



HISTORIC DISTRICT COMMISSION

November 2, 2023 - 6:00PM
Saugatuck City Hall
102 Butler St. Saugatuck, MI 49453

1. **Call to Order**
2. **Roll Call**
3. **Agenda Changes/Additions/Deletions**
4. **Approval of Minutes:**
 - A. Minutes of Regular Meeting held on October 5, 2023
5. **Public Comments on Agenda Items (Limit 3 Minutes)**
6. **Unfinished Business:**
 - A. **439 Butler** – Retroactive approval of window tint.
7. **New Business:**
 - A. **149 Griffith** – Replacement and reconstruction of the non-original front porch, outdoor freezer siding, fence and gate replacement, and replacement deck, steps, and fence to the rear of the building.
 - B. **Annual Election of Officers**
8. **Administrative Approvals & Updates:**
9. **Communication:**
 - A. Note from Chair Straker
10. **Public Comments (Limit 3 Minutes)**
11. **Commission Comments**
12. **Adjourn (Voice Vote)**

NOTICE:

This public meeting will be held in-person. The public can join via Zoom video/audio conference technology.

Join online by visiting:

<https://us02web.zoom.us/j/2698572603>

Join by phone by dialing:
(312) 626-6799

-or-

(646) 518-9805

Then enter "Meeting ID":
269 857 2603

Please send questions or comments regarding meeting agenda items prior to meeting to:
rcummins@saugatuckcity.com

The Saugatuck Historic District Commission has the responsibility to regulate the construction, demolition, and improvements to the exterior of structures in the historic district. The intent is to safeguard the heritage of the City of Saugatuck, to protect the architecture and local village character of the City, to foster civic beauty, and to promote the use of historic districts for the education, pleasure, and welfare of the residents, visitors, and general public.



**City of Saugatuck
Historic District Commission
Meeting Minutes October 5, 2023, 6:00 PM**

PROPOSED

Saugatuck City Hall
102 Butler Street

Call to Order/Roll Call: Vice-Chairman Leo called the meeting to order at 6:00 p.m.

Present: Vice-Chairman Leo, Commission members: Donahue, Godfrey, Lewis, & Paterson.

Absent: Chairman Straker, Commission member Cannarsa.

Others Present: Director of Planning, Zoning, and Project Management Cummins.

Agenda Changes/Additions/Deletions:

Motion by Godfrey, second by Lewis, to add demolition and reconstruction of playground equipment at Village Square to the October 5, 2023, agenda. Upon voice vote, the motion carried 5-0.

Approval of Minutes for September 7, 2023:

Motion by Leo, second by Donahue, to approve the minutes for the September 7, 2023, meeting minutes. Upon voice vote, the motion carried 5-0.

Public Comments:

- Tim Dykema (528 Shorewood) – Supports painted sign at 439 Butler.

Unfinished Business: None.

New Business:

A. 807 Lake – Replace railings and posts (Voice Vote)

The applicant proposed to replace railings and posts on the existing units.

A motion was made by Paterson, second by Godfrey to approve the replacement of the railings and posts for the units at 807 Lake in accordance with the plans and details submitted with the application materials. Approval is subject to the following conditions:

- *To provide a material spec sheet of the poly material and a rough sketch of the affected areas for replacement.*

Following voice vote, motion carried 4-0.

Yes: Donahue, Godfrey, Paterson, and Vice-Chair Leo

No: Lewis.

B. 118 Hoffman – Retroactive approval of a shed and outdoor freezer (Voice Vote)

The applicant requests retroactive approval for the construction of a shed and outdoor freezer on the subject property.

A motion was made by Lewis, second by Godfrey to table the application for 118 Hoffman. Following voice vote, motion carried 5-0.

C. 640 Water – Remove attached building, rear awning, and vinyl siding, repair and paint block wall and trim, remove sign. (Voice Vote)

The applicant proposes to remove structural components of the existing building and to renovate other portions.

A motion was made by Lewis, second by Godfrey to approve the demolition of the 108 square foot rear awning and 396 square foot building addition, as well as the removal of vinyl siding. Remaining items were tabled. Following voice vote, motion carried 5-0.

D. 439 Butler – Painted mural, touch-up existing sign, retroactive approval of window tint (Voice Vote)

The applicant proposes a mural on the side of the principal building (in progress), a touch-up of the existing sign, and existing window tinting on unit #6.

