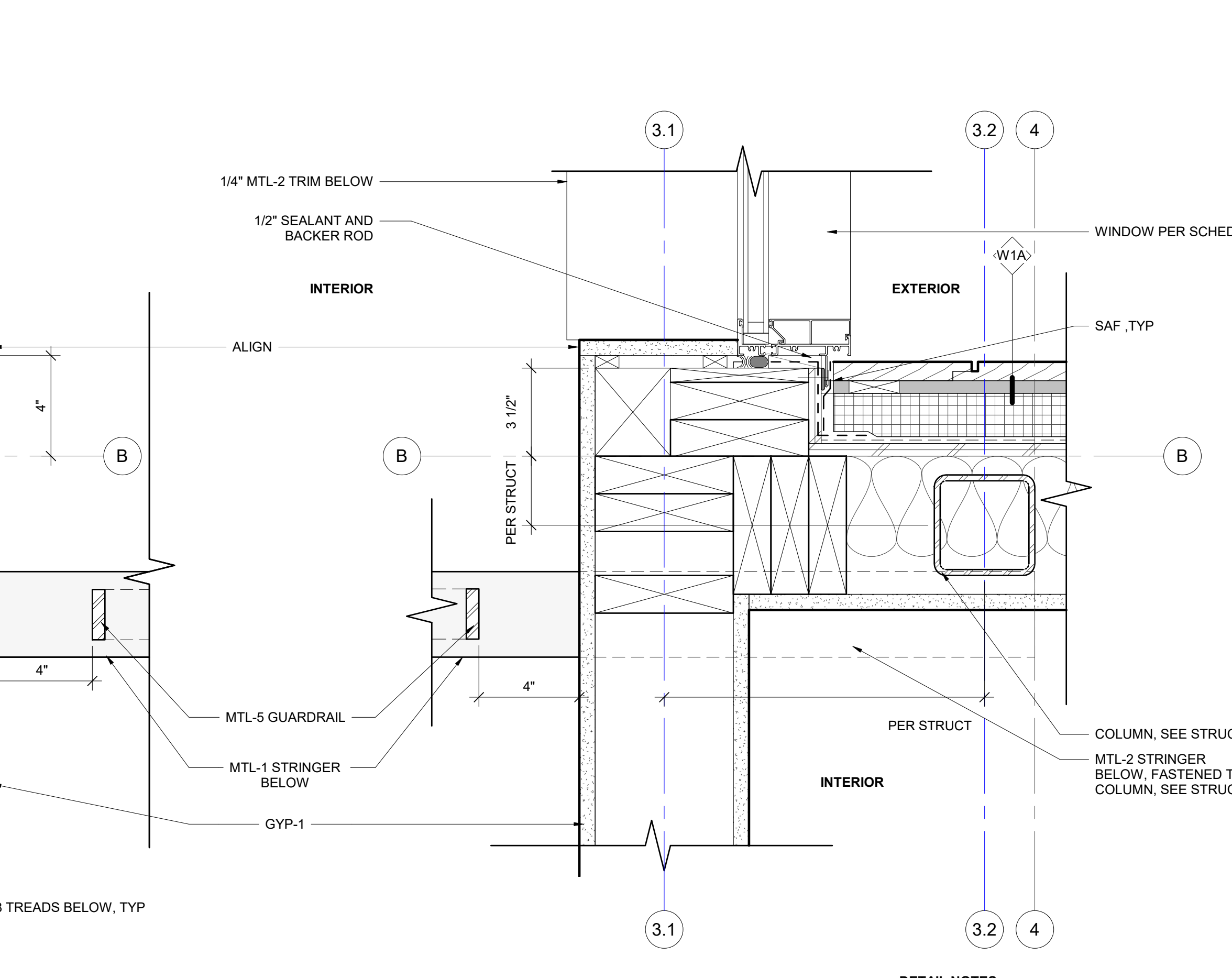
**6** PLAN DETAIL - JAMB AT WINDOW 02 W  
SCALE: 3" = 1'-0"



**4** PLAN DETAIL - JAMB AT WINDOW 02 E  
SCALE: 3" = 1'-0"

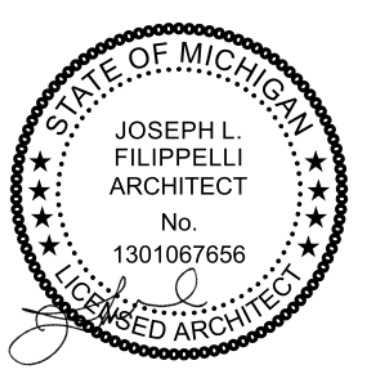


**2** PLAN DETAIL - JAMB AT WINDOW 01  
SCALE: 3" = 1'-0"



**1** PLAN DETAIL - JAMB AT WINDOW 03  
SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

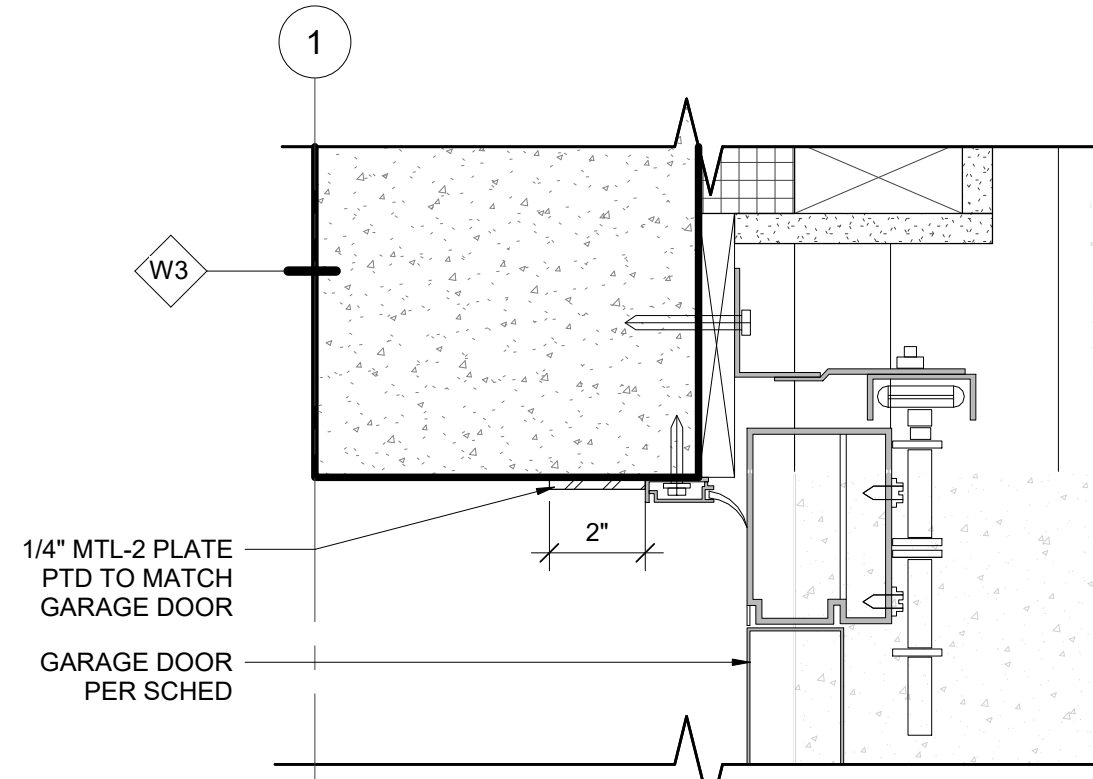
no.	date	by

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EXTERIOR DETAILS - ENTRY BOX - PLAN DETAILS

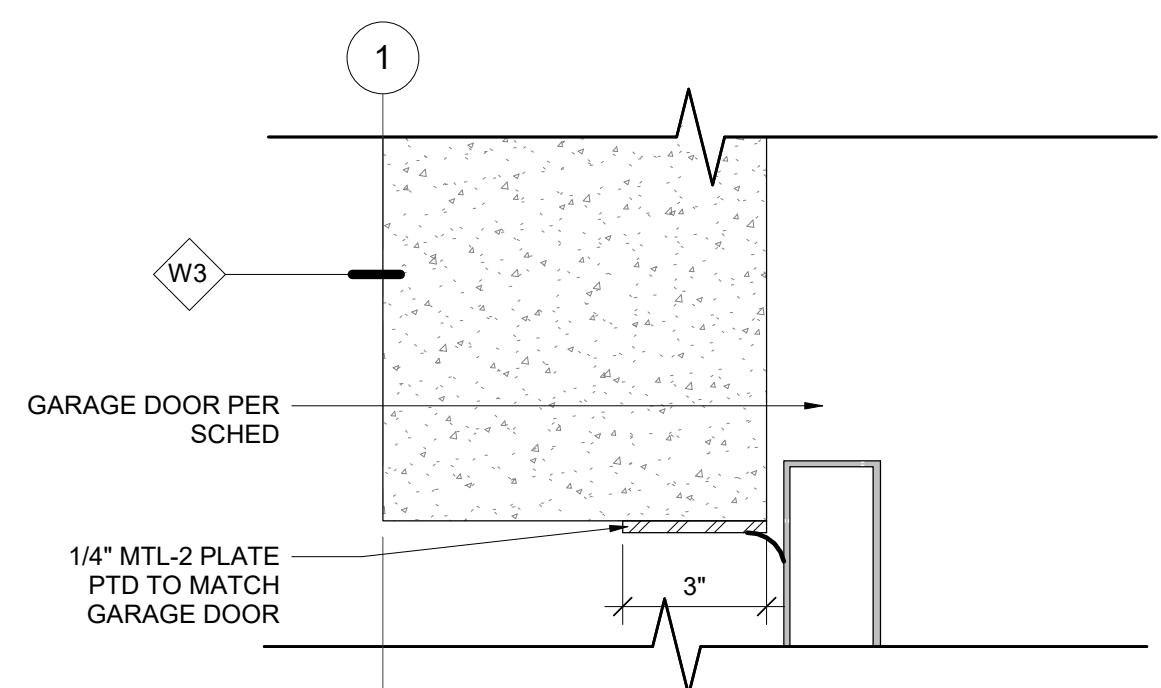
**A8.03**





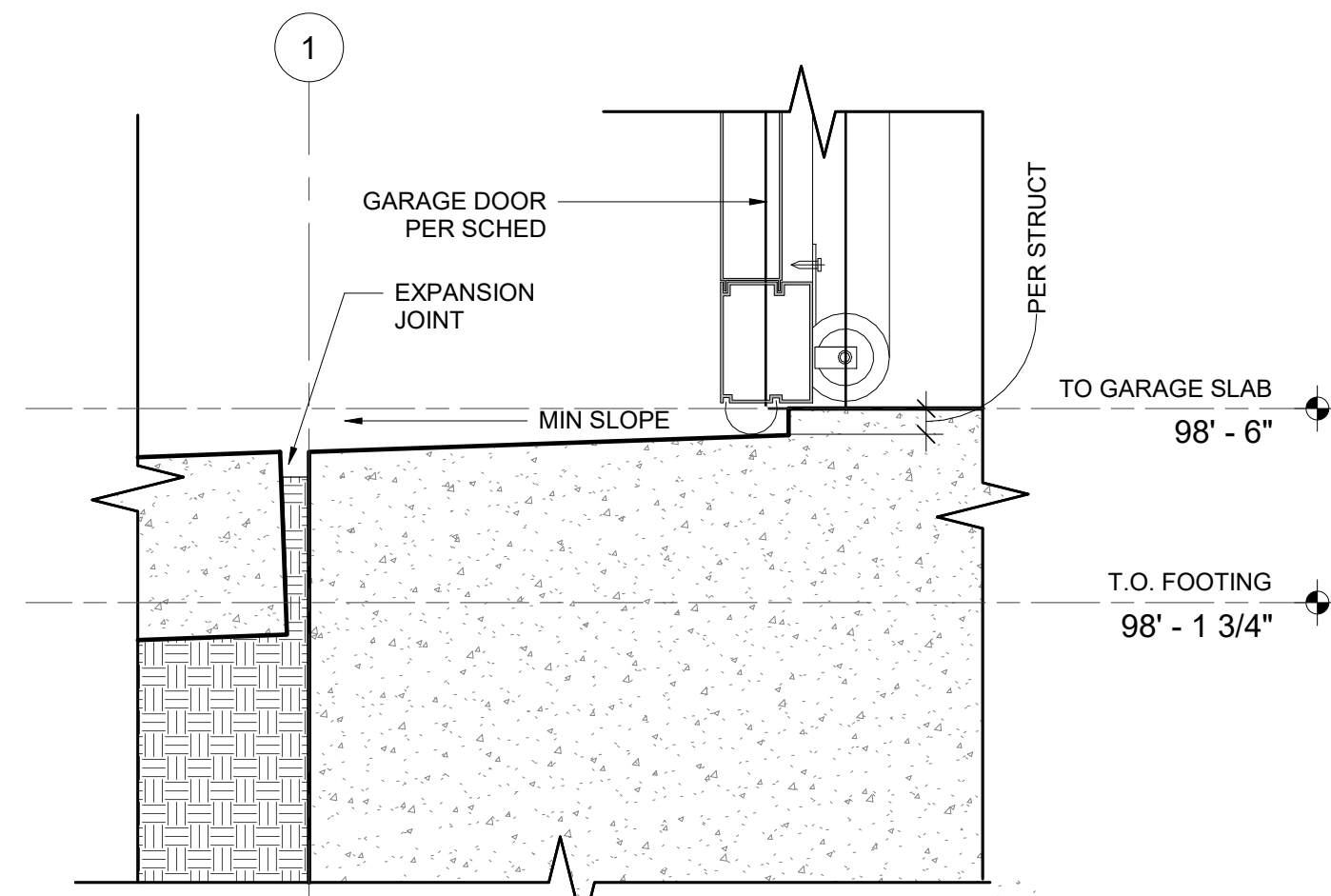
**PLAN DETAIL - TYP JAMB AT GARAGE DOOR**

SCALE: 3" = 1'-0"



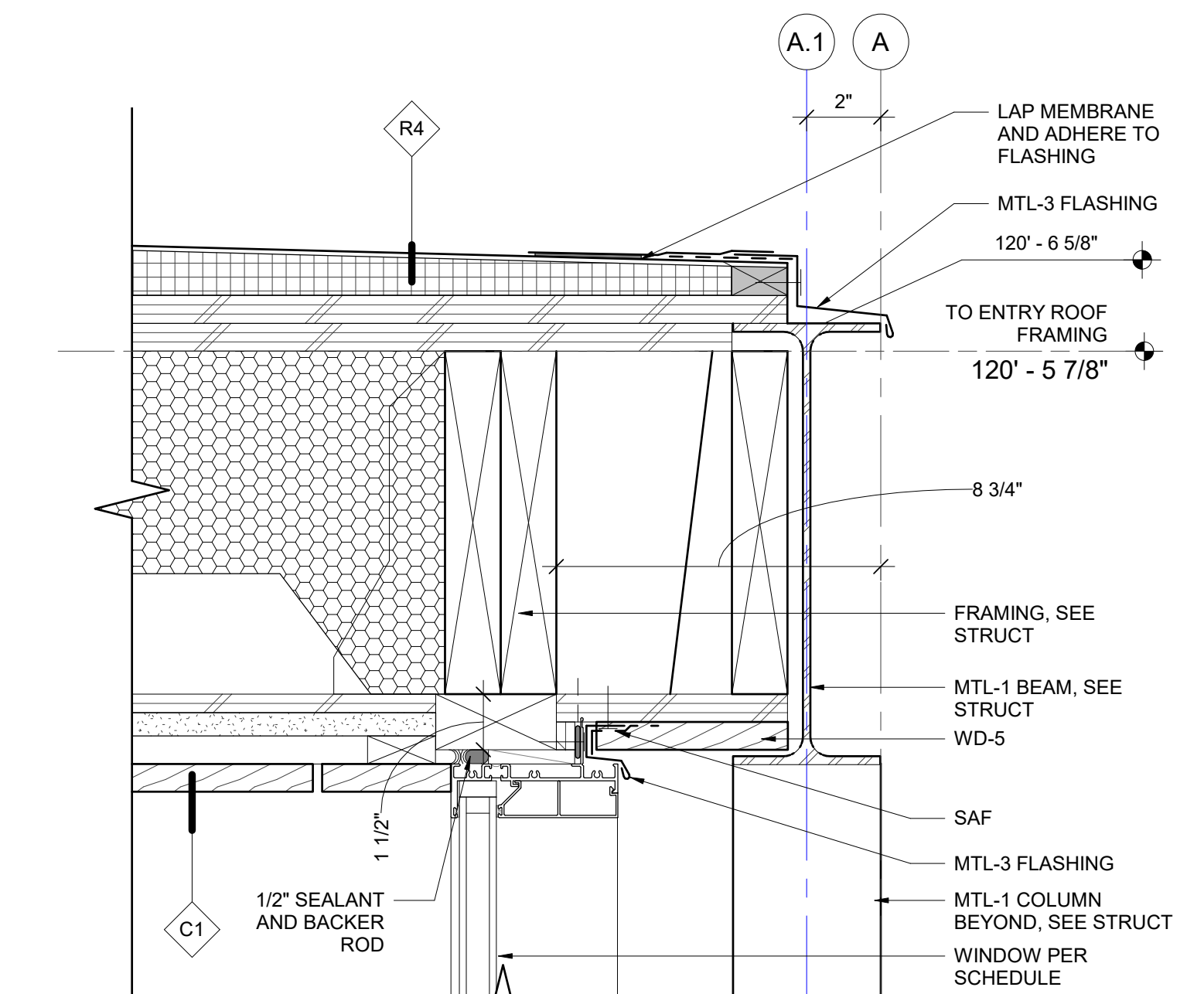
**SECTION DETAIL - TYP HEAD AT GARAGE DOOR**

SCALE: 3" = 1'-0"