A motion was made by Lewis, second by Donahue to approve refreshing of the painted sign as an improvement to the aesthetics of the building and to return the brick to its original color, i.e., remove the mural, and table the tinting until provided a sample. Following voice vote, motion carried 5-0.

D. Village Square – (Voice Vote)

A motion was made by Leo, second by Donahue to demolish existing play structures and the replacement of the structures per the Sinclair design as submitted.

Following voice vote, motion carried 4-0.

Yes: Donahue, Godfrey, Paterson, and Vice-Chair Leo

Abstained: Lewis.

Administrative Approvals & Updates:

Director of Planning, Zoning and Project Management Cummins gave an update regarding administrative approval for the following:

A. 868 Holland – Roof and garage doors.

Communication: None.

Public Comment: None.

Commission Comments:

Commissioner Lewis – A lot of retroactive approvals. May need to notify owners in district of requirements.

Adjourn:

Motion by Lewis, second by Paterson to adjourn. Upon voice vote, motion carried 5-0. Vice-Chair Leo adjourned the meeting at 7:24 p.m.

Respectfully Submitted by

Sara Williams,

Deputy Clerk



MEMORANDUM

TO: Historic District Commission
City of Saugatuck

FROM: David M. Jirousek, AICP
Consulting Planner

DATE: October 30, 2023

RE: Historic District Permit Application, James Faasen: 439 Butler Street

REQUEST: The applicant requests retroactive approval of window tinting on unit #6.

PRIOR REVIEW: On 10/4/23 the Historic District Commission tabled the window tint request until provided a sample.

BACKGROUND: The property is located in the City Center (C-1) zoning district and the Historic District. The original Italianate-style building was constructed in 1904 and was the Koning Hardware store. The main building is a contributing structure, while it appears that the units added to the rear of the property are non-contributing.

APPLICABILITY: A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

COMPLETENESS REVIEW: All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant has provided a supplemental report regarding the details of the tinting and the reasoning for its installation.

REVIEW: Concerning tinting, the National Park Service's Technical Preservation Service recommends installing clear, low-emissivity (low-e) glass or film without noticeable color in historically-clear windows to reduce solar heat gain. The applicant has provided a specification sheet for the architectural window film, which states that it provides low interior and exterior reflectivity and unaltered views. The HDC should inspect the window tint to assess the appropriateness of the previously installed film.

RECOMMENDATION: If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

I move that the HDC retroactively approves the existing window tinting at unit #6 at 439 Butler Street in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

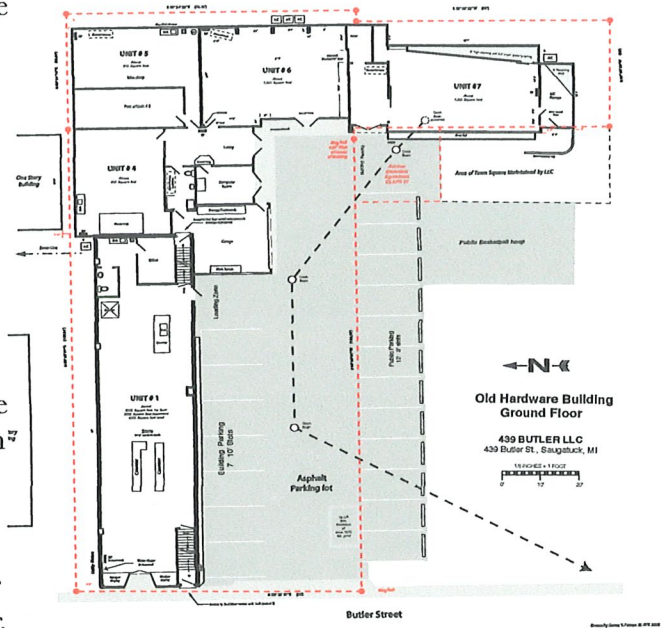
ADDENDUM TO 439 BUTLER ST. WINDOW TINTING APPLICATION
Tabled by HDC on 5 OCT 2023

To review: The applicant seeks retroactive approval for the tinting of windows in unit #6 at 439 Butler St. in the historically non contributing portion of this structure. This rental unit is in an addition built in about 1980 to the main building. It is set back from the street about 150 feet and faces a 18 slot, asphalt paved, private/public parking lot. From about 10:30 AM until sunset the unit faces an exposure to the western sun that no other structure on Butler Street experiences. The film is there to reduce the effects of this brutal direct exposure to the sun.