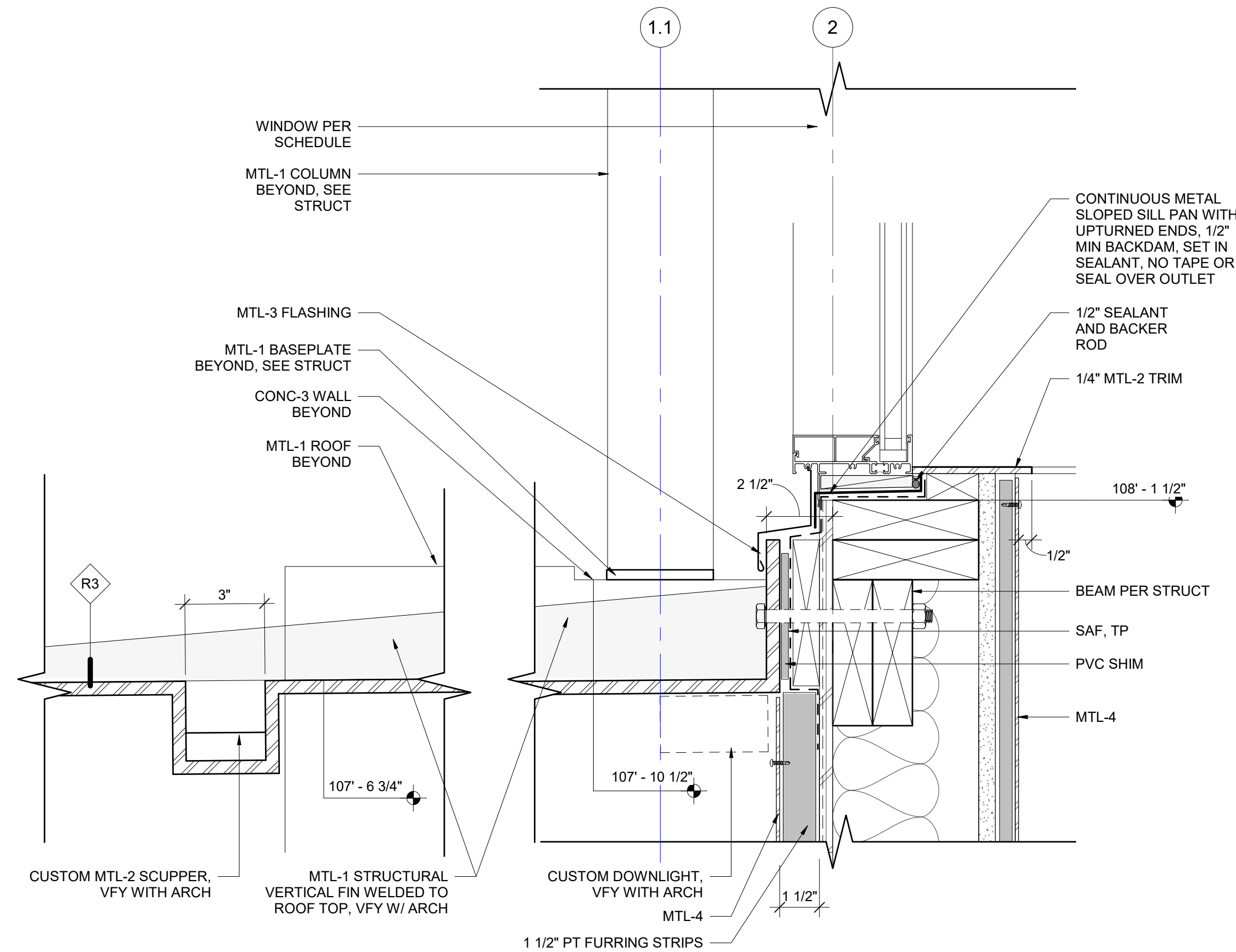
**SECTION DETAIL - TYP SILL AT GARAGE DOOR**

SCALE: 3" = 1'-0"



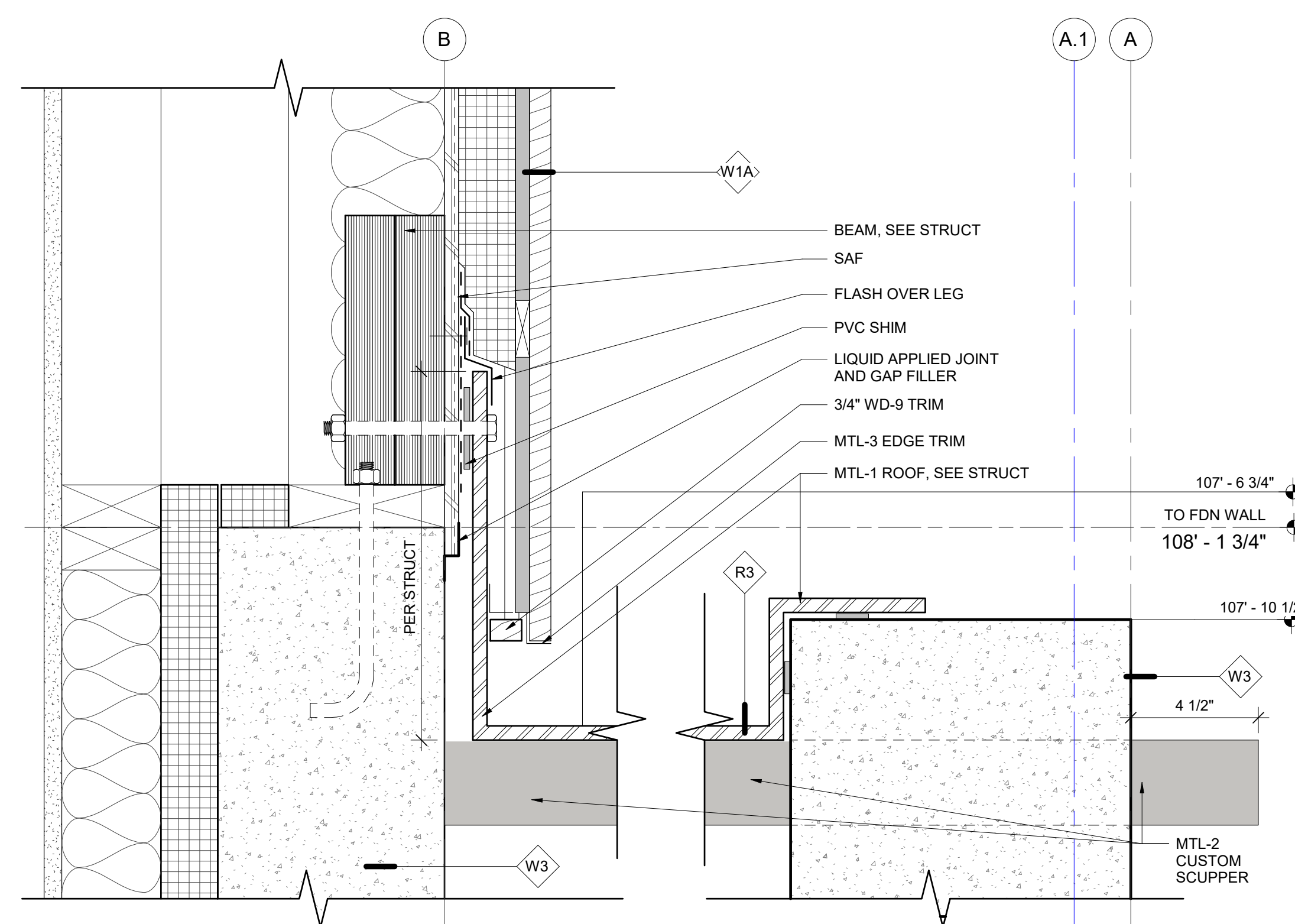
**SECTION DETAIL - TYP. HEAD AT ENTRY FOYER**

SCALE: 3" = 1'-0"



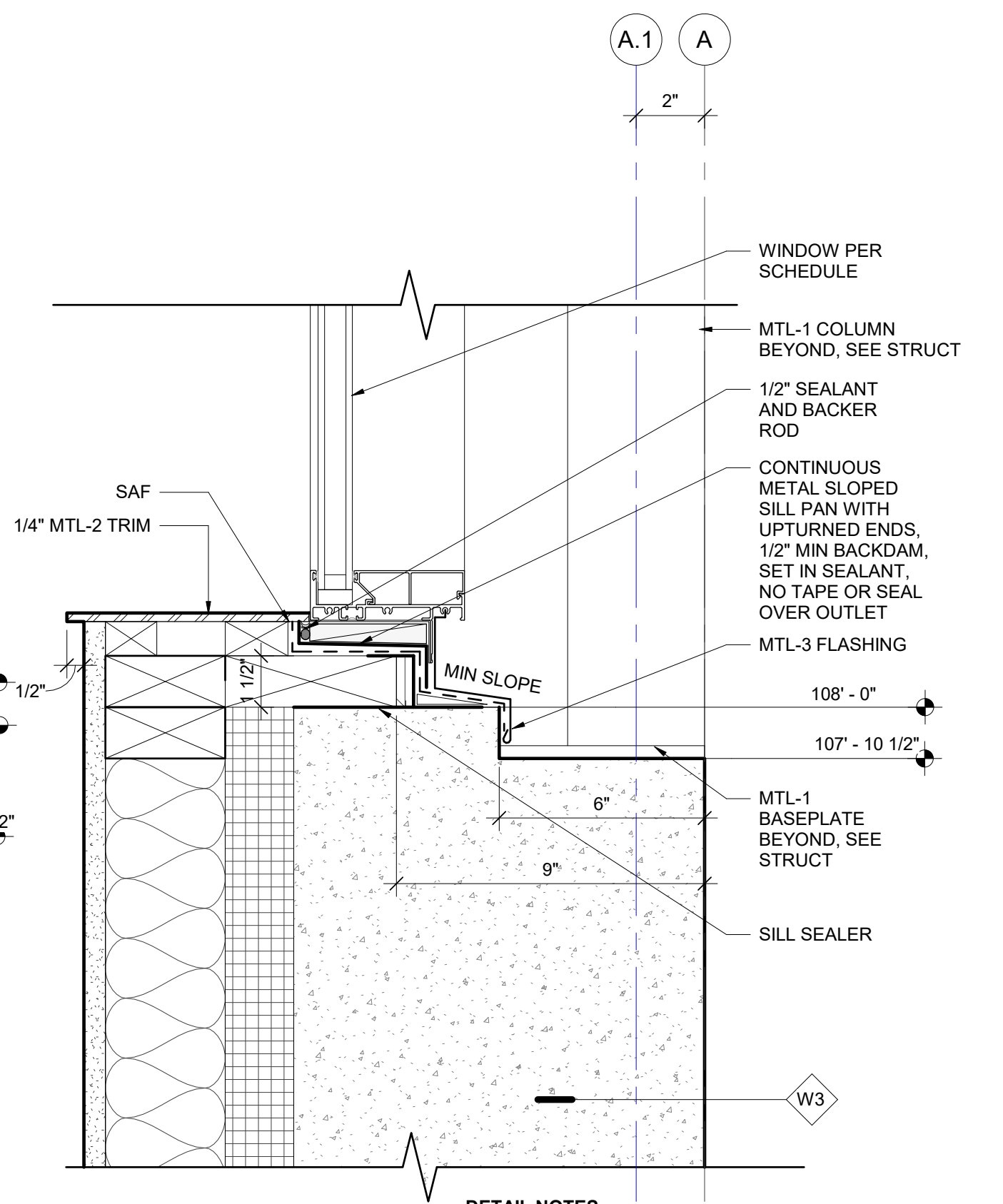
**SECTION DETAIL - ENTRY ROOF AT WINDOW 01**

SCALE: 3" = 1'-0"



**SECTION DETAIL - METAL ROOF AT FOUNDATION**

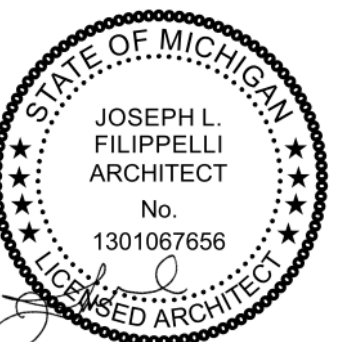
SCALE: 3" = 1'-0"



**SECTION DETAIL - TYP. SILL AT ENTRY FOYER**

SCALE: 3" = 1'-0"

**DETAIL NOTES**  
 ◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
 REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
 drawn by MB  
 job no. 20.012  
 date 05.20.2022

revisions:

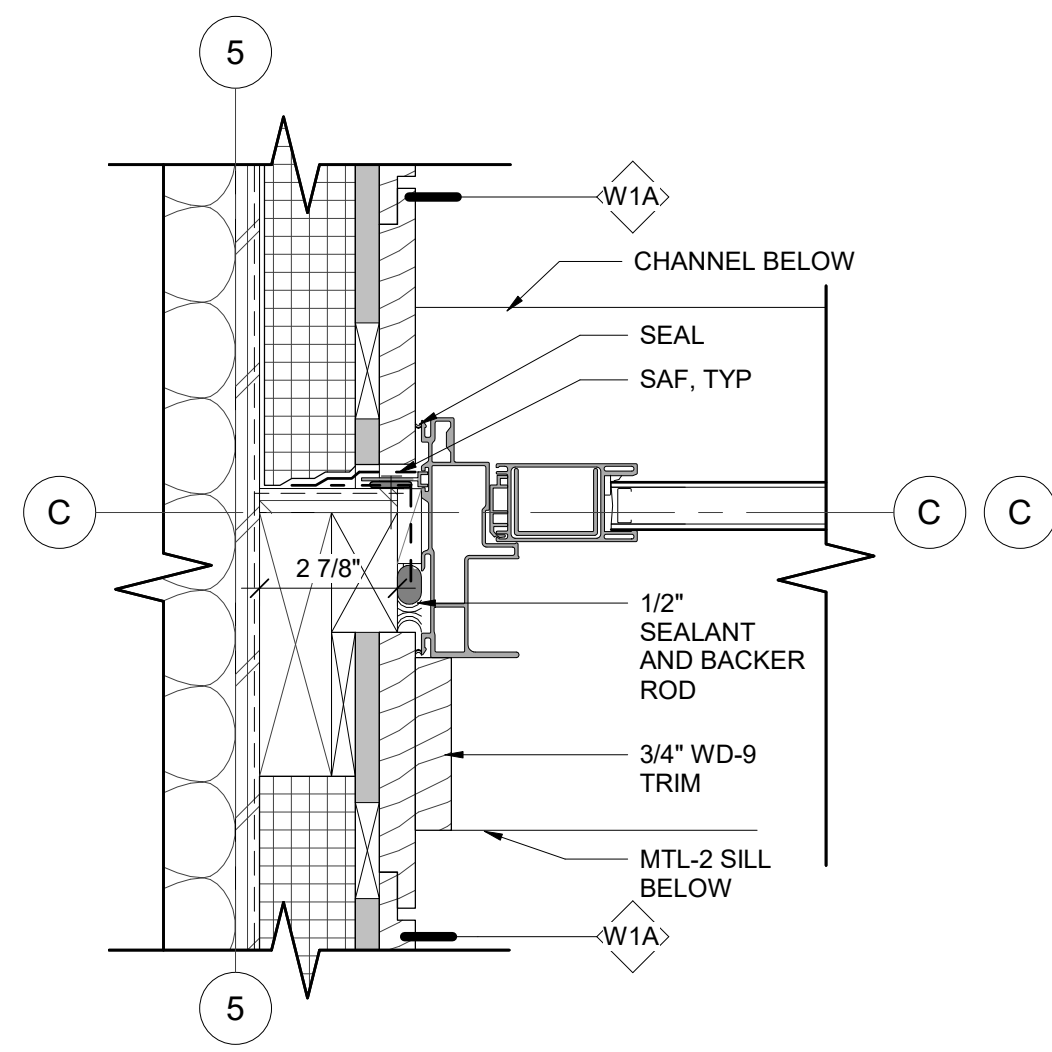
no. date by

**CONSTRUCTION DOCUMENTS**  
 05.20.2022

**EXTERIOR DETAILS - ENTRY BOX - SECTION DETAILS**

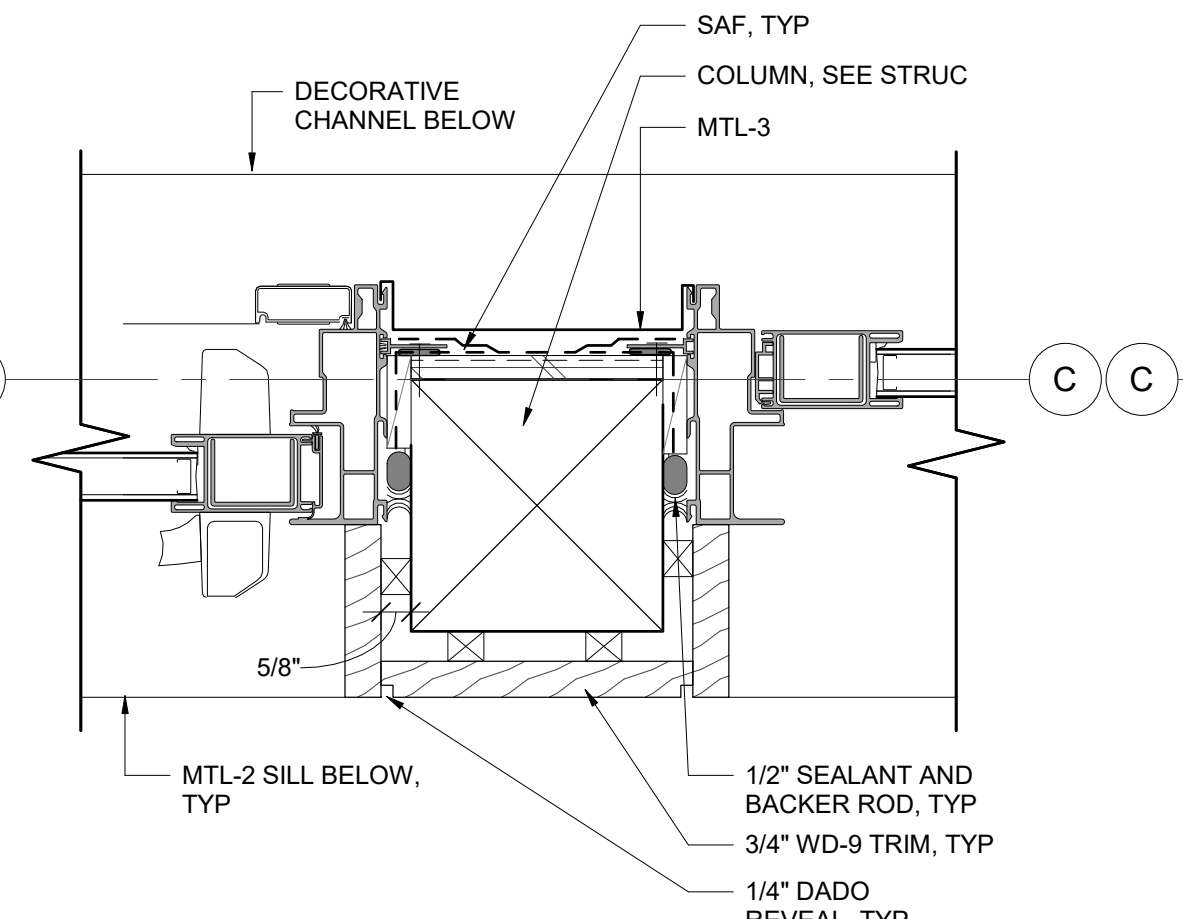
**A8.04**





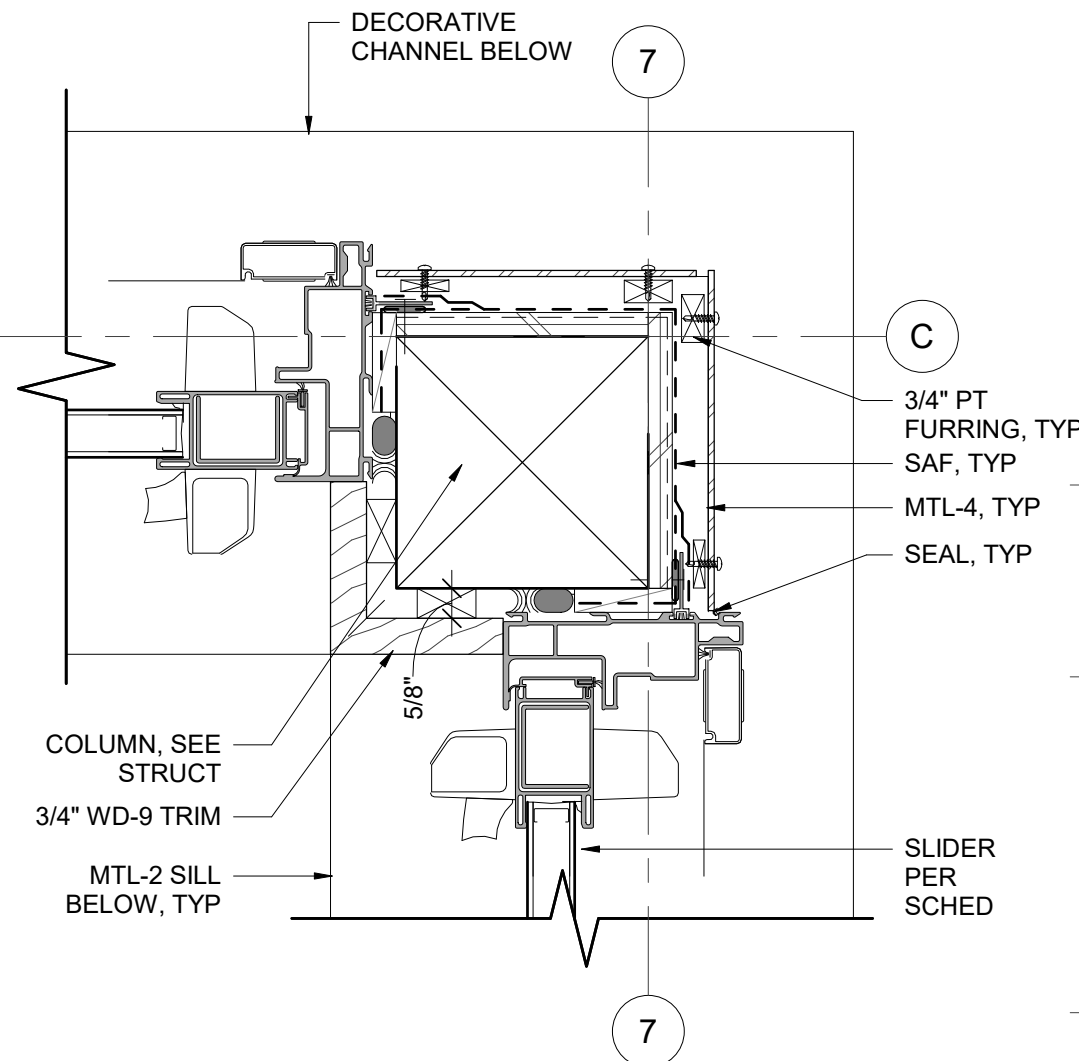
**PLAN DETAIL - JAMB AT WINDOW SC1**

SCALE: 3" = 1'-0"



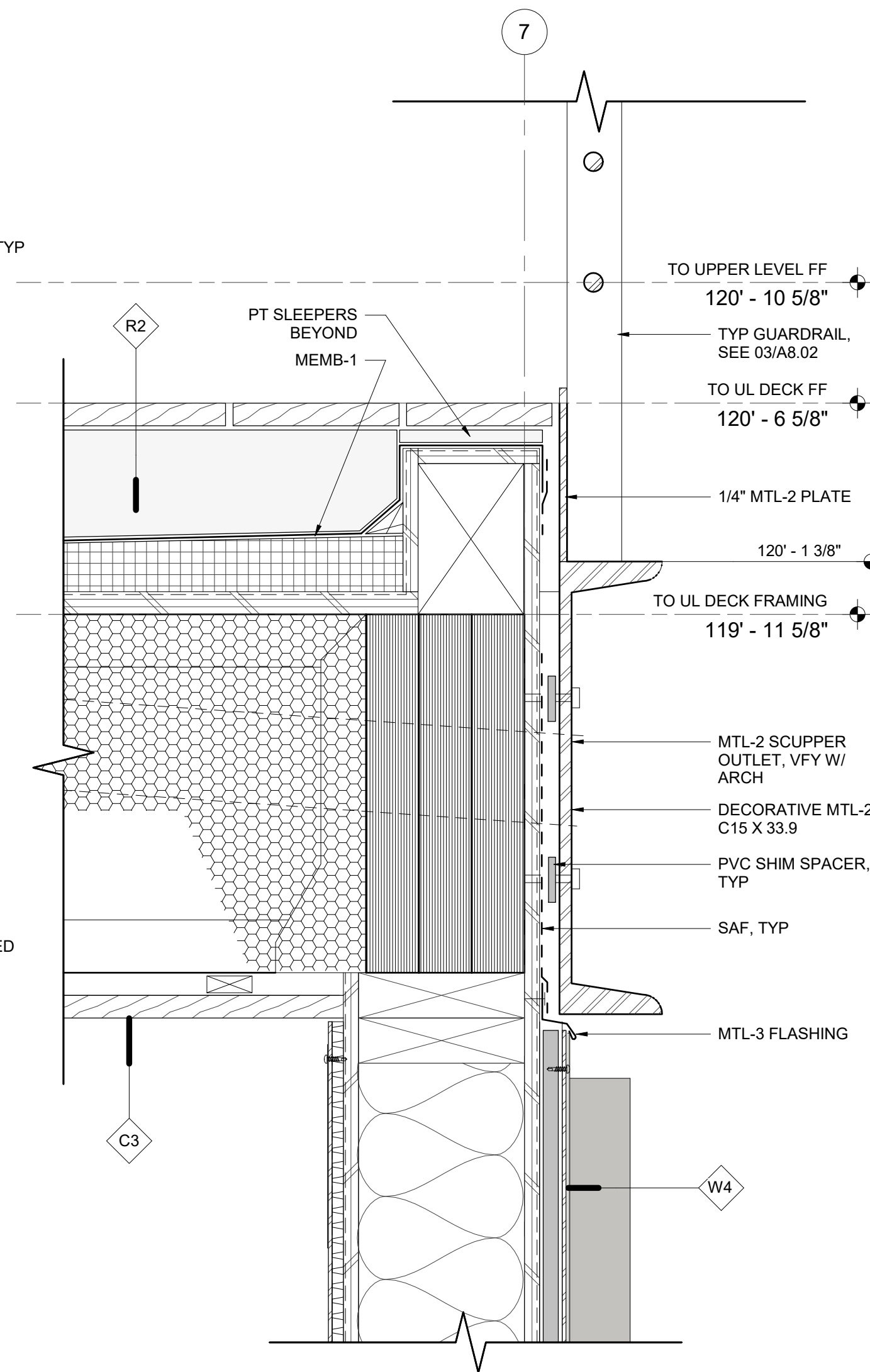
**PLAN DETAIL - TYP JAMB AT 3 SEASON SLIDER**

SCALE: 3" = 1'-0"



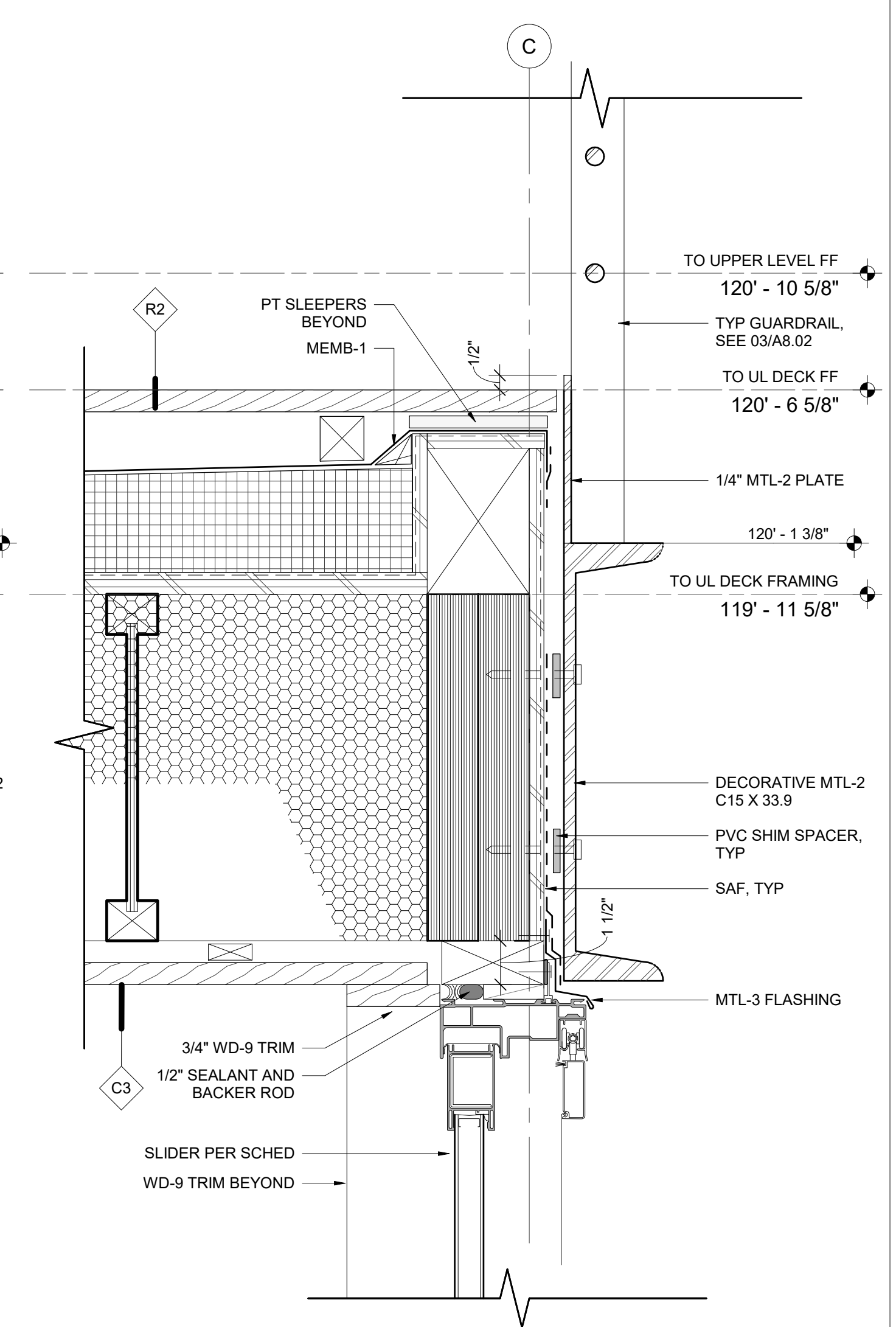
**PLAN DETAIL - TYP JAMB CORNER AT 3 SEASON**

SCALE: 3" = 1'-0"



**SECTION DETAIL - METAL PANEL AT THREE SEASON CEILING**

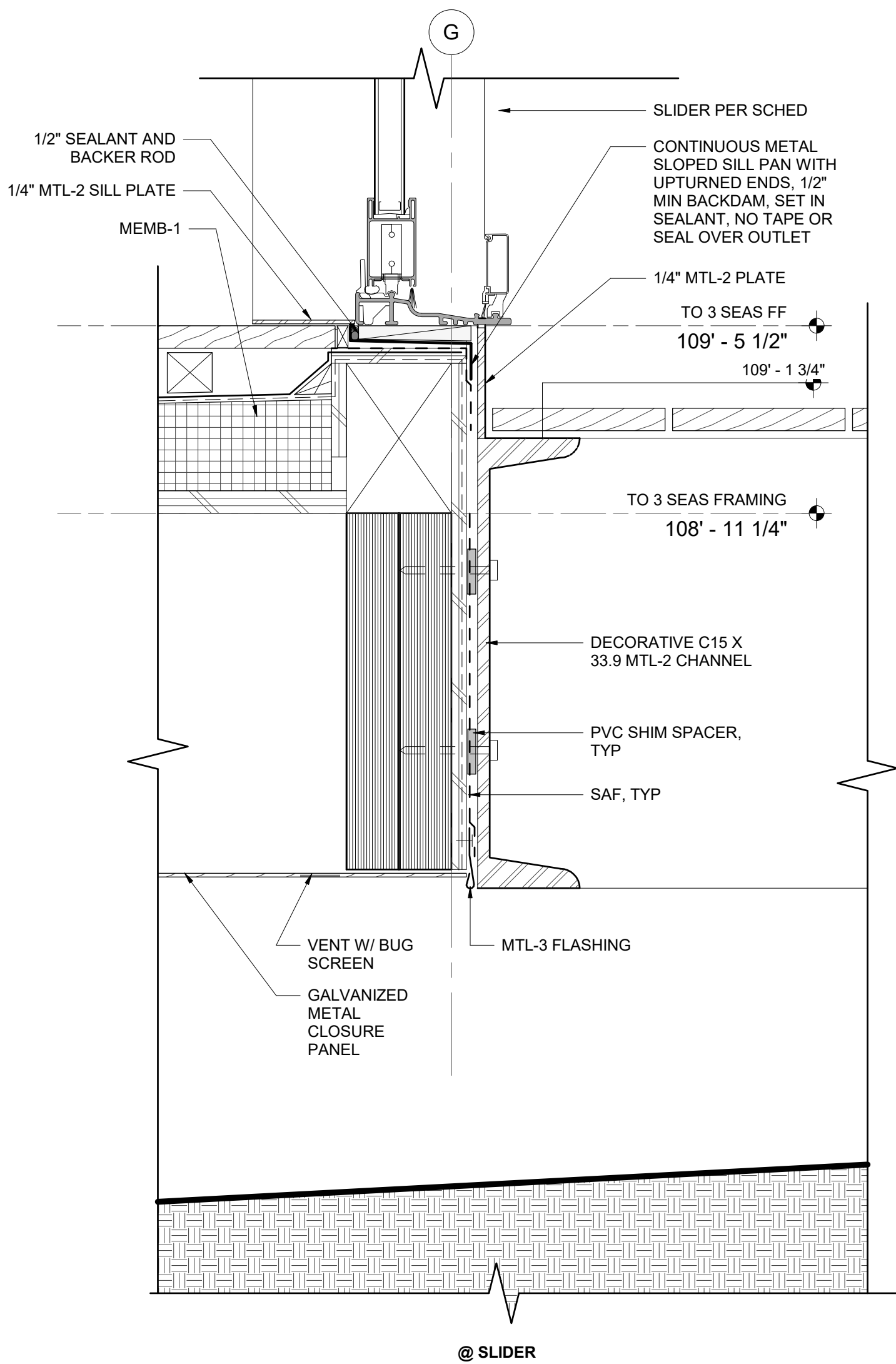
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**SECTION DETAIL - TYP. HEAD AT 3 SEASON SLIDER**