In addition, from a street view, this tinting does not effectively alter the appearance of the facade of the structure. It is not “mirrored” tinting, as some have suggested. That effected is primarily caused by the dark colors used in the interior paint scheme and subtle lighting. The exposed rafter ceiling is painted flat black and the walls a very dark Navy blues. Combined with the dark green plaid carpeting, this creates more reflection in the windows.

It should be noticed that this is more or less private office space and sales floor for “StanCraft of the Great lakes” and not your typical Butler St. retail vendor catering to the tourist trade. Unlike most shops on Butler, it is not seeking walk-in traffic, and to my understanding, access it is by appointment only. In that regards and combined with the unique properties of its location, the use of tinting on the windows would not create a realistic precedent, as the vast majority of vendors are dependent on walking traffic and want bright lights and an unobstructed view in to their shops.

As requested, attached a sample of this tinting material for the committee’s review.



Front windows of Unit #6 before tinting



Front windows of Unit #6 before tinting
AFTER

UltraVisionDS™

ULVDS-70 SPECTRALLY SELECTIVE

ARCHITECTURAL WINDOW FILM

INTERIOR



PRODUCT SPECIFICATIONS

Visible Light Transmittance	67%
Total Solar Transmittance	50%
Total Solar Reflectance	11%
Total Solar Absorbance	39%
Visible Light Reflectance	
Interior	8%
Exterior	9%
Winter U-Value	1.06
UV Rejected	99%
Glare Reduction	24%
Shading Coefficient	0.69
Solar Heat Gain Coefficient	0.60
IR Rejected @980nm	70%
Total Solar Energy Rejected	40%

All data values are representative and are provided for comparison purposes only.

BENEFITS

- Elegant appearance
- Low interior and exterior reflectivity provides unaltered views
- Superior optical clarity and glare reduction
- Blocks 40% of the sun's energy, increasing comfort while reducing cooling costs
- Blocks over 99% of the sun's damaging UV rays extending the life of upholstery, carpet and window treatments
- Backed by an exclusive manufacturer's warranty

SunTek
WINDOW FILMS

ULVDS



MEMORANDUM

TO: Historic District Commission
City of Saugatuck

FROM: David M. Jirousek, AICP
Consulting Planner

DATE: October 30, 2023

RE: Historic District Permit Application: 149 Griffith Street

REQUEST: The applicant proposes a comprehensive exterior renovation to the existing building at 149 Griffith Street, including a replacement and reconstruction of the non-original front porch, outdoor freezer siding, fence and gate replacement, and replacement deck, steps, and fence to the rear of the building.

BACKGROUND: The property is located in the City Center C-1 zoning district within the Historic District. The lot is approximately 65 feet wide and 134 feet deep (8,624 square feet), and a commercial building exists on the site.

APPLICABILITY: A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

COMPLETENESS REVIEW: All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant submitted a site plan, photographs of the existing building, and examples of siding, doors, and windows. However, no details were provided on the replacement deck, steps, and fence to the rear of the building

I. KEY ELEMENTS: The building is considered a contributing structure, with the original portion built in 1863 in a Greek Revival style. In recent years, a south-side addition was constructed for the new bar area. Two east-side rear additions were constructed in completely different styles and colors, giving the Mason frontage an inconsistent look and feel with three distinct and inconsistent building components.

II. PRIMARY STRUCTURES:

The HDC may consider the following guidelines in its decision-making process:

A. *Materials, Maintenance, and Substitutes*

1. *Original Materials- On contributing resources, original materials shall be used for repairs and additions wherever feasible. (Note: Existing substitute siding or trim may be repaired with the same substitute materials without review, if less than 25% of the material needs to be replaced.)*

Comment: Original materials are not proposed for repairs. However, materials are consistent with the character of the existing structure.

2. *Maintenance*

- a. *Exterior materials should be maintained, cleaned and repaired using methods and products which will not endanger the integrity of the materials.*
- b. *Clean wood using gentle methods such as low-pressure washing with detergents and natural bristle brushes. Blasting with particulates, power washing at high pressures, and propane or butane torches are not appropriate.*
- c. *Only types of paint which “breathe” (allow moisture to pass through the surface) should be used on wood surfaces.*
- d. *The cleaning of exterior masonry for the rehabilitation or restoration of a historic structure may be appropriate, provided that the cleaning technique used will not cause damage or permanent alteration to the historic structure. The natural weathering and discoloration or patina of masonry materials is to be respected as the appearance achieved as a result of the original design's selection of exterior materials. The use of any cleaning technique that would totally remove this natural patina from original building materials should be avoided*
- e. *Cleaning guidelines for metal are available from the National Park Service.*

Comment: Not applicable.

3. *Retaining Wood Features- Wooden features that contribute to the overall historic character of a building and a site should be retained and preserved. These features include, but are not limited to, such functional and decorative elements as siding, shingles, shakes, cornices, architraves, brackets, pediments, columns, balustrades, other architectural trim, porch ceilings, floors and facia.*

Comment: Not applicable.

4. Replacing Wood Features

- a. *If replacement of an entire wooden feature is necessary, it should be replaced in kind, matching the original design, dimension, detail, material and texture. Compatible substitute materials should be considered only if using the original material is not technically feasible.*
- b. *If replacement of a deteriorated detail or element is necessary, replace only the deteriorated detail in kind rather than an entire feature.*
- c. *If a wooden feature is completely missing, replace it with a new feature based on accurate documentation of the original feature or a new design compatible in profile, scale, size, material and texture with the historic building and district.*

Comment: Not applicable.

5. Substitute Materials

- a. *The use of substitute siding or trim in any form on an existing building is not recommended. Substitute siding or trim rarely replicates the dimensions or appearance of original materials*
- b. *Cast, molded, composite or synthetic architectural details and exterior materials may be used on existing structures if the original product is no longer available and if such application would not eliminate any architectural details. Such materials shall be permitted in new construction.*
- c. *In order to qualify for the exceptional approval of substitute materials on an existing building, the application must meet the following tests:*
 1. *the substitute material will replace other substitute material on the structure; and*
 2. *the cost of restoring the original material is unreasonable, judged in relation to*
 3. *the finished value of the property; and/ or*
 4. *the original materials (or other suitable alternatives), or the skills necessary to apply those materials are unavailable; or*
 5. *there is an emergency (probably temporary) need to provide the material in a time period which does not allow use of the original material (or other suitable alternative).*
- d. *Where substitute material replaces other substitute material, the siding installation should not eliminate any architectural details.*

e. *On existing structures, the first-time application of vinyl or aluminum siding is not permitted. The use of vinyl or aluminum siding is also not permitted on new structures.*

Comment: Not applicable.

6. *Missing Details- When a feature is missing it must be replaced with a new feature based on accurate documentation of the original design or a new design compatible in scale, size, material, and color with the historic building and district. If a detail of a painted metal feature such as a decorative cornice is missing or deteriorated, replacement in kind may not be feasible, and the replication of the detail in fiberglass, wood or aluminum may be appropriate.*

Comment: Not applicable.

7. *Masonry Repairs- Masonry repairs must retain the original or existing appearance of the masonry. If masonry is to be replaced, the new material must match the original or existing material in color, texture and hardness. Mortar must replicate original or existing mortar in color, consistency, design and hardness. For example, older brick walls were often laid with a higher lime content than is now common, and sometimes with dark gray or black mortar and finished with recessed joints.*

Comment: Not applicable.

8. *Sealing Masonry- Sealants should not be applied to masonry unless it is necessary to prevent further deterioration. Use of sealants is subject to review by the Commission.*

Comment: Not applicable.

9. *Maintaining Metal- Regular maintenance of metal is critical in the prevention of corrosion, oxidation (rust) and water damage which are chemical reactions to air exposure and moisture. A sound coat of appropriate paint can be the key to preserving historic metal (except in the instance of copper and bronze which should retain their natural patina). If corrosion begins it will be necessary to remove all of the rust immediately followed by priming the areas with a zincbased primer or other rust-inhibiting primer. Again this does not apply to copper and bronze. Corrosion can also result from a chemical reaction caused by contact between two dissimilar metals. Patching or replacing deteriorated metal in kind is always preferable to using substitute material. The reactions between dissimilar metals limit the options of patching one metal with another.*

Comment: Not applicable.