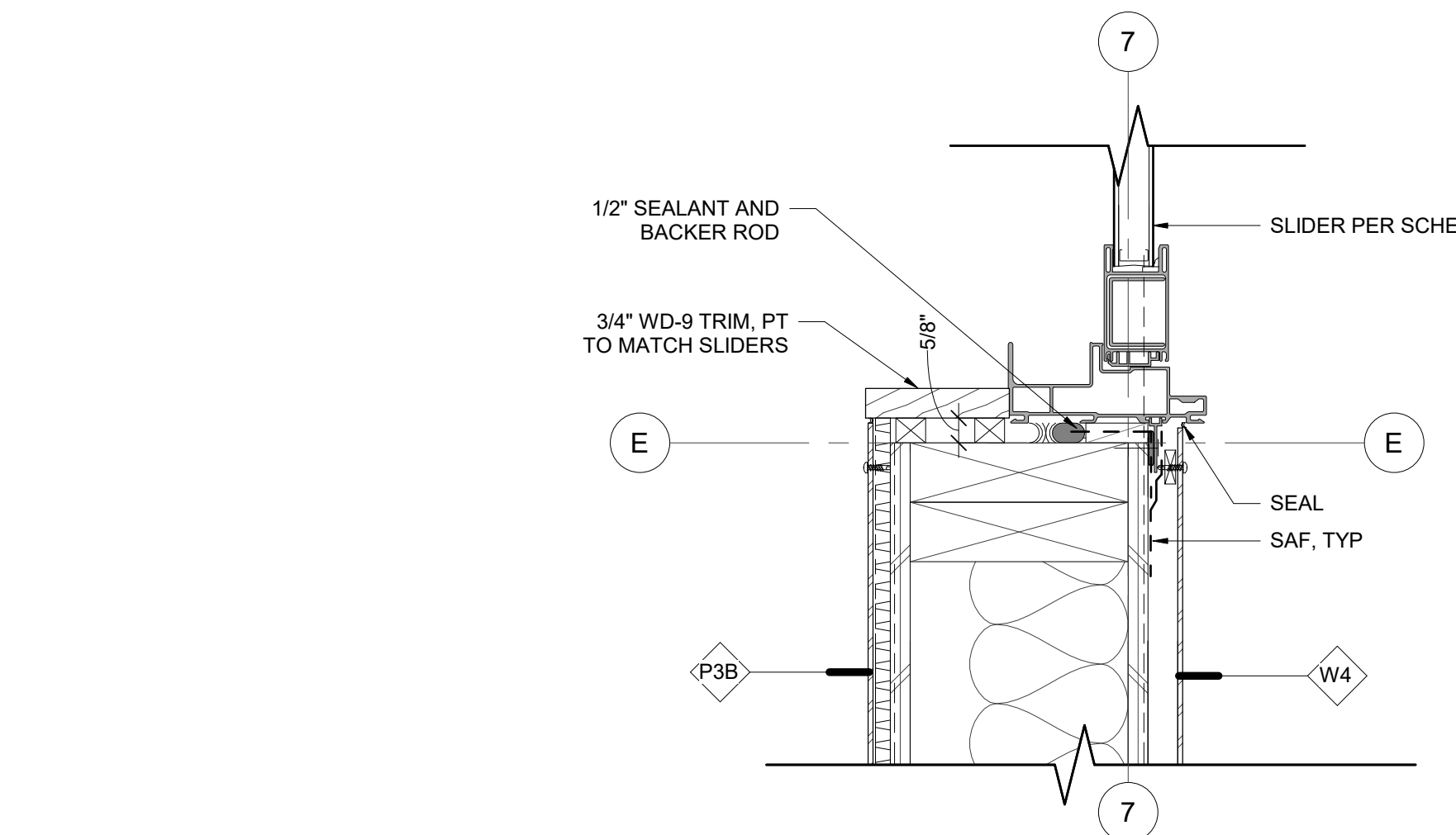
SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



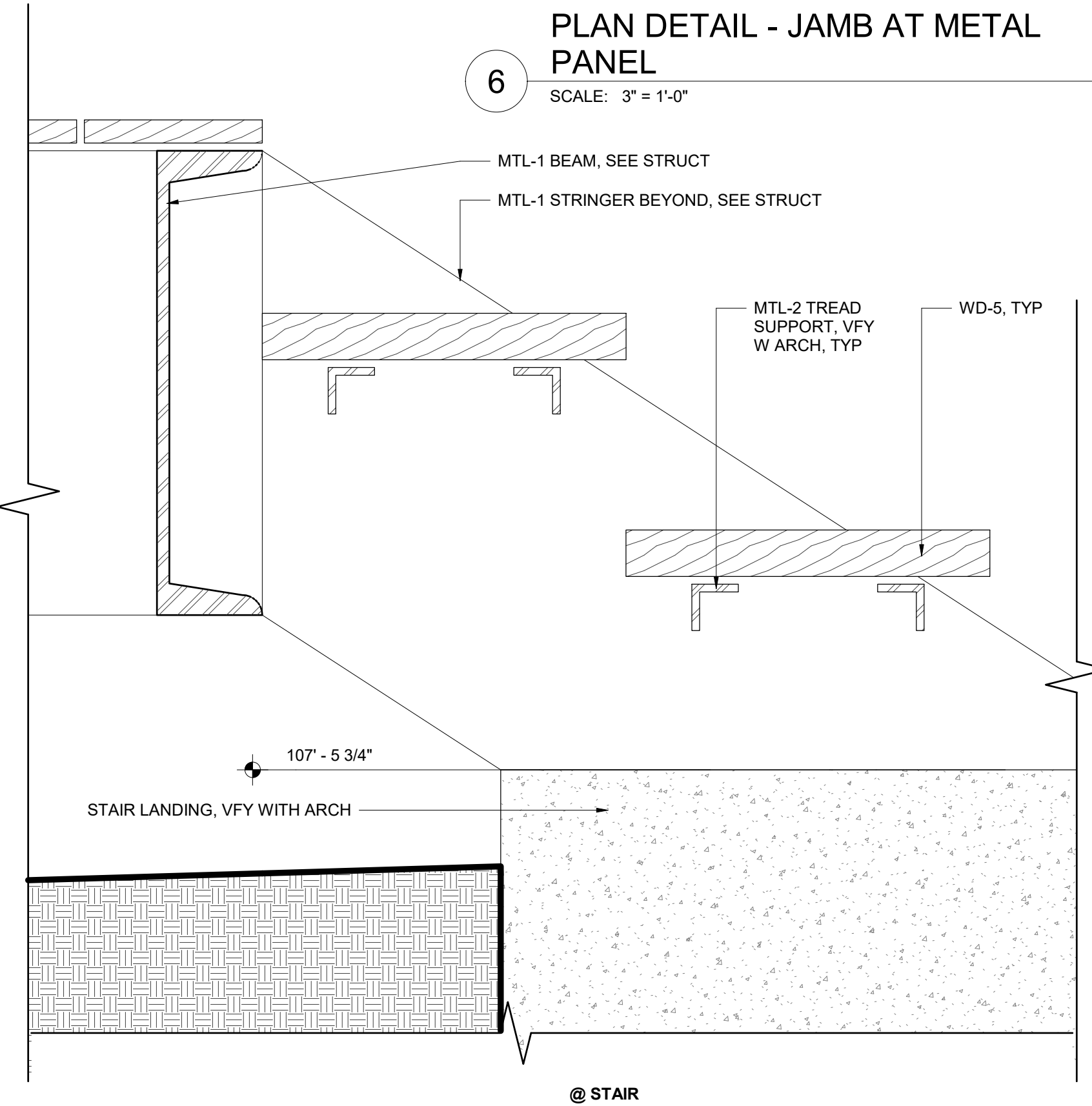
**SECTION DETAIL - STAIR AT 3 SEAS**

SCALE: 3" = 1'-0"



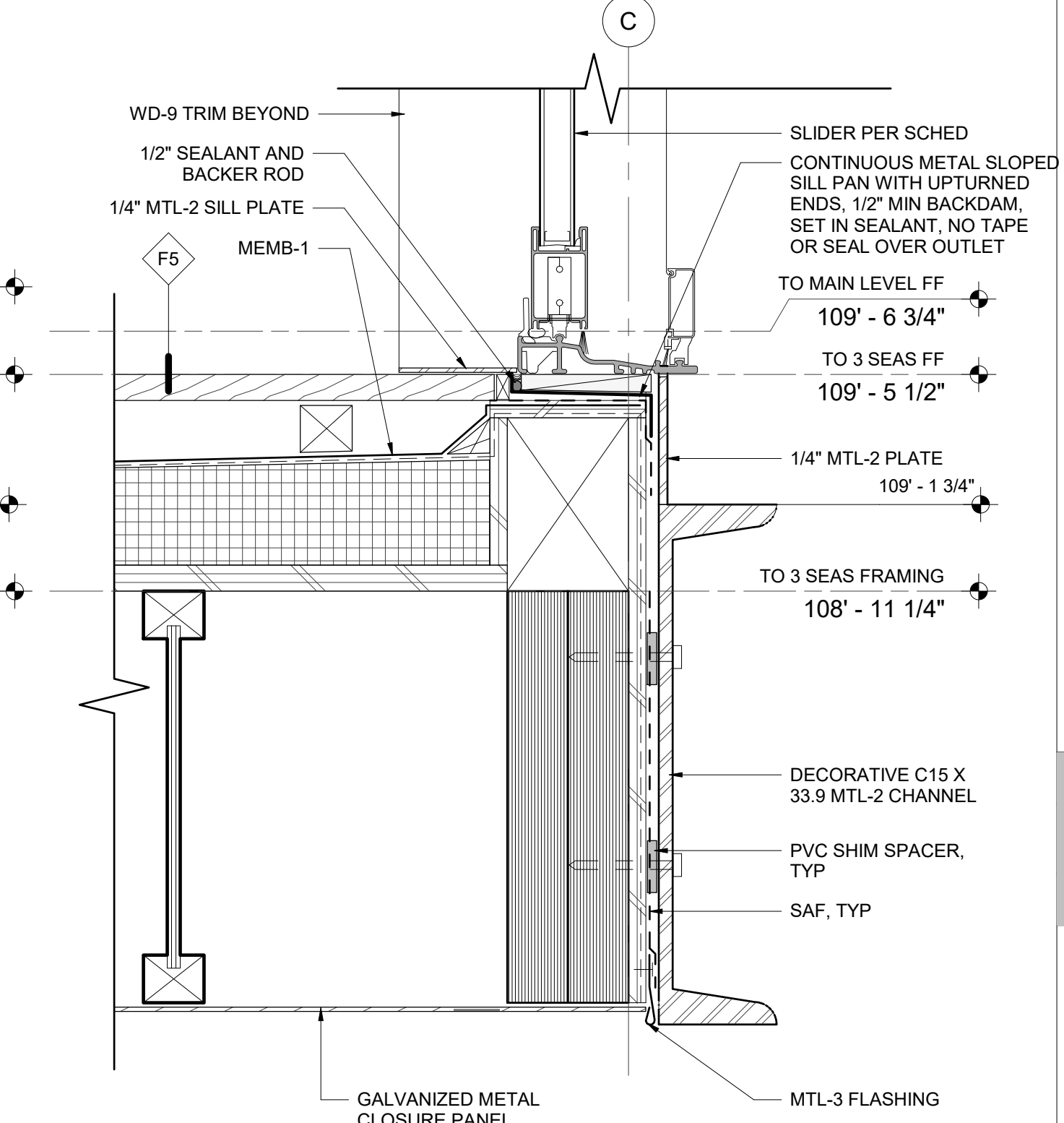
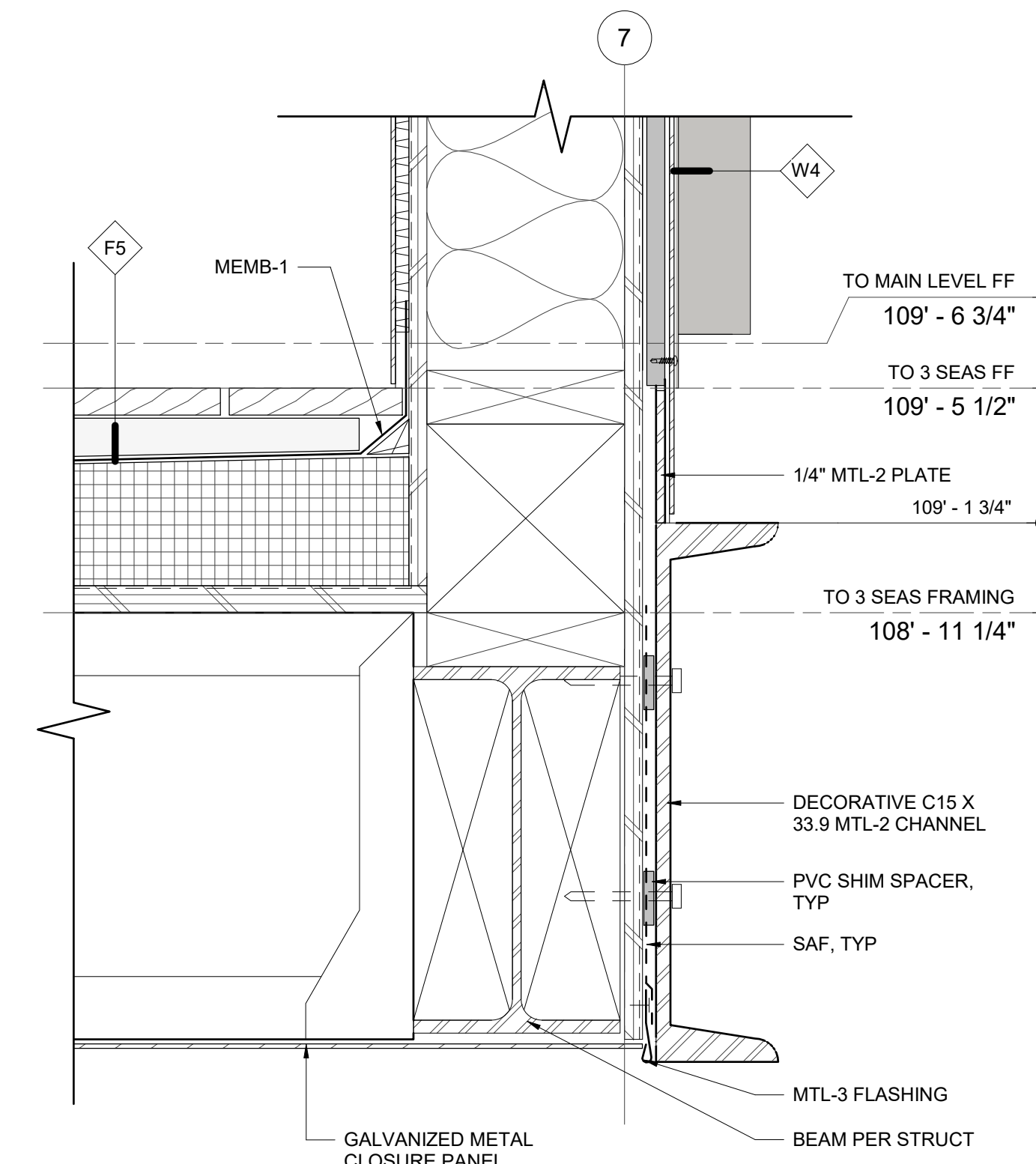
**PLAN DETAIL - JAMB AT METAL PANEL**

SCALE: 3" = 1'-0"



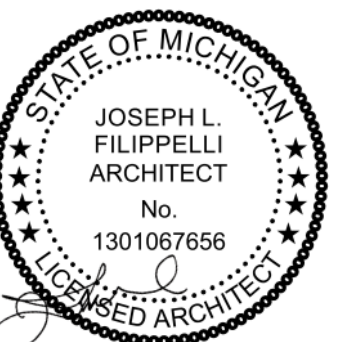
**SECTION DETAIL - METAL PANEL AT THREE SEASON FLOOR**

SCALE: 3" = 1'-0"



**SECTION DETAIL - TYP. SILL AT 3 SEASON SLIDER**

SCALE: 3" = 1'-0"



principal architect: JLF  
drawn by: JLF  
MB  
job no.: 20.012  
date: 05.20.2022

revisions:

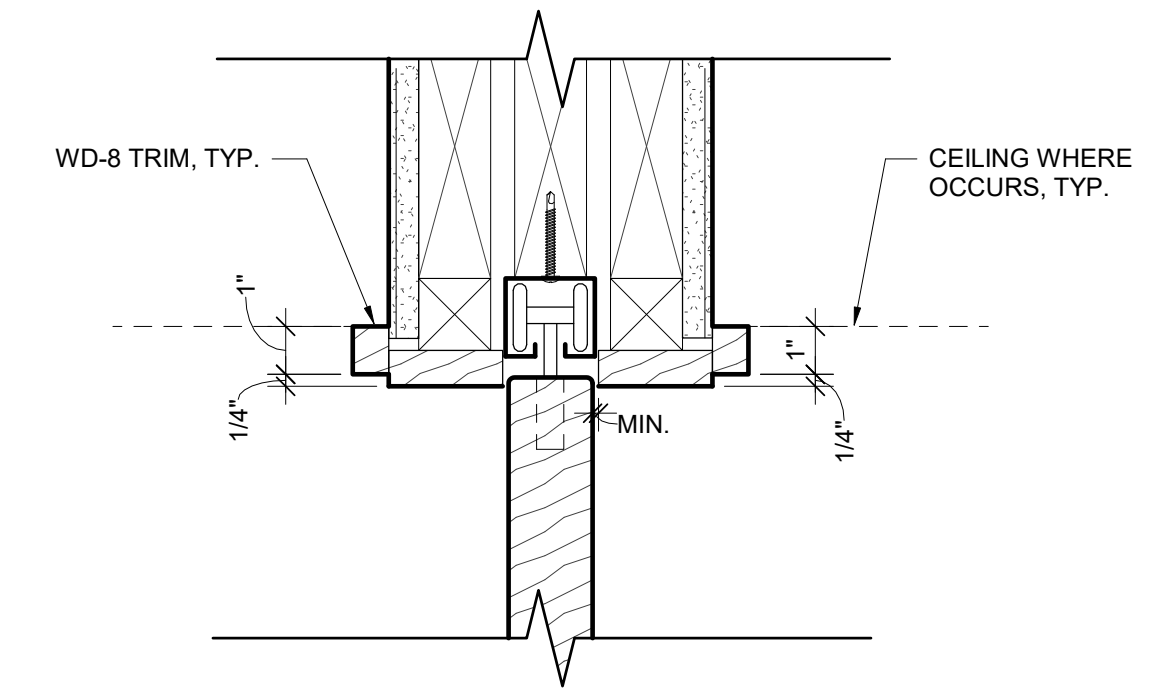
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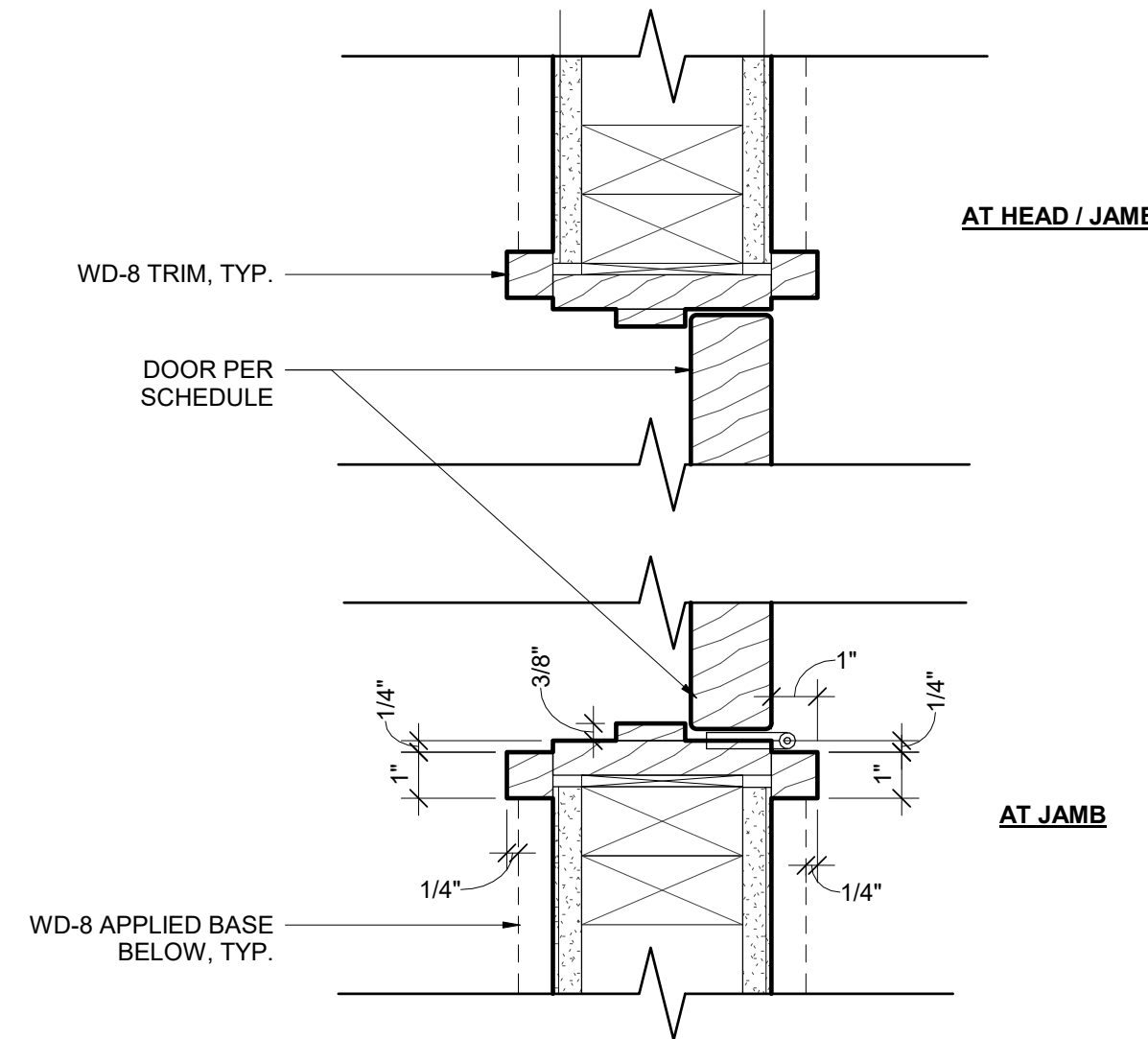
**EXTERIOR DETAILS - THREE SEASON**

**A8.05**

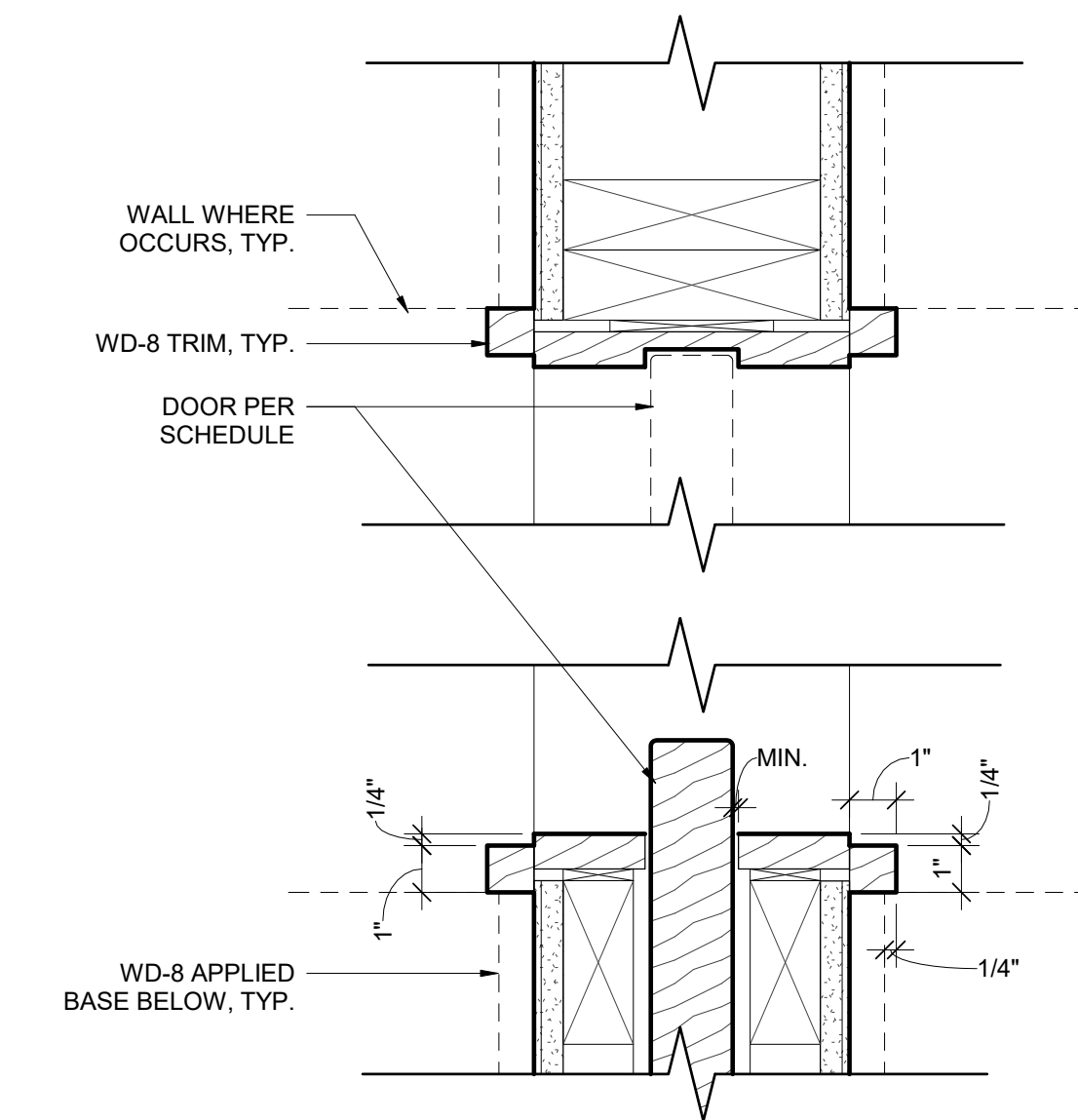




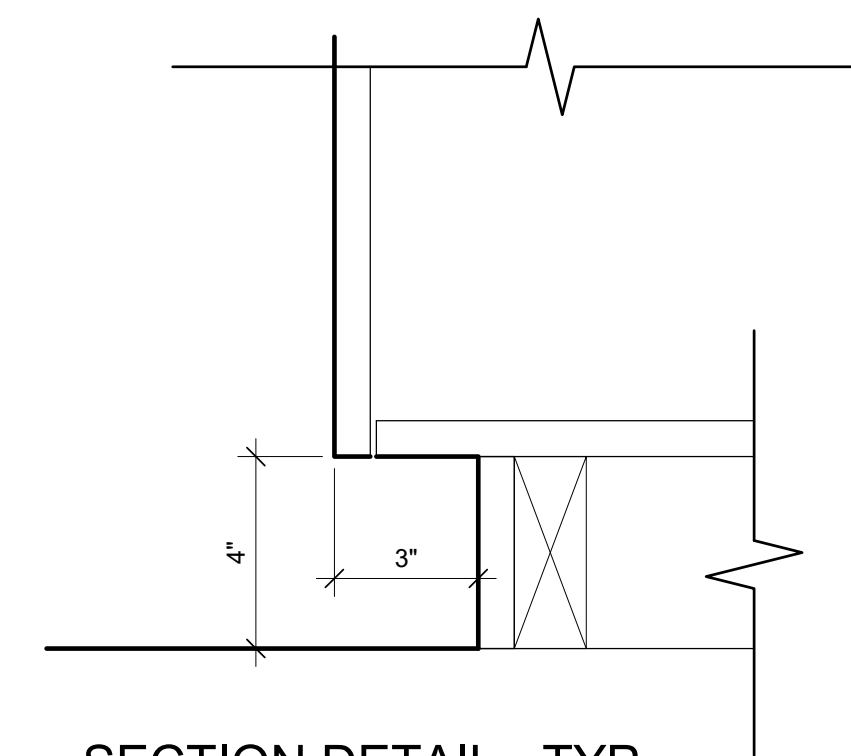
**5 SECTION DETAIL - TYP HEAD AT POCKET DOOR**  
SCALE: 3" = 1'-0"



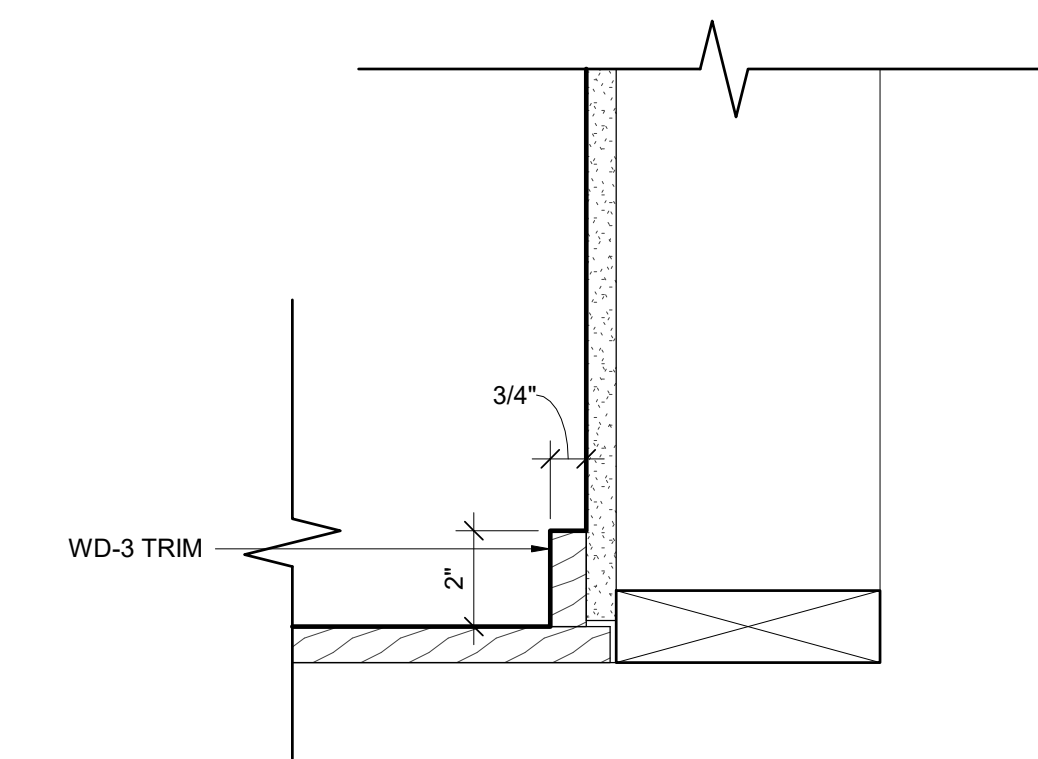
**4 SECTION DETAIL - TYP HEAD / JAMB AT SWING DOOR**  
SCALE: 3" = 1'-0"



**3 PLAN DETAIL - TYP JAMB AT POCKET DOOR**  
SCALE: 3" = 1'-0"

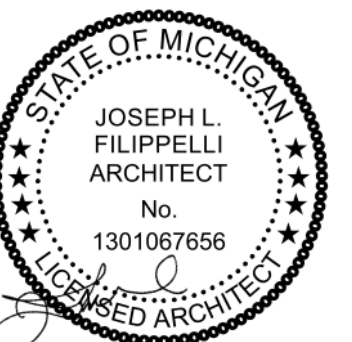


**2 SECTION DETAIL - TYP RECESSED BASE AT CASEWORK**  
SCALE: 3" = 1'-0"



**1 SECTION DETAIL - TYP APPLIED BASE**  
SCALE: 3" = 1'-0"

**DETAIL NOTES**  
◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11  
REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE



principal architect JLF  
drawn by JLF  
MB  
job no. 20.012  
date 05.20.2022

revisions:

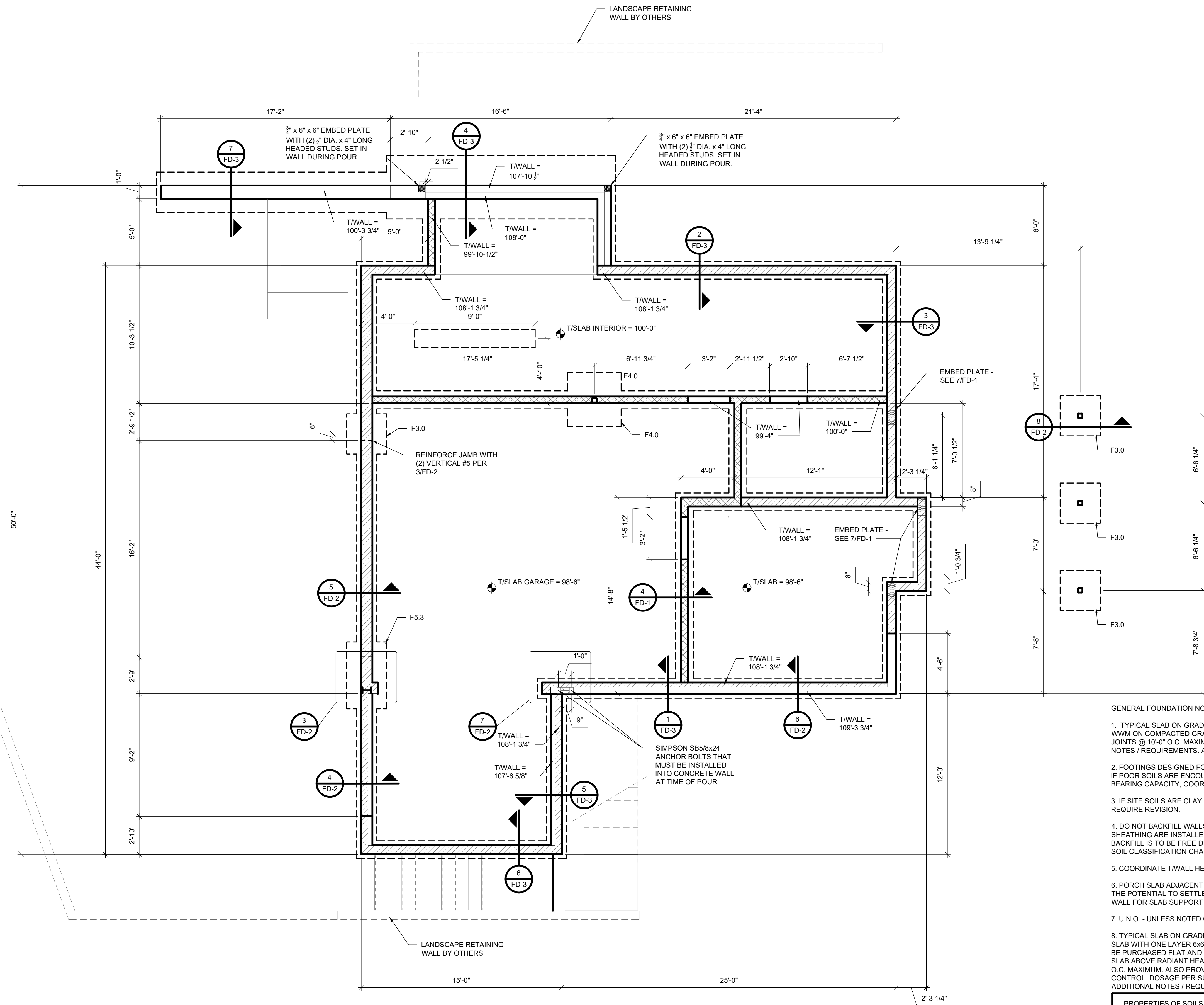
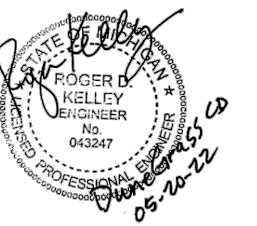

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**CONSTRUCTION DOCUMENTS**  
05.20.2022

INTERIOR DETAILS

**A9.00**





GENERAL FOUNDATION NOTES -

1. TYPICAL SLAB ON GRADE TO BE 4" CONCRETE SLAB WITH ONE LAYER 6x6 W2.1 x W2.1 W/M ON COMPACTED GRANULAR FILL. PROVIDE CONTRACTION / CONSTRUCTION JOINTS @ 10'-0" O.C. MAXIMUM. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL NOTES / REQUIREMENTS. ALSO REFER TO TYPICAL DETAILS.
2. FOOTINGS DESIGNED FOR AN ALLOWABLE BEARING CAPACITY OF 2000 PSF PER MRC. IF POOR SOILS ARE ENCOUNTERED OR A SOIL REPORT IS PROVIDED WITH A DIFFERENT BEARING CAPACITY, COORDINATE REVISIONS WITH ENGINEERED STRUCTURES, LLC.
3. IF SITE SOILS ARE CLAY NOTIFY ENGINEERED STRUCTURES, LLC. FOUNDATIONS MAY REQUIRE REVISION.
4. DO NOT BACKFILL WALLS UNTIL LOWER LEVEL SLAB AND MAIN FLOOR JOISTS AND SHEATHING ARE INSTALLED. CLAY IS NOT AN ACCEPTABLE BACKFILL MATERIAL. ALL BACKFILL IS TO BE FREE DRAINING GRANULAR MATERIAL GW, GP, SW OR SP PER THE SOIL CLASSIFICATION CHART.
5. COORDINATE T/WALL HEIGHTS AT DROPPED WALLS WITH ARCHITECTURAL.
6. PORCH SLAB ADJACENT TO HOUSE WILL BE PLACED ONTO DISTURBED FILL. THIS HAS THE POTENTIAL TO SETTLE OVER TIME AS THE FILL COMPACTS. ADD 2" LEDGE ALONG WALL FOR SLAB SUPPORT AT THE DISCRETION OF THE BUILDER.
7. U.N.O. - UNLESS NOTED OTHERWISE.
8. TYPICAL SLAB ON GRADE AT INTERIOR POLISHED CONCRETE TO BE 4" CONCRETE SLAB WITH ONE LAYER 6x6 W2.5 x W2.5 W/M ON COMPACTED GRANULAR FILL (MESH TO BE PURCHASED FLAT AND BE PLACED ON CHAIRS TO MAINTAIN IT'S PROPER LOCATION IN SLAB ABOVE RADIANT HEAT). PROVIDE CONTRACTION / CONSTRUCTION JOINTS @ 10'-0" O.C. MAXIMUM. ALSO PROVIDE FIBERMESH REINFORCEMENT TO ASSIST WITH CRACK CONTROL. DOSAGE PER SUPPLIER. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL NOTES / REQUIREMENTS. ALSO REFER TO TYPICAL DETAILS

PROPERTIES OF SOILS CLASSIFIED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM	
GW	WELL GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND MIXTURES, LITTLE OR NO FINES
SW	WELL GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES

FOOTING SCHEDULE	
F3.0	3'-0" x 3'-0" x 10" WITH (4) #4 EACH WAY
F4.0	4'-0" x 4'-0" x 10" WITH (5) #4 EACH WAY
F5.3	5'-0" x 3'-0" x 10" WITH #4 @ 9" O.C. EACH WAY

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CONSTRUCTION SET

05-20-22

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

**F-1**





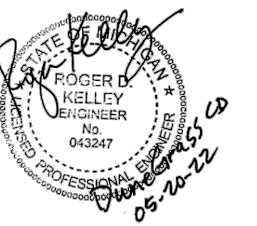




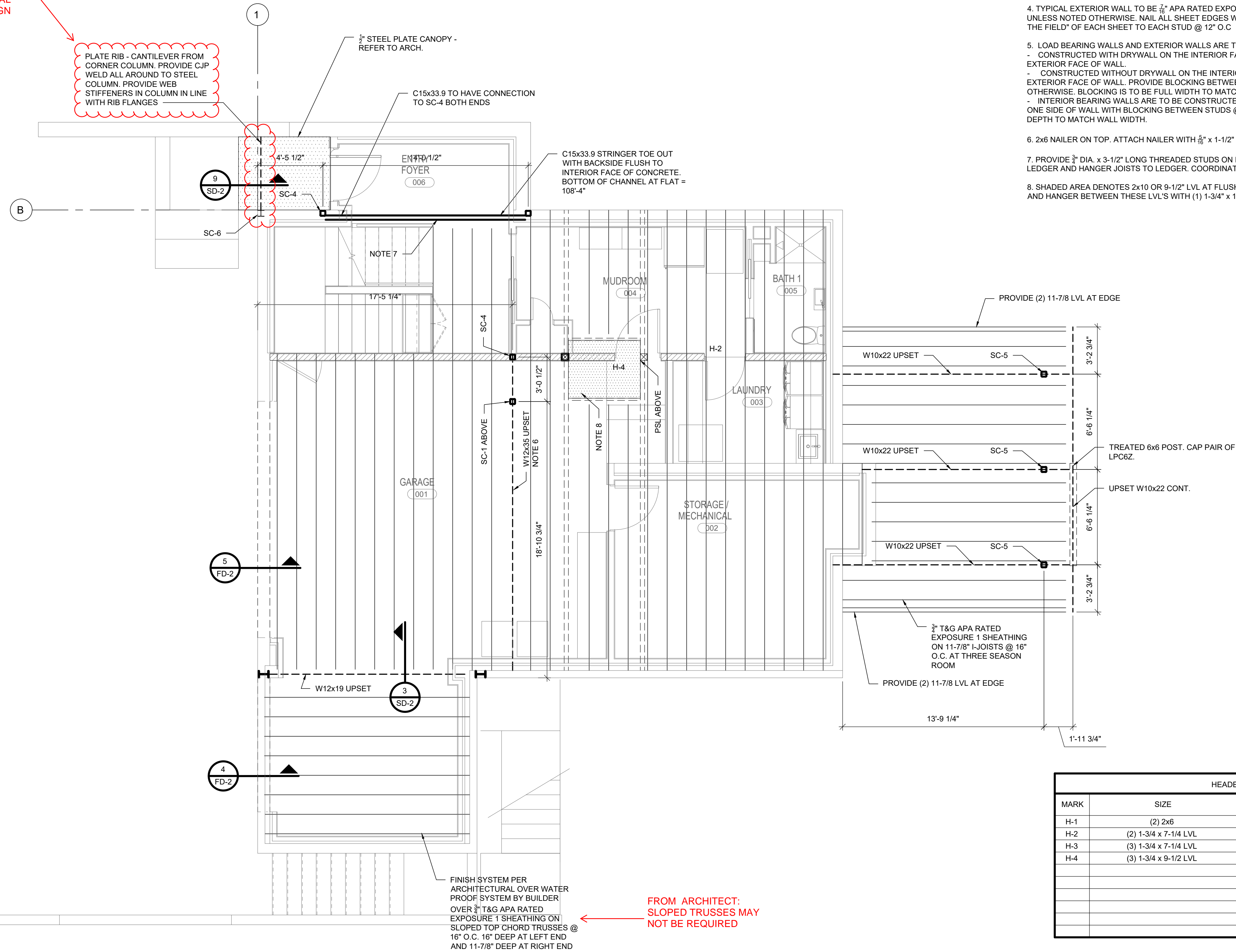








FROM ARCHITECT: AWNING AS CURRENTLY DESIGNED FOR PRICING PURPOSES ONLY. COORDINATE WITH ARCHITECT AND STRUCTURAL FOR FINAL DESIGN



T/SHEATHING = 109'-6"

GENERAL FLOOR FRAMING NOTES -

- HATCHED WALLS DENOTE INTERIOR BEARING WALLS. 2x6 SPF #2 @ 16" O.C. UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
- TYPICAL FLOOR CONSTRUCTION TO BE 3/4" T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND NAILED TO 14" I-JOISTS @ 16" O.C. PER LUMBER SUPPLIER.
- TYPICAL EXTERIOR WALL TO BE 5/8" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL "IN THE FIELD" OF EACH SHEET TO EACH STUD @ 12" O.C.
- LOAD BEARING WALLS AND EXTERIOR WALLS ARE TO MEET ONE OF THE FOLLOWING AT A MINIMUM -  
- CONSTRUCTED WITH DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL.  
- CONSTRUCTED WITHOUT DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL. PROVIDE BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT UNLESS NOTED OTHERWISE. BLOCKING IS TO BE FULL WIDTH TO MATCH WALL WIDTH.  
- INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH DRYWALL BOTH SIDES OF WALL OR DRYWALL ONE SIDE OF WALL WITH BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT. BLOCKING IS TO BE FULL DEPTH TO MATCH WALL WIDTH.
- 2x6 NAILER ON TOP. ATTACH NAILER WITH 3/8" x 1-1/2" GRK @ 16" O.C. - STAGGER.
- PROVIDE 3/8" DIA. x 3-1/2" LONG THREADED STUDS ON LANDING SIDE OF CHANNEL TO ATTACH 1-3/4" x 14" LVL LEDGER AND HANGER JOISTS TO LEDGER. COORDINATE STUD LOCATIONS WITH JOIST LAYOUT.
- SHADED AREA DENOTES 2x10 OR 9-1/2" LVL AT FLUSH SHOWER ABOVE. FRAME EACH SIDE WITH (2) 14" LVL AND HANGER BETWEEN THESE LVL'S WITH (1) 1-3/4" x 14" LVL.

FROM ARCHITECT: SLOPED TRUSSES MAY NOT BE REQUIRED

**FLOOR JOIST SYSTEM DESIGN:**

ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON HOMEOWNER EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE BUILDER AND LUMBER YARD SHALL WORK WITH THE HOMEOWNER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE OWNER'S EXPECTATIONS.

MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.5". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).

HEADER SCHEDULE				
MARK	SIZE	BEARING STUDS	KING STUDS	CENTER STUDS
H-1	(2) 2x6	1	1	N/A
H-2	(2) 1-3/4 x 7-1/4 LVL	2	1	N/A
H-3	(3) 1-3/4 x 7-1/4 LVL	2	2	N/A
H-4	(3) 1-3/4 x 9-1/2 LVL	3	1	N/A

COLUMN SCHEDULE				
MARK	SIZE	BASEPLATE	ANCHOR BOLTS	
SC-1	HSS4x4x1/4	NOTE 1	NOTE 2	
SC-2	W8x21	3/4" TYPE 1	SEE DETAIL	
SC-3	W8x21	3/4" TYPE 2	SEE DETAIL	
SC-4	HSS4x4x1/4	3/4" TYPE 3	(2) 3/4" DIA. EPOXY	
SC-5	HSS4x4x1/4	3/4" TYPE 4	(4) 3/4" DIA. EPOXY	
SC-6	W5x19	3/4" TYPE 5	(2) 3/4" DIA. EPOXY	

- NOTES -
- STEEL DETAILER TO DETAIL PLATE BOLTED OR WELDED TO BEAM BELOW.
  - BOLTED WITH (4) 3/8" DIA. A325N OR WELDED CONNECTION.

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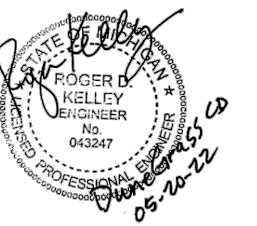
CONSTRUCTION SET  
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MAIN FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



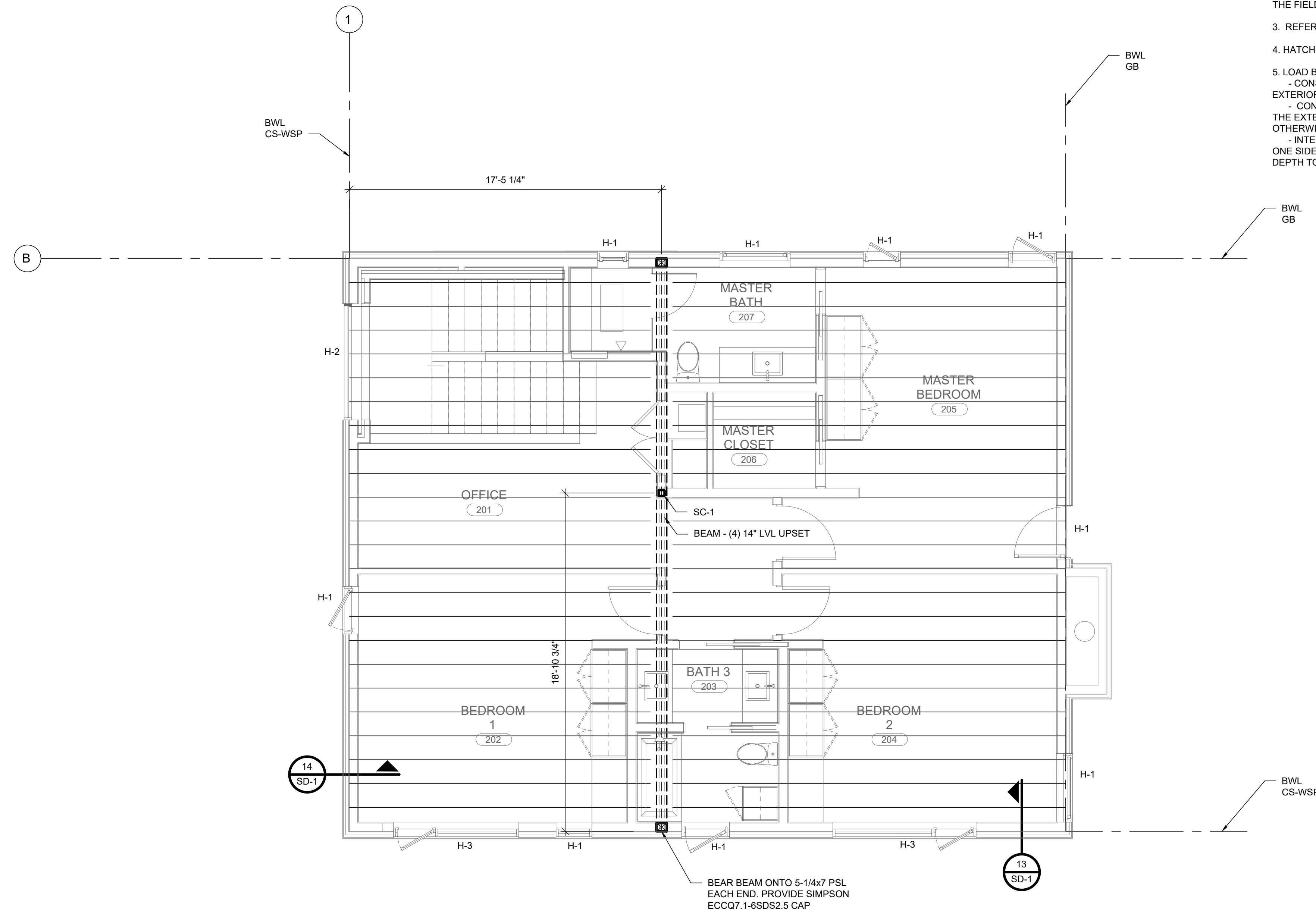






GENERAL ROOF NOTES -

1. TYPICAL ROOF CONSTRUCTION TO BE 3/4" APA RATED EXPOSURE 1 SHEATHING ON 14" TRUSSES AS SHOWN UNLESS NOTED OTHERWISE. SPACING PER SUPPLIER.
2. TYPICAL EXTERIOR WALL TO BE 1/2" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL "IN THE FIELD" OF EACH SHEET TO EACH STUD @ 12" O.C.
3. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.
4. HATCHED WALLS DENOTE INTERIOR BEARING WALLS. 2x6 SPF #2 @ 16" O.C. UNLESS NOTED OTHERWISE.
5. LOAD BEARING WALLS AND EXTERIOR WALLS ARE TO MEET ONE OF THE FOLLOWING AT A MINIMUM -
  - CONSTRUCTED WITH DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL.
  - CONSTRUCTED WITHOUT DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL. PROVIDE BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT UNLESS NOTED OTHERWISE. BLOCKING IS TO BE FULL WIDTH TO MATCH WALL WIDTH.
  - INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH DRYWALL BOTH SIDES OF WALL OR DRYWALL ONE SIDE OF WALL WITH BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT. BLOCKING IS TO BE FULL DEPTH TO MATCH WALL WIDTH.



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05-20-22

**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**S-3**















**GARY E. MEDLER**

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461 Vine Street PO Box 461

Saugatuck, Michigan 49453

312-848-2453

**November 16, 2022**

**BY EMAIL DELIVERY**

**PLANNING COMMISSION**

Jamie Wolters  
City Clerk  
City of Saugatuck  
102 Butler Street/PO Box 86  
Saugatuck, Michigan 49453  
[jwolters@saugatuckcity.com](mailto:jwolters@saugatuckcity.com)

Steven Manns, Chair  
Ann Broeker, Vice Chair  
Bobbie Gaunt  
Russ Gardner  
Richard Gardner  
Mark LaChey

Ryan Cummins  
Director, Planning, Zoning & Proj. Mngt.  
[rcummins@saugatuckcity.com](mailto:rcummins@saugatuckcity.com)

David M. Jirousek, AICP  
Consultant

Re: Planning Commission Special Meeting  
November 17, 2022, Agenda Item 6 (A)  
383 DuneGrass Circle – Site Plan Review

Dear Ms. Wolters:

This comment letter is submitted for inclusion in the Record for the Planning Commission Public Hearing on the Site Plan Review Application of Edward and Melissa Harmening for the proposed build at 383 DuneGrass Circle (“Application”).