10. *Painting Metal and Concrete- Unpainted metal and unpainted exposed concrete (except in a foundation wall) is prohibited unless it is deemed an essential element to the total design and is compatible with the existing character of the overall Historic District.*

Comment: Not applicable.

11. *False History- It is not appropriate to introduce wood or architectural metal features or details to a historic building in an attempt to create a false historical appearance.*

Comment: Materials seem to be consistent with the historical appearance but do not portray a false historical appearance.

B. *Coatings and Colors*

1. *Colors- Colors that are historically associated with the period of the resources shall not be considered for existing structures; however, the commission may recommend a broad palette of colors as being compatible with the overall character of the district.*

Comment: Paint color of the freezer siding is planned to be consistent with the main building.

2. *Unpainted Masonry- Previously unpainted masonry shall not be painted. Masonry which was previously painted may be re-painted. Unless old paint or other coatings can be removed without damage to the masonry, a painted surface should be re-painted rather than stripped of old paint. In preparing to repaint previously painted masonry, stripping should only occur where the paint can be easily removed without damaging the underlying masonry. Blasting with sand or other highly abrasive materials is not permitted. Where paint stripping cannot be performed without damaging the masonry, repainting over the existing paint is the only appropriate solution.*

Comment: Not applicable.

3. *Repair Before Painting- Necessary masonry repairs (i.e. tuckpointing, stucco patching, crack repairs, etc.) should be satisfactorily completed prior to cleaning the masonry surface. This will help guard against possible damage that could be caused by cleaning tools or materials penetrating into cracks and holes. A masonry surface must be in a state of good repair before cleaning is attempted.*

Comment: Not applicable.

C. *Roofs, Parapets, and Gutters*

1. *Roof Forms- Roofs and roof forms should be maintained and preserved when they contribute to the historic character of the building, including but not limited*

to materials, cresting, dormers, chimneys, cupolas and cornices. Repairs may include the limited replacement in kind of those extensively deteriorated or missing parts of a feature when there are surviving prototypes such as cupola louvers, dentils, dormer roofing or slates, tiles or wood shingles on a main roof.

Comment: Not applicable.

2. *Roofing Materials- When roofing material is clearly distinctive to a buildings style, retaining or replacing it in kind is important and all efforts should be exhausted before replacement with a substitute material is considered. It is not appropriate to remove a roof that is repairable, and then reconstruct it with new material in order to create a uniform or improved appearance.*

Comment: Not applicable.

3. *Substitute Roofing- If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.*

Comment: Not applicable.

4. *Roof Accessories- Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights is generally not appropriate.*

Exceptions may arise when the addition of such a feature will solve a design problem raised by an adaptive re-use of the resource (such as adding a dormer to light a previously unused space).

Comment: Not applicable.

5. *Gutters- Both "K Style" and "Half Round" gutters have a historical presence on homes in our historic districts depending on the architectural design of the roof and eaves of the house. The appropriate application of either gutter system is related to the overall roof design for the practical long term success and economy of the roof drainage system.*

—Appropriate "K Style" Gutter installations rely on a vertical fascia board on the eave to support the flat back side of the gutter in a vertical position. The fascia board must be large enough to both support the base of the gutter and allow the gutter to be pitched along its length for drainage.

—Half Round Gutters are designed to suspend below the eave and catch the run-off. Because half-round gutters are self-supporting, not reinforced by a fascia board, they are typically manufactured from heavier gauge materials. They are typical and appropriate to houses with tapered eaves and open rafter tails.

—Built-in gutters that are integral to a historic property are an important characteristic of the property and should be preserved.

Comment: Not applicable.

D. Doors and Windows

1. *Retaining Windows and Doors- Windows and doors that contribute to the overall historic character of a building should be retained and repaired as needed, including their functional and decorative features, such as frames, sash, muntins, sills, heads, moldings, surrounds, hardware, shutters, glazing, panels, sidelights, fanlights, and thresholds.*

Comment: Not applicable.