As presented, the Application cannot be approved:

1. Fails to comply with, and is violation of, the terms and conditions of the Saugatuck Planning Commission Resolution No. 1312203-A, dated December 3, 2013, recorded December 6, 2013 (“SLU Resolution”) and the Saugatuck City Council Resolution 150610-A (“PUD Resolution”);

NOTES:

SLU “STANDARDS” starts at page 10:  
Section 1 (a) “5% maximum lot coverage”



Section 1 (b) “limit removal of trees and other vegetation as much as possible in an effort to maintain the rural character of the site. SLU process provides for the required in-depth review of the proposed single family residential uses”

Section 1 (c) “development has more environmental restrictions than most other developments due to steep slopes and state-regulated critical dunes” and “Developer must preserve the natural topography and existing native vegetation on the site as much as possible”

Section 1 (j) “retention of the natural vegetation and topography are like to mitigate many of the listed objectionable conditions.”(B) (2) (a) and (b) “Developer is proposing to include regulations that will limit the removal of vegetation” (Association Rules) and “landscape will be preserved by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary” and “Developer indicates that only vegetation that will directly interfere with the minimum development requirements will be removed.”

Section B (2) (h) “home owners association agreement to further restrict the removal of any tree larger than 6 inches in diameter and replacement.”

Section B (3) (d) “Alteration of dune vegetation shall be minimal”

Section B (3) (m) Planning Commission “Restoration review”

SLU GENERAL ZONING DECISION/STATEMENTS OF CONCLUSION starts page 31 “each individual dwelling must still obtain final site plan approval from PC Section 154.061 (c) (2) (M)

SLU CONDITIONS AND REQUIREMENTS/STATEMENT OF CONDITIONS starts at page 31 Section (b) “all lots, structures must comply at all time with the Approved Site Plan” (Developer Site Plan) and “No aspect of Approved Site Plan may be altered, amended or changed except with express approval of the City pursuant to a formal amendment to the Approved Site Plan and SLU approval” and “No vegetation or trees shall be removed, destroyed or damaged until and unless Developer submits a vegetative removal plans to the City and City approves”

Section (o) “No vegetation shall be destroyed or removed from the residential sites or elsewhere except as is absolutely necessary for the construction of a single family dwelling”

Section (r) “No house or residential dwelling shall be built until and unless a final site plan for each such dwelling has been submitted to and approved by the PC as a final site plan for each such dwelling. Site plan shall include a vegetation plan showing which trees and other vegetation are to be removed and reason for removal.”

Section (y) “Any violation of SLU or Approved Site Plan or any approved final site plan for a dwelling shall also constitute a violation of the Zoning Ordinance.”



Section (z) “SLU as well as conditions and requirements shall run with the lands involved and shall bind not only the Developer but also the Developer’s successors and assigns.”  
Section (cc) “Prior to any lot being sold or transferred a binding deed restriction/restrictive covenant shall be executed and recorded referencing SLU and provide enforceable by the City.”

PUD page 2 Section 1 (c) “Individual site plans for each home subject to review and approval by the ZA and PC.”

PUD Section 1 (l) “June 1, 2015, representations at City Council Meeting and condition that strict compliance and enforcement applied.”

Medler September 24, 2020, Notice of Breach letter to City.

2. Building height exceeds permitted height restriction; and
3. Building footprint of 1,545 exceeds the 5% lot coverage restriction in the Conservation, Recreation and Camp Zoning District (CRC).

Under City Code Site Plan Review Provisions and the SLU/PUD this Application on its face should simply have been returned to Applicants detailing the basic failures to comply with the Code, SLU/PUD.

In light of the egregious tree removal in violation of State law and the SLU/PUD and the material misstatement on vegetation removal, this Application should be returned until site review and appropriate enforcement action taken.

Sincerely

Gary E. Medler





## Planning Commission Agenda Item Report

**FROM:** Ryan Cummins

**MEETING DATE:** 12-15-22

**SUBJECT:** Public Hearing Signage

### **DESCRIPTION:**

The Planning Commission has expressed interest in signage being placed outside of properties subject to an upcoming public hearing. The belief is that this will assist with better informing the community of zoning matters. The signage would not take the place of any statutory requirements for public hearing mailings and newspaper notices.

The City Clerk has three large metal A-frames that can have signage swapped out as needed. The frames and metal signage would be able to withstand poor weather conditions and would avoid anything being placed into the ground.

Signage would be general and direct interested community members to contact the Zoning Administrator or access the City website for details. An example is below.

If the Planning Commission is supportive of the proposed signage, staff will work to have the signage created and placed outside of properties prior to public hearings.



A Frame Signage



Message Example

### **SAMPLE MOTION:**

Discussion item only.





## **Planning, Zoning and Project Report**

October 24, 2022

### **Planning and Zoning**

- Contacted MML for short term rental presentation on HB 4722. Aiming for a presentation to Council on November 9.
- Watched the March 18 Planning Commission Meeting to hear master plan presentation from the planning consultant and 2022/2023 goals discussion.
- Attended ZBA meeting.
- Attended Planning Commission meeting. Due to an unexpected event, there was not a quorum. A special meeting was set for October 26.
- Attended Kalamazoo Lake Water Sewer Authority meeting.
- Reviewed draft Northshore Development resolution/letter.
- Reviewed BS&A complaint/enforcement tracking functionality.
- Reviewed outdoor seating history and changes.
- Completed planning and zoning casework as outlined in the chart below.

### **Projects**

- Attended pre-construction meeting and on-site review for the Water St Sidewalk Project. Tentative start date is week of October 24.
- Attended Christmas Parade planning meeting.
- Continued working with the County Administrator and Sheriff's Office to finalize agreement related to patrol vehicles.
- Began reviewing proposed amended and restated sewer system operations contract.
- Reviewed Michigan Sparks grant information forwarded by the City Engineer.
- Attended a meeting with Redwater Group, City Attorney, and City Manager to discuss current agreements.



## Planning and Zoning Casework

640/650 Water Street	ZBA Use and Dimensional Variance	Revised plans received. Variance requests for height, waterfront setback and first floor dwelling. Public notice published. Scheduled for November ZBA meeting.
350 Mason Street	Bed and Breakfast and Auxillary Structure	Worked with consultant and legal on concerns with submitted application and materials. Applicant was advised of various options. Working with legal on answering additional applicant questions.
584 Lake Street	New Motor Court Unit/HDC Review	Applicant returning to future HDC meeting with material cut-sheets. Reviewed project with planning consultant and legal. Applicant was advised special land use and site plan review will be needed as well. Met with applicant to answer questions. Still awaiting applications.
700 Maple Street	Lot Split Request	Reviewed with planning consultant. Initial request was denied. Meeting held with applicant at their request. New application was received and under review.
102 Butler	City Hall Exterior Work	Will be on the November HDC meeting agenda for review. Also forwarding to historical society for feedback.
221 Water St	ZBA Dimensional Variance Request/HDC Review	ZBA approved variances for a deck extension, shed and hot tub. Historic District Commission review scheduled for November. Applicant will need to submit zoning permit application as well.
841 Holland St	Historic District Review	Additional wall was built that wasn't part of original HDC approval. Historic District Commission review scheduled for November.
383 Dunegrass Circle	New Home	Located in the PUD residential overlay. Scheduled for site plan review by Planning Commission in November.
439 Butler	Short Term Rental Applications	New owner of a previously existing STR. Apps for three units. Awaiting fire department inspections.
860 Simonson	Short Term Rental Application	Application for new STR. Sent to fire department for inspection.



## Planning and Zoning Casework Continued

831 Holland St	Parcel Combination	Received application to combine a recently purchased parcel. Discussed process with assessing. Under review for zoning compliance.
Jones Park Historic Marker	Historic District Review	Council approved on 10/10 subject to HDC approval. Will be reviewed at November HDC meeting.
525 Butler St	ZBA Dimensional Variance Request	Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Public notice published. Scheduled for November ZBA meeting. Will also need HDC review.
302 Culver	Enforcement	Complaint of sidewalk seating items remaining after business closed for season. Contacted owner.
404 Griffith	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
Unknown	Inquiry	Questions about new water and sewer connection permitting processes. Provided application and fees.
1021 Allegan	Drainage Concerns	DPW and Engineering met building contractors and advised issue addressed to their satisfaction.
TBD	Inquiry	Received call about short-term rental ordinance. Provided application and ordinance information.
117 Perryman St	Inquiry	Questions about zoning for an addition. Provided zoning information.
1039 N Maple	Inquiry	Requested information on roof replacement permits. No structural work. Provided MTS contact information.



## Planning and Zoning Casework Continued

Unknown	Inquiry	Question about setbacks for hot tubs in the CR district. Provided zoning ordinance information.
237 Butler	Enforcement	Complaint of vehicles parking in alley or blocking alley so they are unable to leave. Requested no parking signage. DPW to install sign.
132 Mason	Enforcement	Expanded Outdoor Dining Area License Expired. Structures/Objects still in place. Contacted owner. Now removed.
449 Water St	Inquiry	Questions/concerns about sidewalk seating approval and conditions. Information provided.
665 Spear	Home Relocation and Additions	Planning consultant and legal reviewed. Phase 1 approved. Met with applicant. Applicant advised more detail needed on phase 2 before it can be reviewed/approved.
145 Grant	Inquiry	Questions about temporary zoning permits for construction storage. Provided zoning ordinance requirements.
Mason St	Inquiry	Questions about Mason St. street end. Forwarded to City Manager who discussed with caller.
807 Lake	Inquiry	Attorney for condominium has questions about confirming planning commission approvals for amended master deed. Forwarded to legal to assist.





## **Planning, Zoning and Project Report**

November 14, 2022

### **Planning and Zoning**

- Coordinated details with MML for short term rental presentation on HB 4722.
- Attended Historic District Commission meeting.
- Attended Parks and Public Works Committee meeting.
- Attended Planning Commission meeting.
- Updated land division/lot line adjustment application.
- Created major waterfront construction permit application.
- Began MSU Extension Zoning Administrator Certificate Program pre-requisites.
- Completed planning and zoning casework as outlined in the chart below.

### **Projects**

- Finalized Sheriff's Department Law Enforcement Services Agreement.
- Reviewed and provided feedback on BID documents for City Hall and Jones Park Information Booth exterior repairs and restoration.
- Attended a GoGov demonstration meeting.
- Attended Beach Safety Summit in South Haven.
- Attended Public Accuracy Test for November election.



## Planning and Zoning Casework

640/650 Water Street	ZBA Use and Dimensional Variance	Variance requests for height, waterfront setback and first floor dwelling. Scheduled for November ZBA meeting.
700 Maple Street	Lot Split Request	Reviewed with planning consultant. Initial request was denied. Meeting held with applicant at their request. New application was received and under continued review.
102 Butler - City Hall	Historic District Review	The HDC reviewed the plans for exterior repair and restoration to City Hall and Jones Park information booth. The HDC approved the plans with the condition that the signs for both structures remain as is and the window wells are filled in.
831 Holland St	Enforcement	Complaint about condition of the fence. Contacted owners and working on bringing fence into compliance. Will need historic district review.
383 Dunegrass Circle	New Home	Located in the PUD residential overlay. Scheduled for site plan review by Planning Commission in November.
439 Butler	Short Term Rental Applications	New owner of a previously existing STR. Applications for three units. Two passed and certificates were issued. Third unit awaiting re-inspection.
525 Butler St	ZBA Dimensional Variance Request	Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Scheduled for November ZBA meeting. Will also need HDC review.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Awaiting Fire Department inspection.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Awaiting Fire Department inspection.
836 Park St	New Dock	Due to 60 ft length, requires a major waterfront construction permit. Major waterfront construction permit application provided. Will need Planning Commission review.



## Planning and Zoning Casework Continued

348 Main St	Short Term Rental Approval	Existing STR submitted a renewal application. Fire Department inspected and approved. Issued STR certificate.
985 Park St	New Fence	Fence permit application submitted. Application not complete. Proposed fence was too high in waterfront. Referred to zoning ordinance requirements and requested resubmittal.
990 Ridgeview	Water Connection	Issue finding curb stop for permitted water connection. E-mailed engineer and KLSWA. Provided general GIS info engineer had.
150 Dunegrass	New Home	Architect requested clarification on height requirements under PUD overlay. Working with fire department, consultant, and legal on a response.
560 Mill St	Enforcement	Complaint of a fence being installed without a permit. Contacted owner and landscaper. They agreed to stop work. They will submit a fence permit and HDC permit applications. Info provided on both.
1026 Holland	Short Term Rental Application	New STR . Sent to Fire Department for inspection.
807 Lake St	Master Deed Update	Shady Shore condos. Questions about Planning Commission confirmation of 2009 special land use approval to update master deed. Legal reviewed. Prior condition not met (13 years ago), must reapply for SLU for single family dwellings.
1021 Allegan St	Sewer Connection and Street Cut	Looking to connect to sewer and needs to cut into street. Advised sewer connection permit and street cut permit will be needed. Provided applications.
638 Allegan	Final Inspections	Final inspections on remodel and addition completed.
647 Butler	Historic District Review	Plans to replace windows and shutter work. Contributing structure. Provided HDC application, link to brochure, and guidelines.



## Planning and Zoning Casework Continued

302 Culver	Enforcement	Complaint of outdoor seating items left on sidewalk after business closed for the season. Contacted owners who advised they were conducting business/events on weekends still. Now removed.
237 Francis	Short Term Rental Approval	Existing STR submitted a renewal application. Fire Department inspected and approved. Issued certificate.
Unknown	Inquiry	Call about short term rental regulations and whether there are caps on numbers. Provided zoning ordinance information.
831 Holland St	Lot Combination	Received application to combine a recently purchased parcel. Approved and sent to equalization.
350 Mason Street	Bed and Breakfast and Auxillary Structure	Worked with consultant and legal on concerns with submitted application and materials. Applicant was advised of various options. Worked with legal on answering additional applicant questions.
758 Pleasant	Inquiry	Planning on installing new fence and wanted to know requirements. Advised of zoning ordinance requirements and fence permit will be needed.
230 Culver	Asphalt Repairs	City engineer and DPW reviewed and advised no concerns if no change to grade or drainage.
125 Elizabeth	Inquiry	Questions about setback requirements for lot. Providing zoning ordinance information for this lot.
Sugar Hill	Inquiry	Questions about STR being allowed. Provided application and zoning ordinance info.
755 Holland St	Tree Damage Repairs	Damaged by tree. Repairing roof, no height or pitch changes, no footprint changes. Zoning permit issued.
860 Simonson	Short Term Rental Approval	New Short Term Rental. Passed re-inspection. Certificate issued.
404 Griffith	Short Term Rental Approval	Existing STR, renewing. Passed inspection. Certificate issued.



## Planning and Zoning Casework Continued

790 Simonson	Short Term Rental Approval	Existing STR, renewing. Passed re-inspection. Certificate issued.
665 Spear	Inquiry	Builder had questions about fire code. Provided ordinance sections.
610 N Maple	Inquiry	Questions about lot split requirements. Provided ordinance info and application.
1050 Holland St	Curb Cut	Curb cut application to change location of driveway. Consultant, DPW, and Engineer reviewed. Curb cut permit issued.
221 Water St	ZBA Dimensional Variance Request/HDC Review	ZBA approved variances for a deck extension, shed and hot tub. Historic District Commission approved work with the condition that the shed be wood. Permits issued.
Jones Park Historic Marker	Historic District Review	Council approved on 10/10 subject to HDC approval. HDC approved on 11/3.
841 Holland St	Historic District Review	Additional privacy wall was built that wasn't part of original HDC approval. Historic District Commission reviewed and approved.
Unknown	Inquiry	Questions about where boats may be stored. Provided zoning ordinance information on parking of major recreational equipment.





## **Planning, Zoning and Project Report**

November 28, 2022

### **Planning and Zoning**

- Continued MSU Extension Zoning Administrator Certificate Program pre-requisites.
- Completed planning and zoning casework as outlined in the chart below.
- Note: I had a pre-planned trip to Morocco scheduled for November 9-20 prior to starting in Saugatuck and was gone for most of this reporting period.

### **Projects**

- Attended Parks and Public Works Committee Meeting
- Began reviewing Maple St Drainage Study



## Planning and Zoning Casework

640/650 Water Street	ZBA Use and Dimensional Variance	ZBA heard variance requests at 11/10 meeting. The ZBA found the variance standards were not met for height or waterfront setback. Applicant withdrew the use variance request at the meeting.
700 Maple Street	Lot Split Request	Initial request was denied. Meeting held with applicant at their request. New application was received and extensively reviewed and researched. Application will be referred to the Planning Commission for a decision.
383 Dunegrass Circle	New Home	Located in the PUD residential overlay. Was scheduled for site plan review by Planning Commission in November but a quorum (per bylaw requirements) was not available. Working with Chair on re-scheduling.
525 Butler St	ZBA Dimensional Variance Request and Historic District review	Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. ZBA granted variances. Historic District permit application received and will be heard at 12/1 HDC meeting.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Passed Fire Department inspection. Certificate issued.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Passed Fire Department inspection. Certificate issued.
1021 Allegan St	Water/Sewer Connection and Street Cut	Street cut and connections completed with engineering oversight.
647 Butler	Historic District Review	Historic District application received for various work including new windows, roof, doors, lights, fence and new deck and porch addition. Will be heard at January HDC meeting. Applicant advised zoning permit will also be needed.
150 Dunegrass	Inquiry	Questions about PUD overlay height language. Worked with legal, consultant and fire department to provide a response.
560 Mill St	New Fence	Historic District and fence permit application received and under review.



## Planning and Zoning Casework Continued

1044 Holland (1034 Holland)	New Home	Zoning permit application and water/sewer connection application received. Initially was not complete but applicant has since provided required information. Sent to consultant to review. Floor area ratio also under review and if it exceeds .3:1 will need Planning Commission review.
423 Grand St	New Home	Zoning permit application for new home. Application was not complete. Requested required information to review.
133 Main St	Historic District Review	Historic District application received for new siding. Application was not complete. Requested required information.
233 Lucy St	Home Alteration and Addition	Zoning permit application received for a front porch demolition and rebuild. HDC previously approved. Application not complete. Researching non-conforming setback with consultant.
125 Mason St	Short Term Rental Application	Existing STR, renewing. Sent to Fire Department for inspection.
311 Water St	Short Term Rental Application	Existing STR, renewing. Failed inspection. Sent invoice for re-inspection.
Unknown	Inquiry	Questions about historic district boundaries. Map provided.
102 North St	Short Term Rental Application	New STR. Passed Fire Department inspection. Certificate issued.





## **Planning, Zoning and Project Report**

December 12, 2022

### **Planning and Zoning**

- Set up Planning Commissioner and ZBA Member interviews.
- Completed MSU Extension Zoning Administrator Certificate Program pre-requisites. Registered for in person sessions in February.
- Attended meetings with planning consultant and legal regarding various zoning matters.
- Reviewed 631 Perryman PUD historical documents.
- Reviewed Maple St. lot split historical documents.
- Attended Historic District Commission meeting.
- Sent letters to expired and soon to be expired short term rental owners.
- Reviewed ZBA Decision Forms from recent cases and corresponded with ZBA Chair.
- Completed planning and zoning casework as outlined in the chart below.

### **Projects**

- Set up new Council Member orientation for January 11.
- Reviewed annual audit.
- Reviewed historical documents related to water/sewer connection fees.
- Attended City Hall exterior pre-bid meeting with prospective bidders. Bids are due December 20.



## Planning and Zoning Casework

640/650 Water Street	Inquiry	Met with applicants and consultant to discuss non-conforming rights and options under the zoning ordinance.
700 Maple Street	Lot Split Request	Continued review with planning consultant. After extensive review and research, application is being referred to the Planning Commission. Applicant advised they did not wish for their application to be considered at the December meeting.
383 Dunegrass Circle	New Home	Located in 631 Perryman PUD residential overlay. Was scheduled for site plan review by Planning Commission in November but a quorum (per bylaw requirements) was not available. Continued extensive review with consultant and legal. Scheduled for December 15 Planning Commission meeting.
525 Butler St	ZBA Dimensional Variance Request and Historic District review	ZBA granted variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Historic District Commission approved on 12/1 with conditions.
1021 Allegan St	Water/Sewer Connection and Street Cut	Followed up with builders to collect connection fees.
647 Butler	Historic District Review	Historic District application received for various work including new windows, roof, doors, lights, fence and new deck and porch addition. Will be heard at January HDC meeting. Applicant advised zoning permit will also be needed.
150 Dunegrass	Inquiry	Questions about driveway slope. Coordinated with Fire Authority.
560 Mill St	New Fence	Historic District and fence permit application received. Permits issued for both. Talked with applicant about landscaping concerns raised by a complainant.
1044 Holland (1034 Holland)	New Home	Zoning permit application and water/sewer connection application submitted for new home. Applicant revised floor area ratio calculations. Sent to consultant for review. Coordinated water/sewer connection review with city engineer and provided applicant with feedback.

## Planning and Zoning Casework Continued

423 Grand St	New Home	Zoning permit application and water/sewer connection application submitted for new home. Sent to consultant for review. Coordinated water/sewer connection review with city engineer and provided applicant with feedback.
233 Lucy St	Home Alteration and Addition	Zoning permit application received for a front porch demolition and rebuild. HDC previously approved. Application not complete. Researching non-conforming setbacks with consultant.
726 Water St	Short Term Rental Application	Existing STR units. Renewing. Sent to Fire Department for inspection.
15 Park St	Inquiry	Questions about replacing existing (60-year-old) tennis court and whether permits needed. Same footprint. May extend fence 1 ft at later date. Reviewed prior site plan approvals and site plan review triggers. Sent to consultant for review.
602 Francis	Short Term Rental Application	Existing STR. New Owner. Sent to Fire Department for inspection.
255 Spear St	Short Term Rental Application	Existing STR changed ownership. Sent to Fire Department for inspection.
807 Lake #7	Short Term Rental Application	Existing STR renewing. Sent to Fire Department for inspection.
712 Lake St	Short Term Rental Application	Existing STR renewing. Sent to Fire Department for inspection.
201 Butler	Inquiry	Questions about permitting and requirements to add a "lobby ATM with enclosure" outside the drug store. Sent to consultant for review. Reviewed history and other code of ordinance provisions. Advised applicant survey will be needed.



## Planning and Zoning Casework Continued

Sugar Hill (previously Vine Street Cottages)	Land Division Application	Lot split application. Did not use current application so it was not complete. Provided current application and checklist.
275 North St	Inquiry	Discussed preliminary lot split plans with applicant. Discussed zoning ordinance requirements and provided resources. Provided same to surveyor.
510 Butler St	Inquiry	Questions about turning an accessory structure into an ADU and renting it as another unit of the B&B. Advised this is not allowable without a ZBA variance.
890 Simsonson	Inquiry	Questions about water connection fees for proposed new home. Fees provided.
35 and 37 Park St	Inquiry	Questions about separating water service lines. Provided application. City Engineer reviewed unique circumstances and provided feedback.
560 Mill St	Inquiry	Questions about setbacks and historic district requirements for possible renovation. Provided requested information.
749 Holland St	Inquiry	Questions about front and rear lot lines on irregular shaped lot. Provided zoning ordinance definitions.
149 Griffith	Inquiry	Questions about permitting for remodeling. Contributing structure in the historic district. Restaurant use historically. Provided resources and forms depending on type of work as well as MTS info. Advised Planning Commission reviews may be needed.
143 West	Inquiry	Questions about prior building plans.
16 Park St	Inquiry	Questions about ADU requirements. Discussed prior approvals and current zoning regulations.

## Jamie Wolters

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**From:** Craig Baldwin <craigbaldwin312@gmail.com>  
**Sent:** Friday, December 9, 2022 11:09 AM  
**To:** Jamie Wolters  
**Subject:** Fwd: Short Term Rentals  
**Attachments:** STR Regulations Summary Dec 9 2022.doc

Hello Jamie,

Please include the message below and its attachment as correspondence in the packet for the next planning commission meeting. Thank you.

Craig Baldwin  
787 Manchester Drive, Saugatuck

----- Forwarded message -----

**From:** **Craig Baldwin** <craigbaldwin312@gmail.com>  
**Date:** Fri, Dec 9, 2022 at 11:06 AM  
**Subject:** Short Term Rentals  
**To:** [mannssteven@hotmail.com](mailto:mannssteven@hotmail.com) <[mannssteven@hotmail.com](mailto:mannssteven@hotmail.com)>

Dear Chairman Manns:

I understand that the Planning Commission intends to review the issue of short term rentals in the near future to decide what, if any, changes should be made to our ordinances. I am writing to provide both comments from my personal experience as well as information that will hopefully be of use as you take on this topic.

When Helen and I bought our home on Manchester Drive five years ago, part of the charm was that it was on a quiet, dead end street with only sixteen homes in the immediate neighborhood. The only short term rental activity was from our next door neighbors who rented their second home for a few weeks each summer to offset some of the cost of ownership. They have since made that home their permanent residence.

But over the last two years, four of the sixteen homes in our neighborhood have become active short term rentals. The rental closest to my home has persistent issues with parking, trash and noise. More importantly, we have lost several great neighbors that were an active part of our little community. An abrupt 25% saturation rate of short term rental properties has had a significant negative impact on our neighborhood.

I have researched how several comparable resort towns on Lake Michigan have handled this issue. The attached memo summarizes what I discovered from my review of the ordinances and policies in the following towns: Charlevoix; Harbor Springs; Petoskey; Grand Haven; South Haven; Holland; and Park Township. I also reviewed and summarized Saugatuck's current ordinances regarding short term rentals and other types of lodging.



In a nutshell, some communities have banned short term rentals (Petoskey, Park Township). Others permit property owners to rent for a few weeks per year but otherwise place restrictions on the number and/or location of investor-owned short term rentals (Charlevoix, Grand Haven, South Haven, Holland). Harbor Springs is the only one on my list that does not restrict the number or location of short term rentals, but they have very restrictive rules regarding parking, trash and noise and take a zero tolerance policy toward code violations before a rental license can be revoked.

It is clear to me that Saugatuck now has a class of short-term rentals that are essentially commercial lodging operations. In my view, these have a comparable impact on the surrounding neighborhood as would a bed and breakfast establishment. Saugatuck zoning ordinances have taken a thoughtful approach to bed and breakfasts by allowing them in some districts, designating them as a special land use in others, and determining that they are not a permitted use in the remaining districts. Saugatuck would benefit from a similarly careful approach to commercial-grade short-term rentals.

I hope this legwork is useful to the Planning Commission as you review what is obviously a very important issue for Saugatuck. Thank you.

Sincerely,

Craig Baldwin

787 Manchester Drive

Saugatuck

## **Short Term Rental Regulations December 9, 2022**

### **A Sample of West Michigan Resort Town STR regulations:**

Petoskey: Short term rentals are not a permitted use except for bed and breakfast establishments that operate in the business district.

Charlevoix: Distinguishes between “Business Unit” STRs and “Personal Unit” STRs. Business Unit STRs can be rented for an unlimited number of days in a calendar year but are capped at 80 units in residential districts. Occupancy is limited to 2 people per BR plus 2 per finished floor. All property owners can rent their property as a Personal Unit STR for up to 28 days in a calendar year and Personal Units do not count against the STR cap. Property owners can have only one Personal Unit.

STR tenants must park vehicles in designated driveways or properly park at the street. On-street parking is not allowed in the winter. The city publishes a Good Visitor Guide for tenants that summarizes city ordinances regarding parking, trash, noise, etc.. STR registrations will be suspended for 12 months if there are three ordinance violations in a 12 month period. If there is a fourth violation in a 24 month period, the property owner permanently loses the right to use the property as an STR.

South Haven: They also distinguish between STR “personal units” and “business units.” Business unit STRs may not comprise more than 25% of the residential community. Personal unit STRs can be rented up to 28 total calendar days but with no more than 6 separate rental periods. For business units, occupancy is the lesser of 16 people or 2 per BR plus 2 more per finished floor. For personal units, occupancy is capped at 12.

STRs must circulate the city's “good neighbor guide” to tenants. Personal STRs must notify the city of the dates of their rental contracts. STRs will lose their registration if there are three or more complaints in a calendar year regarding a violation of city ordinances.

Grand Haven: Short term rentals are only available in a handful of zoning districts except for any STRs that are grandfathered in. STR owners must provide tenants with copies of city ordinances regarding noise, trash, parking and occupancy. STR registrations can be revoked for repeated violations of city ordinances (no specific number is given).

Harbor Springs: There are no caps on STRs. Occupancy is limited to 2 people per BR. Trash cans are not permitted to be placed in public view except on the day before pickup. Renters and guests must park in the garage, carport or driveway of the property if one exists. Vehicles may not be parked in the yard. STR licenses can be suspended for up to 90 days for a single violation of city ordinances and for 12 months if there is a second violation. The city publishes a “good neighbor guide” for the benefit of tenants.

Holland: A property owner may rent their primary residence as an STR without restriction on the number of days. Other uses are considered investor-owned properties and are limited to specific zoning districts, subject to a cap of 25 units in the entire city, and subject to a 500 foot spacing requirement between units. STRs must notify surrounding neighbors that the property will be used as an STR and provide the property owner's contact information. Licenses can be revoked if there are more than 3 police calls or 4 ordinance violations for the property in a 12 month period.



Park Township: After significant debate and public hearings, they decided not to amend their zoning ordinances to permit STRs. They are allowing a 12 month grace period before enforcing existing zoning codes that prohibit STRs.

**Michigan Legislature:**

House Bill 4722 passed in October 2022 and would forbid any local regulation that treated STRs differently than other residential properties. Municipalities could cap STR saturation at no less than 30% of the total of residential units. This bill was not taken up by the Senate and is likely to expire without action in the lame duck session. HB 4722 is supported by Airbnb, the Michigan Association of Realtors and the Rental Property Owners Association.

The Michigan Municipal League, Michigan Township Association and Michigan Restaurant & Lodging Association oppose the legislation and have offered HB 5466 as a compromise, which protects “qualified short term rentals” (i.e., personal unit STRs) from caps or limitations but does not prohibit local regulations on commercial/investor short term rentals. Qualified short term rentals are defined as those that rent for no more than 30 days per calendar year. This bill has not passed the house.

**Current Saugatuck Ordinances:**

Short term rentals are currently a permitted land use in most, but not all, zoning districts. STRs are regulated in City Charter Sec. 154.022(V) (attached). The regulations are permissive and provide no limits on the number of STRs, no required distance between STRs, and no limits on the number of days a unit can be rented as an STR. Occupancy restrictions are only limited by the standards in the BOCA Property Maintenance Code, which requires only that every room occupied for sleeping purposes must have 50 sq. ft. per occupant.

Full-time Business Unit STRs arguably have a similar impact on residential communities as bed and breakfast establishments, except that STRs lack a resident owner who can actively mitigate any nuisances. Saugatuck regulates bed and breakfast establishments as follows:

- They are a permitted land use in the following districts: Water Street South; Neighborhood Marine; Resort District; and City Center Transitional Residential District.
- They are a special land use in the following districts: Water Street East; Water Street North, City Center Commercial; Lake Street; and Multi-Family Residential District.
- They are not allowed in the following districts: Community Residential; Maple Street Peninsula North; Peninsula South; Peninsula West; Blue Star; Conservation Recreation and Camp; Summer Resort and Park Association; and Cultural/Community District.

**Potential Changes:**

If the city wishes to place limits on STRs, the following approach would be in the spirit of the compromise supported by the Michigan Municipal League:

1. Distinguish between business unit STRs and personal unit STRs. Limit personal unit STRs to a small number of rental days in a calendar year, such as 30.
2. Allow an unlimited number of personal unit STRs in any zoning district where STRs are currently a permitted use.
3. Review the character of each zoning district to determine which districts should allow unlimited business unit STRs, which districts should permit business STRs subject to a cap or a special land use designation, and which districts should prohibit business STRs.

Note that existing STR uses that would become nonconforming under revised zoning rules must be allowed to continue in the same manner and to the same extent. The Michigan Zoning Enabling Act of 2006, Section 125.3208, says:

If the use of a dwelling, building, or structure or of the land is lawful at the time of enactment of a zoning ordinance or an amendment to a zoning ordinance, then that use may be continued although the use does not conform to the zoning ordinance or amendment.

This right of use can be passed on to subsequent owners (travels with the land) but is extinguished if the nonconforming STR usage is abandoned. (*See De Mull v City of Lowell*, 368 Mich 242 (1962)).

A variety of other changes could also be considered:

1. Limit occupancy of personal unit STRs to a reasonable number (e.g., 12 max, 2 people per BR, etc.). Consider occupancy limits for business unit STRs that are tied to the number of bedrooms/floors.
2. Impose limits on the number of parked cars (e.g., 1 per BR). Consider other restrictions such as prohibiting overnight street parking or prohibiting parking on the lawn.
3. Require garbage containers to be stored where they are not visible from the street.
4. The city could more actively enforce the existing rules regarding when garbage cans may be placed at the street and when they must be returned.
5. Rules should be established for suspension and/or forfeiture of an STR license after repeated ordinance violations
6. Meaningful fines could be established for ordinance violations by STRs.
7. The city could publish an updated list of registered STRs on the city website with the local contact information and the occupancy limit.
8. The city could prepare a good neighbor guide that STRs are required to provide to tenants.



**SAUGATUCK STR ORDINANCE:**

154.022 (V) Short-term rental unit.

(1) The owner of the dwelling unit which is to be rented for any period of less than 30 days, shall obtain a short term rental certificate from the city before the dwelling is rented or used;

(2) The property owner or applicant shall include the following information on the certificate application:

(a) Address of the subject parcel containing the dwelling unit to be rented;

(b) Name and contact information, including e-mail, of the owner of the dwelling unit;

(c) Name and contact information, including e-mail, of the required local representative or the rental agency, within 45 miles of the City of Saugatuck;

(d) Proposed maximum occupancy of the dwelling unit;

(e) Owner’s signature stating that the dwelling unit will be operated in conformance with all applicable ordinance requirements; and

(f) The property owner shall notify the city of any changes to the approved application within 30 days of the date of the change, including change of mailing address, contract information, or rental agency.

(3) The short-term rental unit shall meet all applicable building, health, fire, and related safety codes at all times and shall be inspected by the Saugatuck Township Fire District within 30 days of the submittal of the application. Violations found by the Saugatuck Township Fire District shall be corrected within 15 days of notification from the Fire Inspector. No certificate shall be issued until after the fire inspection has been completed and approved. The property owner or rental agency shall submit a completed safety checklist, designed by the Saugatuck Township Fire District, to the city for the second and third year of each certificate cycle for the certificate to remain in good standing.

(4) Signs shall be subject to the applicable provisions of § 154.141 of this chapter;

(5) The use of outdoor yard areas, open decks, pools and the like shall not result in the production of excessive off-site noise, odor, other external disturbances or other nuisances as regulated within the City Code of Ordinances;

(6) In no event shall the owner of the short-term rental unit or their agent rent solely an individual room in the short-term rental unit to a person, family, or other group of persons, nor shall the renter of the dwelling so sublet any room. All dwelling units rented for short term use shall be fully rented under a single contract;

(7) The use of tents, campers, or similar temporary sleeping facilities shall be prohibited;

(8) A short term rental certificate shall be valid for three seasons (January 1 through December 31) unless there is a change of ownership for the subject parcel;

(9) Occupancy of each dwelling unit shall be limited based on the calculations in the BOCA National Property Maintenance Code as approved in § 150.03; and

(10) All short term rentals shall have a local representative who resides within 45 miles of the outer boundaries of the city. This contact shall have access to the property at all times and shall have working knowledge of the house.

**BOCA Occupancy Requirement:**

PM-405.3 Area for sleeping purposes: Every room occupied for sleeping purposes by one occupant shall contain at least 70 square feet (6.5 m2) of floor area, and every room occupied for sleeping purposes by more than one person shall contain at least 50 square feet (4.6 m2) of floor area for each

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