2. *Replacing Windows and Doors*

- a. *replacement of a deteriorated window or door feature or detail is necessary replace only the deteriorated feature in kind rather than the entire unit. Match the original in material, design, dimension, proportion, reflective qualities, profile, sash rails, stiles, muntins, panels, and operation. If replacement of an entire unit is necessary, replace the unit in kind, matching the design, dimension, panels, pane configuration, architectural trim, detail, muntins and materials. It is not appropriate to use snap-in muntins to create a false divided-light appearance.*
- b. *Replacement windows and doors should maintain and fit existing openings and be consistent in glass size and with existing trim and other features of the structure.*
- c. *Changing the number, location, and size or glazing pattern of windows and doors through cutting new openings, blocking-in, and installing replacement sash which does not fit the historic opening are not recommended.*

Comment: Not applicable.

3. *Doors- Original doors should not be substituted with stock doors that do not fit the opening properly or do not fit with the style of the house. Transom windows and sidelights should be preserved.*

Comment: Not applicable.

4. *Windows- If a replacement window has an insulating glass pane which is not actually divided by muntins, the appropriate muntin pattern should be permanently applied with muntins no wider than 7/8 inch, as well as with spacer bars internal to the insulated glass. There should be no flat muntin grids, nor removable muntin grids, applied to the inside or outside panes.*

Comment: Not applicable.

5. *Glass Block- The use of glass block to fill in openings is generally not appropriate, unless it was part of the style and period of the structure. Instead, existing features should be repaired.*

Comment: Not applicable.

6. *Storm Windows- Installation of metal storm windows and doors which have a painted or baked enamel finish may be approved when they do not alter or destroy the original structure and trim of the opening. Replacement, repair, or installation of wood storm or screen doors and which are stained or painted to match the house or trim may also be approved.*

Comment: Not applicable.

E. Porches, Steps and Entries

1. *Porch Details- If replacement of a deteriorated detail or element is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original in design, dimension, and material. If the original is not known, use a design commonly used at the time the original building was constructed.*
2. *Complete Replacement- Replacing in-kind an entire porch that is too deteriorated to repair using physical evidence to guide the new work. Design a new entrance or porch if the historic entrance or porch is completely missing using historic evidence.*
3. *Rails and Skirting- The style of porch railings and skirting should match the original or be consistent with those commonly used at the time the original building was constructed.*
4. *Porch Flooring- Tongue and groove 3" wide cedar or pine extended 1" past fascia/ trim is the preferred porch flooring. The boards should be laid in the traditional manner, directly on the joists (to allow drying from the underside) and with a slight slope away from the building (to allow drainage—at least 1 ½ inches in 8 feet). Decking is not an appropriate flooring material (but see also IV.C regarding decks).*
5. *Pressure Treated Wood is not recommended other than where the structural wood will be in contact with the ground and hidden from view by finish material.*
6. *Risers- All steps should have enclosed/solid risers.*
7. *Porch Foundations- Repair of masonry porch foundations should match existing or original materials. When replacing missing masonry foundations they should*

match the foundation of the main building. If such a match is technically or economically unfeasible an unobtrusive material may be used.

- 8. Painting- All exposed wood elements should be finished or painted. Only types of paint which "breathe" (allow moisture to pass through the surface) should be used on wood surfaces.*

Comment: The applicant proposed to reconstruct the front porch to match its original configuration.

IV. THE LAND AND SITE IMPROVEMENTS

C. Fences

- 1. Rear Yard Fences Erection of fences on the rear, side (except on corner lots), or interior location of the lot, at or behind the building line may receive administrative approval, when height and materials are similar to those regularly approved by the Commission.*
- 2. Front and Side Front and side yard fences should not impede clear vision at intersections or driveways, as they could sacrifice safety as well as historical appropriateness. Front yard fencing should not infringe upon or obstruct historic setbacks, vistas, streetscapes or neighborhood continuity.*
- 3. Compatible Fences Fencing shall be permitted contingent upon the appearance and appropriateness in relation to the building and Historic District. (Applicants should note that all fencing within the Historic District is also subject to the City Zoning Codes, Chapter 155.143.)*
- 4. Height of Fences Height should be between two (2) and six (6) feet, with a maximum height of three (3) feet for front yard fences. Materials should be wood, wrought iron, or other historic materials (some aluminum faux wrought iron products are allowed). Styles may include picket and wood privacy fences, with tops trimmed with horizontal boards or simple dog-ear detail. Other styles not listed will be reviewed on a case by case basis.*

Comment: Privacy style fencing along with a gate are proposed for the rear access area.

V. ADDITIONS AND NEW CONSTRUCTION

A. Additions

1. *Compatible Additions* New additions within historic districts can be appropriate if they do not destroy historic features, materials and spatial relationships of the original building and site. Their location, size, height, scale, design and materials should be compatible with the original structure. The Commission may make recommendations to the Planning Commission and/ or the Zoning Board of Appeals concerning placement of additions on the lot.
2. *Site Protection* A new addition should be designed and located so that significant site features, including mature trees, are not lost.
3. *Distinguishing New from Old* New additions should be designed in such a manner as to make clear what is historic and what is new. They should be constructed so that they can be removed in the future without damage to the building.
4. *Massing* It is not appropriate to construct an addition that significantly changes the proportion of built mass to open space on the individual site.

Comment: The freezer was previously proposed to be screened with a lattice-type design with a trellis at the top. The proposed treatment is horizontal siding to match the building along with matching paint color.

RECOMMENDATION: If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

I move to approve the comprehensive renovation plans for 149 Griffith Street in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____



Historic District Permit Application

LOCATION INFORMATION **APPLICATION NUMBER** _____ - _____

Address _____

Parcel Number _____

APPLICANTS INFORMATION

Name _____ Address / PO Box _____

City _____ State _____ Zip _____ Phone _____

Interest In Project _____ E-Mail _____

Signature _____ Date _____

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name _____ Address / PO Box _____

City _____ State _____ Zip _____ Phone _____

E-Mail _____

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature *[Handwritten Signature]* Date _____

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name _____ Contact Name _____

Address / PO Box _____ City _____

State _____ Zip _____ Phone _____ Fax _____

E-Mail _____

License Number _____ Expiration Date _____

PROPERTY INFORMATION

Depth _____ Width _____ Size _____ Zoning District _____ Current Use _____

Check all that apply: Waterfront _____ Dunes _____ Vacant _____

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)



HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y N NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
 - Current location, shape, area and dimension of the lot.
 - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
 - Proposed improvements and distances from other improvements or property lines.
 - Proposed and/or current yard, open space and parking space dimensions and calculations.
 - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

OFFICE USE ONLY:
 Application Complete _____ Fee Paid _____ Date Paid _____
 Notes: _____



Historic District Commission Agenda Item Report

FROM: Ryan Cummins, Director of Planning and Zoning

MEETING DATE: October 30, 2023

SUBJECT: Annual Election of Officers

DESCRIPTION:

The Historic District Commission Rules of Procedure state the following:

Section 3. Election of Officers. The Commission shall elect a Chairperson, Vice-Chairperson, and secretary annually at the November meeting.

The Historic District Commission is asked to nominate and select a Chair, Vice-Chair, and secretary for the next year.

SAMPLE MOTION:

Motion to elect _____ as Chair, _____ as Vice-Chair, and _____ as Secretary of the Historic District Commission.



Note from Chair Straker

A note about the current status of 439 Butler Street ruling at the October, 2023 meeting.

The HDC works diligently to be fair and non-subjective when having dialogue with our residents about improvements to their property, especially those properties that are listed as contributing to the character of Saugatuck's Historic District. We always look closely at Historic District Guidelines, which are equally accessible by any resident as they are accessible by us as Commissioners, via the City's website. In this case, based on the final decision, I would encourage the artist (who is not the building owner) to explore partnerships with other property owners. If another property owner is interested in having the artist execute his mural on their building, they should ask the artist to join them in consulting with the HDC, and as the owner of the building, fill out an application and follow the process to share project details at a scheduled meeting. The building owner can work with city staff to understand the structure's current status as a contributing or non-contributing structure and make appropriate recommendations for next steps.

Of note -- Every HDC is a consultative body of passionate experts interested in helping applicants meet their objectives. As such, we always encourage conceptual reviews, which are usually scheduled with property owners, designated architects, or builders, as part of a regular meeting. These are casual conversations about the nuances of our guidelines, highly collaborative, and help applicants determine the best way to meet their project objectives before spending time and money on the application or incurring project costs.